

PARTITIONS TYPE

#

#

PARTITION TYPE NUMBER  
(SEE SCHEDULE)

DOORS

##-##

DOOR TYPE NUMBER  
(SEE SCHEDULE)

WINDOWS

##-##

WINDOW TYPE DESIGNATION  
(SEE SCHEDULE)

DETAIL CALL-OUT

#

X-#

DETAIL NUMBER  
SHEET NUMBER

SECTION/ELEVATION MARKER

#

X-#

SECTION NUMBER  
SHEET NUMBER

LABELS

#

X-#

DRAWING TITLE  
SCALE

ELEVATION MARKER

XXXX

#-##

FIRE & EGRESS

SD/CD

SMOKE DETECTOR/CARBON DIOXIDE  
DETECTOR

EMERGENCY EXIT LIGHT

NEW EMERGENCY EXIT SIGN, WALL MOUNTED, SOLID  
HATCH SIGNIFIES SIDE THE LETTERS ARE FACING.  
ARROW INDICATES DIRECTION ARROW ON SIGN IS  
POINTING.

NEW EMERGENCY EXIT SIGN, CEILING MOUNTED, SOLID  
HATCH SIGNIFIES SIDE THE LETTERS ARE FACING.  
ARROW INDICATES DIRECTION ARROW ON SIGN IS  
POINTING.

DRAWING REVISIONS

REVISION NUMBER  
(REFER TO NOTES FOR DESCRIPTION)

AREA OF REVISION  
(REFER TO NOTES FOR DESCRIPTION)

GENERAL REMOVALS NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING MECHANICAL, ELECTRICAL, & PLUMBING SYSTEMS IN WORKING ORDER THROUGHOUT THE DURATION OF CONSTRUCTION.
- REMOVE ALL ABANDONED ELECTRICAL, TELEPHONE & DATA CABLES BACK TO THEIR SOURCE.
- ALL FIRE SAFETY EQUIPMENT AND ASSOCIATED CONDUIT AND WIRING SHALL BE PROTECTED FROM ANY DAMAGE DURING DEMOLITION AND/OR CONSTRUCTION.
- THE CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY, NEATLY AND IN A SYSTEMATIC MANNER.
- ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR DAMAGE AND SHALL MAKE ADDITIONAL REPAIRS WITHOUT ADDITIONAL COST TO THE OWNER.
- NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
- ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS OF THE BUILDING CODES & BUILDING REGULATIONS.
- REMOVE OR RELOCATE ALL WIRING, PLUMBING AND MECHANICAL EQUIPMENT AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISHED SURFACES AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- THE CONTRACTOR SHALL FILE ANY NECESSARY CERTIFICATES OF INSURANCE WITH THE LOCAL DEPARTMENT OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK HEREIN DESCRIBED.
- ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION .
- CONTRACTOR IS RESPONSIBLE FOR DOING AN ACCURATE SURVEY OF ALL EXISTING UTILITIES/SERVICES INCLUDING PLUMBING, GAS, ELECTRIC CIRCUITS, SPRINKLERS, ETC. AS TO ENSURE THE DEMOLITION WILL NOT IMPACT THE STRUCTURE TO REMAIN. IN THE EVENT BUILDING SYSTEMS ARE ENCOUNTERED IN A WALL SCHEDULED FOR DEMOLITION, IMMEDIATELY STOP & NOTIFY THE RESIDENT MANAGER.
- CHOPPING OF ANY BLOCK/BRICK ENCOUNTERED DURING INSTALLATION IS PROHIBITED. CHOPPING, CUTTING, CHASING OR CHANNELING IS NOT PERMITTED FOR ANY REASON IN BRICK & BLOCK EXTERIOR WALLS. DEMISING WALLS, BUILDING STRUCTURE, STRUCTURAL SLABS, BEAMS, MASONRY COLUMNS OR THEIR ENCLOSURES.
- GC TO MAINTAIN FIRE SEPARATION AT DEMISING WALLS (2HRS), COLUMNS (4HRS), & SHAFT ENCLOSURES (2HRS) AT ALL TIMES.
- REQUESTS FOR SHUTDOWNS ARE TO BE MADE AT LEAST 72 HOURS PRIOR TO SCHEDULED WORK OR AS DICTATED BY RESIDENT MANAGER.
- IF ASBESTOS IS UNCOVERED DURING THE COURSE OF WORK, PROVIDE FOR REMOVAL OR CONTAINMENT AS PER AGENCY REQUIREMENT, GIVE RESIDENT MANAGER 24-HR NOTICE PRIOR TO SCHEDULED REMOVAL.
- IF NEGATIVE AIR PRESSURE MACHINES ARE UTILIZED, USE AS PER MANUF. GUIDELINES & AS DIRECTED BY MANAGEMENT, SUBMIT SPECIFICATIONS TO MANAGEMENT FOR REVIEW.

GENERAL CONSTRUCTION NOTES

- EACH FLOOR IN WHICH CONSTRUCTION IS UNDERTAKEN MUST REMAIN IN SAFE CONDITIONS WITH REGARD TO FIRE SAFETY FOR PERSONAL WORKING ON THE FLOOR. ALL FIRE STAIRS, ALARMS, SPEAKERS, ETC., MUST REMAIN ACCESSIBLE AND OPERABLE AT ALL TIMES.
- ALL EXISTING MASONRY CONSTRUCTION SUCH AS COLUMNS PIERS AND CORE PARTITIONS, WHERE DISTURBED DUE TO ADJACENT DEMOLITION ARE TO BE REPLACED AND REPAIRED WITH MATERIAL TO MATCH EXISTING CONSTRUCTION. MASONRY OPENINGS MUST BE FILLED WITH THE SAME MATERIAL BEFORE GWB IS APPLIED.
- PARTITIONS SHALL NOT BE FASTENED OR BRACED TO DUCTWORK, CONDUIT OR PIPING.
- FLOOR LOADING OF ALL EQUIPMENT, FURNITURE, TENANT CONSTRUCTION ETC., SHALL NOT EXCEED THE STRUCTURAL CAPACITY OF THE BUILDING.
- ALL DIMENSIONS GIVEN ARE FROM FACE OF FINISH UNLESS OTHERWISE NOTED.
- PROVIDE ALL GROUNDS, FIRE RETARDENT TREATED (HOOVER PRODUCTS OR SIMILAR) BLOCKING AND SUPPORTS AS MAY BE REQUIRED TO SUPPORT WALL HUNG COUNTERS, CABINETS, LIGHT FIXTURES AND SIGNAGE AS MAY BE REQUIRED.
- CONTRACTORS CARTS, EQUIPMENT BOXES, ETC. SHALL BE EQUIPPED WITH RUBBER WHEELS.
- CONTRACTOR SHALL FURNISH AND INSTALL 5LBS ABC FIRE EXTINGUISHERS IN ACCORDANCE WITH CODE & MUST BE MAINTAINED IN WORKING ORDER DURING CONSTRUCTION.
- THE G.C. IS RESPONSIBLE FOR PROTECTING ALL FINAL FINISHES AND CONDITIONS OF FIXTURES AND FURNITURE FROM DELIVERY DATE TO THE COMPLETION DATE. ANY DAMAGE FROM SHIPPING MUST BE NOTED ON THE DRIVER'S MANIFEST. THE G.C. WILL REPAIR OR REPLACE ANY DAMAGED ITEMS NOT RECORDED OR CONCURRENT WITH THIS DOCUMENTATION AT NO ADDITIONAL COST TO THE CLIENT. THE WORK WILL BE PERFORMED TO CLIENT'S SATISFACTION IN TIME & IN MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE CONSTRUCTION AREA UNTIL COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS IN WORKING ORDER THROUGHOUT THE DURATION OF CONSTRUCTION.
- ONCE DEMOLITION IS COMPLETED, FIRESTOPPING MUST BE COMPLETED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- FIREPROOF/FIRESTOP AROUND ALL ELECTRICAL BOXES IN RATED PARTITIONS.

- ONLY WATER BASED STAINTS/SEALANTS,/FINISHES MAY BE USED FOR REFINISHING OF WOOD PRODUCTS ON THE JOB SITE AT THE BUILDING.
- PROVIDE STICKY MATS OUTSIDE ENTRY TO APARTMENT DOOR & PROTECT HALLWAYS WITH MASONITE DURING CONSTRUCTION.
- POWER-ACTUATED DEVICES MAY NOT BE UTILIZED WITHOUT PRIOR CONSENT FROM THE BOARD, AS PER ALTERATION AGREEMENT.
- ONE FUNCTIONING SLOP SINK & TOILET MUST BE MAINTAINED IN GOOD WORKING ORDER AT THE JOB SITE FOR THE CONSTRUCTION WORKERS.
- GC LIMITED TO QUART CANS ONLY FOR ON SITE LACQUER SPRAYING WITH A HIGH VOLUME, LOW PRESSURE SPRAY DEVICE.

GENERAL ELECTRICAL NOTES:

- ALL WORK AND MATERIAL SHALL CONFORM WITH THE NATIONAL ELECTRIC CODE, LIFE SAFETY CODE, LOCAL BUILDING CODE, OSHA REGULATIONS, LOCAL, STATE & FEDERAL AUTHORITY HAVING JURISDICTION.
- SECURE PERMITS AND CERTIFICATES OF APPROVAL, PAY ALL FEES AND CHARGES. DELIVER THE CERTIFICATES TO THE ARCHITECT BEFORE FINAL BILLING.
- DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF SYSTEMS AND WORK. FOLLOW DRAWINGS IN LAYING OUT WORK AND CHECK DRAWINGS OF OTHER TRADES TO VERIFY SPACE CONDITIONS. MAINTAIN HEADROOM AND SPACE CONDITIONING CONSISTENT WITH PROJECT CRITERIA.
- THE CONTRACTOR SHALL VISIT THE SITE AND EXAMINE CAREFULLY THE AREAS AFFECTED BY THIS WORK TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND WITH THE DIFFICULTIES THAT WILL ATTEND THE EXECUTION OF HIS WORK. CONTRACTOR SHALL PERFORM THIS PRIOR TO SUBMITTING HIS PROPOSAL. SUBMISSION OF A PROPOSAL SHALL BE CONSTRUED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE AND LATER CLAIMS WILL NOT BE RECOGNIZED FOR EXTRA LABOR, EQUIPMENT OR MATERIALS REQUIRED BECAUSE OF DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN AND SUCH AN EXAMINATION BEEN MADE.
- COORDINATE THE INSTALLATION OF ALL WORK WITH THE WORK OF ALL OTHER TRADES. IN THE EVENT THAT ANY WORK IS INSTALLED WITHOUT PROPER PRIOR COORDINATION OR REGARD TO THE WORK OF OTHER TRADES, THIS CONTRACTOR SHALL REMOVE AND RELOCATE HIS WORK TO SUIT REQUIREMENTS OF OTHER TRADES AT NO ADDITIONAL COST TO THE OWNER.
- THIS CONTRACTOR SHALL FINISH ALL SUPERVISION, LABOR, SERVICES, EQUIPMENT, MATERIAL, TOOLS, TRUCKING, HOISTING, AND ERECTING APPARATUS, TRANSPORTATION AND SHALL PAY FOR ALL FEES, PERMITS, INSPECTIONS, CERTIFICATES AND RELATED ITEMS TO PROPERLY CARRY OUT THE CONTRACT WORK OF COMPLETION.
- ANY CUTTING NECESSARY FOR THE INSTALLATION OF THE ELECTRICAL WORK SHALL BE DONE BY THIS CONTRACTOR AT TIMES AS DIRECTED BY THE G.C. OR OWNER.
- NO NEW SLAB PENETRATIONS SHALL BE PERMITTED IN EITHER THE FLOOR OR THE CEILING SLAB FOR LIGHTING OR ELECTRICAL WORK.
- CONTRACTOR TO MAINTAIN CIRCUIT CONTINUITY WHILE REPLACING OR REMOVING RECEPTACLES OR TOGGLE SWITCHES.
- RECONNECT TO SAME BRANCH CIRCUITS FEEDING OUTLETS AFFECTED BY DEMOLITION WORKS.
- FIREPROOF/FIRESTOP AROUND ALL ELECTRICAL BOXES IN RATED PARTITIONS.
- WHEREVER IT IS REQUIRED TO DISCONNECT OR REMOVE ANY PART OF AN EXISTING CIRCUIT, RECONNECT THAT CIRCUIT TO RE-ESTABLISH SERVICE IN THE REMAINING PORTION OF THE CIRCUIT.
- PRIOR TO INSTALLATION OF ANY RECEPTACLES, SWITCHES, SECURITY DEVICES, TELEPHONE OUTLETS, LIGHTING FIXTURES ETC. COORDINATE WITH ARCHITECTURAL DRAWINGS AND/OR OBTAIN EXACT LOCATIONS FROM THE ARCHITECT.
- TEST AND ADJUST ALL EQUIPMENT AND WIRING INSTALLED AND/OR CONNECTED UNDER THIS CONTRACT, INCLUDING ELECTRICAL FURNISHED BY OTHERS, TO DETERMINE PROPER POLARITY, PHASING, FREEDOM FROM GROUNDS AND SHORTS AND OPERATION OF EQUIPMENT. ALL MEASURING INSTRUMENTS MUST BE PROPERLY CALIBRATED.

GENERAL NOTES

- WHERE NEW WORK IS REQUIRED AND IT CONFLICTS WITH EXISTING STRUCTURAL, MECHANICAL OR CODE LIMITATIONS, THE CONTRACTOR, BUILDER, OR THOSE IN RELEVANT OR CONTINGENT TRADES SHALL INFORM THE OWNER AND ARCHITECT OF SUCH, PRIOR TO PROCEEDING WITH SUCH WORK.
- NO WORK OF ANY TRADE IS TO BE CARRIED OUT IN THE EVENT OF CONFLICT OF INFORMATION. CLARIFICATIONS OF THIS NATURE ARE TO BE MADE BY THE ARCHITECT OR OWNER.
- ALL WORK IS TO BE CARRIED OUT IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODE REQUIREMENTS AND ANY AGENCIES HAVING JURISDICTION, AND IN COMPLIANCE WITH APPLICABLE LAWS RELATING TO LEAD AND ASBESTOS.
- ALL WORK IS TO BE CARRIED OUT IN COMPLIANCE WITH LANDLORD AND BUILDING MANAGEMENT REGULATIONS.
- ALL WORK SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER AND FABRICATED WITH FIRST CLASS MATERIALS. CONTRACTOR SHALL SUBMIT THE PROPOSED WORK SCHEDULE WITH HIS LUMP SUM BID THAT WILL NOT BE CHANGED EXCEPT WITH THE APPROVAL OF THE OWNER AND ARCHITECT.
- EXISTING PROPERTY AND NEW WORK IS TO BE PROPERLY PROTECTED AGAINST DAMAGES UNTIL THE COMPLETION OF THE JOB, AT WHICH TIME IT SHALL BE LEFT BROOM CLEAN.
- AT DEMOLISHED OR CHOPPED AWAY LOCATIONS, PATCHING SHALL BE DONE WITH LIKE MATERIALS AS SPECIFIED.
- THE SUBCONTRACTORS' WORK UNDER THE BUILDER (GENERAL CONTRACTOR) SHALL BE FULLY COORDINATED SO AS TO AVOID UNNECESSARY DEMOLITION OR CONFLICT OF WORK SEQUENCE OF VARIOUS TRADES AND WORKMEN.
- THE CONTRACTOR SHALL FILE CERTIFICATES OF WORKMENS' COMPENSATION, COMPREHENSIVE AUTO LIABILITY, COMPREHENSIVE GENERAL LIABILITY, AND EMPLOYERS LIABILITY INSURANCES WITH THE OWNER AND ARCHITECT. THE CONTRACTOR IS ALSO TO OBTAIN PERMITS AND PAY ALL FEES REQUIRED BY NJ DEPARTMENT OF BUILDINGS AND ANY OTHER AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO INSURE THE SAFETY OF THE PUBLIC, WORKMEN, VEHICLES, EXISTING STRUCTURES AND OCCUPANTS OF THE BUILDING.
- A LICENSED ELECTRICIAN SHALL PERFORM ANY AND ALL ELECTRICAL WORK IN ACCORDANCE WITH NJ ELECTRICAL CODE AND NBFU CODE AND SHALL REGISTER SAID WORK WITH NJ DEPARTMENT OF WATER, GAS, AND ELECTRICITY. PRIOR TO FINAL PAYMENT TO THE BUILDER, A COMPLETION CERTIFICATE SHALL BE ISSUED TO THE OWNER.
- ANY AND ALL PLUMBING SHALL BE PERFORMED BY A LICENSED PLUMBER WHO IS RESPONSIBLE FOR REVIEW ALL WORK THAT IS TO BE PERFORMED.
- CONTRACTORS SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, AND THE ARCHITECT AGAINST ALL EXPENSES AND ATTORNEY'S FEES AND ANY LAWSUITS OR ACTIONS ARISING IN WHOLE OR IN PART FROM ANY ACT OR OMISSION BY THE CONTRACTOR, OF THE SUBCONTRACTOR OR ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY THE OWNER.
- THE SUBMISSION OF THE CONTRACTOR'S BID IMPLIES THAT ALL DRAWINGS, SPECIFICATIONS, AND NOTES HAVE BEEN READ, UNDERSTOOD AND INCORPORATED AS PART OF THE BID AMOUNT WITH ALL ITS

- ALL PROJECTS ARE REQUIRED TO RENOVATE UTILIZING LEAD SAFE PRACTICES INCLUDING THE USE OF CERTIFIED RENOVATORS. SHAREHOLDER'S RESPONSIBILITY TO NOTIFY THE CONTRACTOR AS TO THE PRESENCE OF LEAD-BASED PAINT ON THE SITE AND SHALL CAUSE THE CONTRACTORS AND WORKERS TO USE SAFE WORK PRACTICES AS REQUIRED BY EPA LAW 40 CFR 745 SUBPART E, EFFECTIVE 04.22.10, AND ANY APPLICABLE AGENCY REQUIREMENTS, TAKING ALL PRECAUTIONS TO PREVENT THE SPREAD OF DUST AND DEBRIS THAT MAY CONTAIN LEAD.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE NEW YORK CITY BUILDING CODE.
- THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING AND FACILITIES.
- ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL COMPLY WITH THE NJ BUILDING CODE.
- A COPY OF LATEST SET OF CONSTRUCTION DRAWINGS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE ARCHITECT.
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND ARCHITECT'S OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.
- ALL CONSTRUCTION, DIMENSIONS AND DETAILS SHALL CONCUR WITH AND BE DETERMINED FROM THESE DRAWINGS ONLY.
- ALL MATERIALS AND CONSTRUCTION TO BE INCORPORATED IN THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE ASTM SPECIFICATIONS APPLICABLE, AND TO CONFORM TO THE STANDARDS AND RECOMMENDATIONS OF THE VARIOUS TRADE INSTITUTES (A.C.I./A.I.S.C., ETC.) WHERE APPLICABLE. ALL MATERIALS INCORPORATED INTO THE WORK SHALL BE NEW.
- CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGES, COLLAPSE, DISTORTIONS AND OFF ALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.
- CONSTRUCTION SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES, RULES AND REGULATIONS PERTAINING TO LABOR AND MATERIALS. ALL NOTES HEREIN MENTIONED WITH THOSE ON THE VARIOUS DRAWINGS, SHALL APPLY TO ALL DRAWINGS AND FORM PART OF THE CONTRACT.
- EACH CONTRACTOR WILL BE HELD STRICTLY RESPONSIBLE FOR HIS WORK. ANY DISCREPANCIES IN THE PLANS OR DETAILS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT.

REFERENCED CODE

NJUCC, SUBCHAPTER 6 REHABILITATION SUBCODE (NJAC 5:23-6)
2018 INTERNATIONAL BUILDING CODE NEW JERSEY EDITION
NATIONAL STANDARD PLUMBING CODE/ 2018
NATIONAL ELECTRIC CODE (NFPA 70)/ 2017
INTERNATIONAL ENERGY CONSERVATION CODE/2018
INTERNATIONAL MECHANICAL CODE/2018
ICC/ANSI A117.1-2009

PROPERTY DATA	
LOCATION:	246 TOWNE CENTER DRIVE
ADDRESS:	246 TOWNE CENTER DRIVE, NORTH BRUNSWICK, NJ 08902
BLOCK:	122
LOT:	02

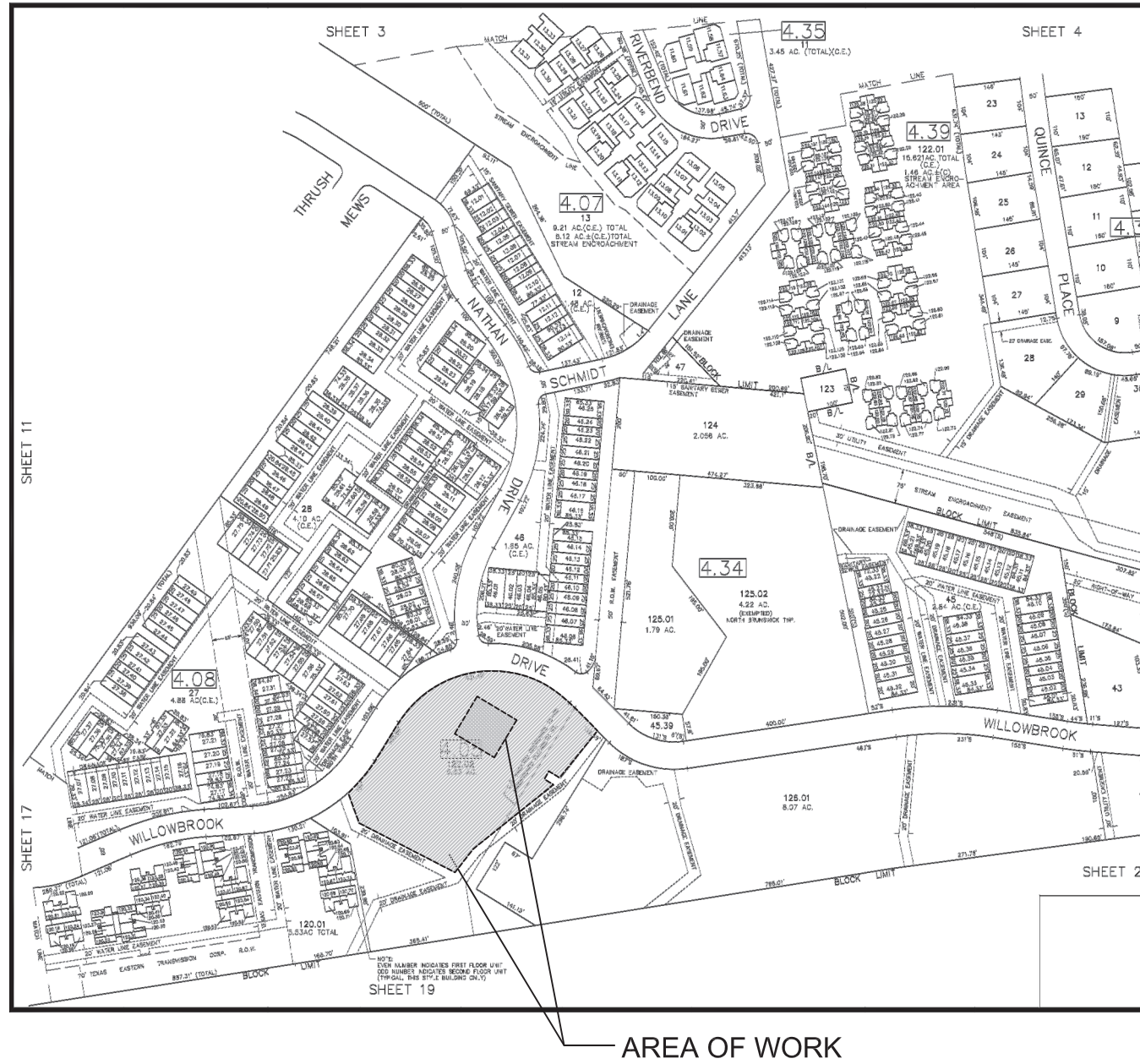
ZONING NOTES	
ZONING MAP:	NORTH BRUNSWICK TOWNSHIP, MIDDLESEX COUNTY, NJ
ZONING DISTRICT:	PUD - PLANNED UNIT DEVELOPMENT
BUILDING CODE NOTES:	

OCCUPANCY GROUP: A-3	
CONSTRUCTION CLASS: II	
SPRINKLERED BUILDING	

THIS PROJECT IS NOT IN A FLOOD HAZARD ZONE.

SCOPE OF WORK

- REMOVALS:
- REMOVAL OF INTERIOR PARTITIONS, DOORS
- CONSTRUCTION:
- INTERIOR PARTITIONS
- EXTERIOR ENVELOPE:
- NO WORK
- MECHANICAL:
- TBD
- ELECTRICAL:
- INSTALLATION OF OUTLETS AND LIGHTING AS INDICATED ON PLANS
- PLUMBING/APPLIANCES:
- REPLACEMENT OF EXISTING PLUMBING FIXTURES AS NEEDED
- FIRE PROTECTION/SPRINKLER:
- TBD



PROPOSED ALTERATION  
4-05/4-06 TOWNE CENTER DRIVE,  
NORTH BRUNSWICK, NJ 08902  
LOT 122.02 IN BLOCK 4.05

ARCHITECT:  
CHRIS TEETER, RA  
LICENSED ARCHITECT IN:  
CT, FL, MI, NJ, NY, PA  
242 WEST 27TH STREET  
SUITE 4B  
NEW YORK, NY 10001

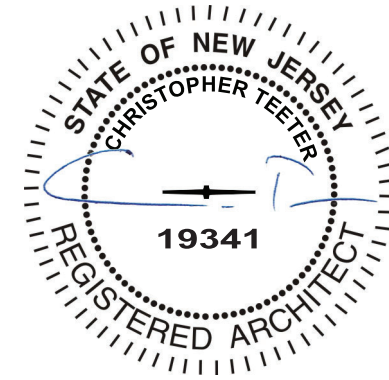
NEW YORK OFFICE  
MATAWAN, NJ

TEL.: 212.939.6215  
CELL: 917.202.5411  
FAX.:917.210.3183

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PROPOSED ALTERATION  
4-05/4-06 TOWNE CENTER DRIVE,  
NORTH BRUNSWICK, NJ 08902  
LOT 122.02 IN BLOCK 4.05

FOR REVIEW	11.10.20
FOR REVIEW	9.23.20
FOR REVIEW	9.09.20
FOR REVIEW	8.27.20
ISSUED	DATE



TITLE SHEET

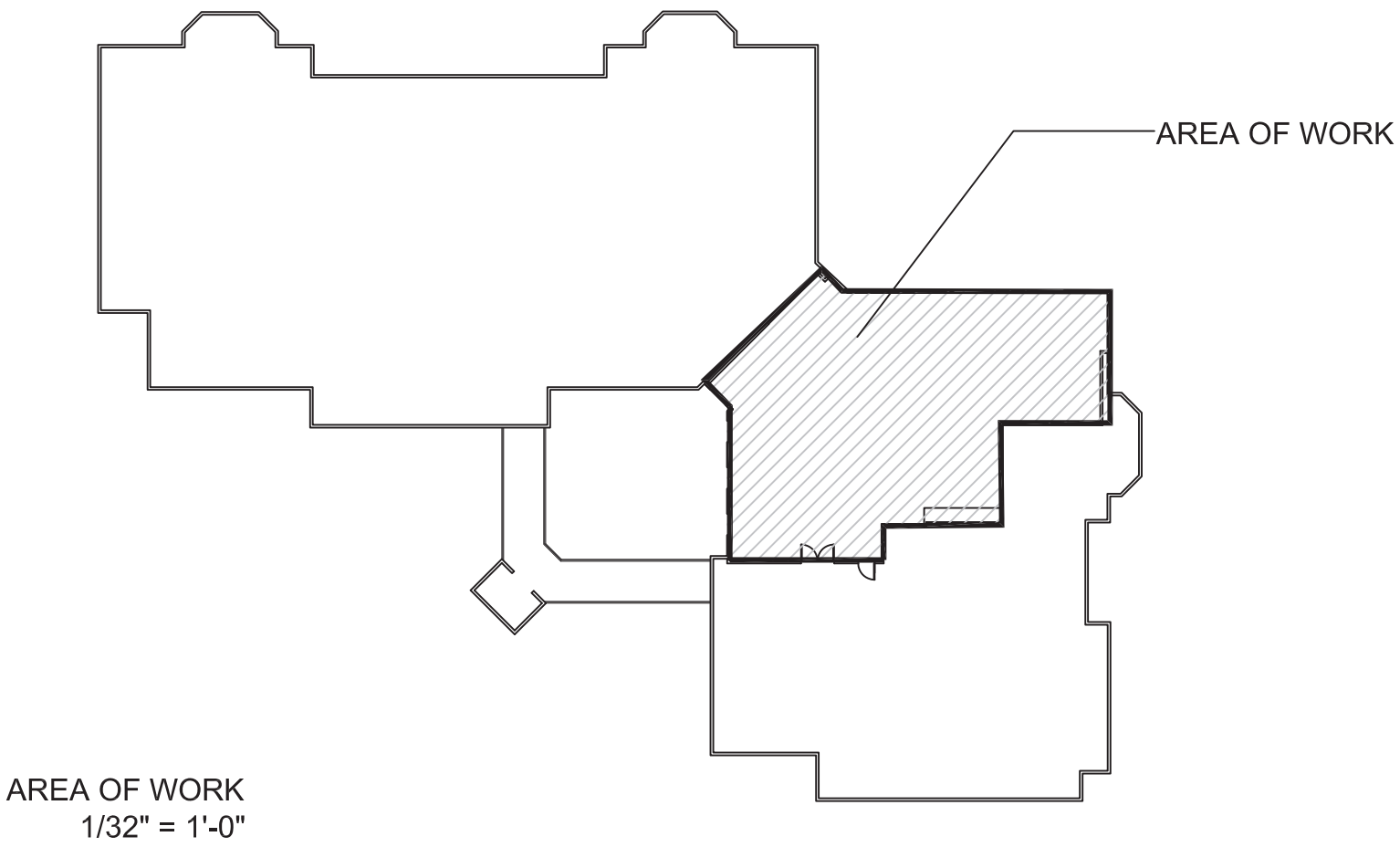
TITLE

T-000.00

SHEET

SCALE AS SHOWN	
DRAWN BY KA	REVIEWED BY CT
	PAGE 1 OF 7





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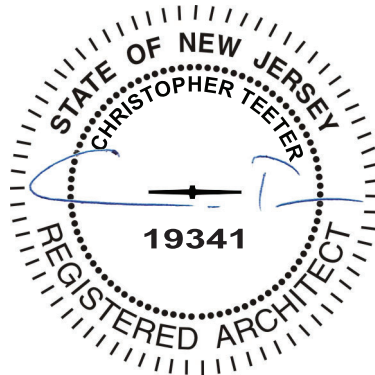
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FOR REVIEW 11.10.20  
ISSUED DATE



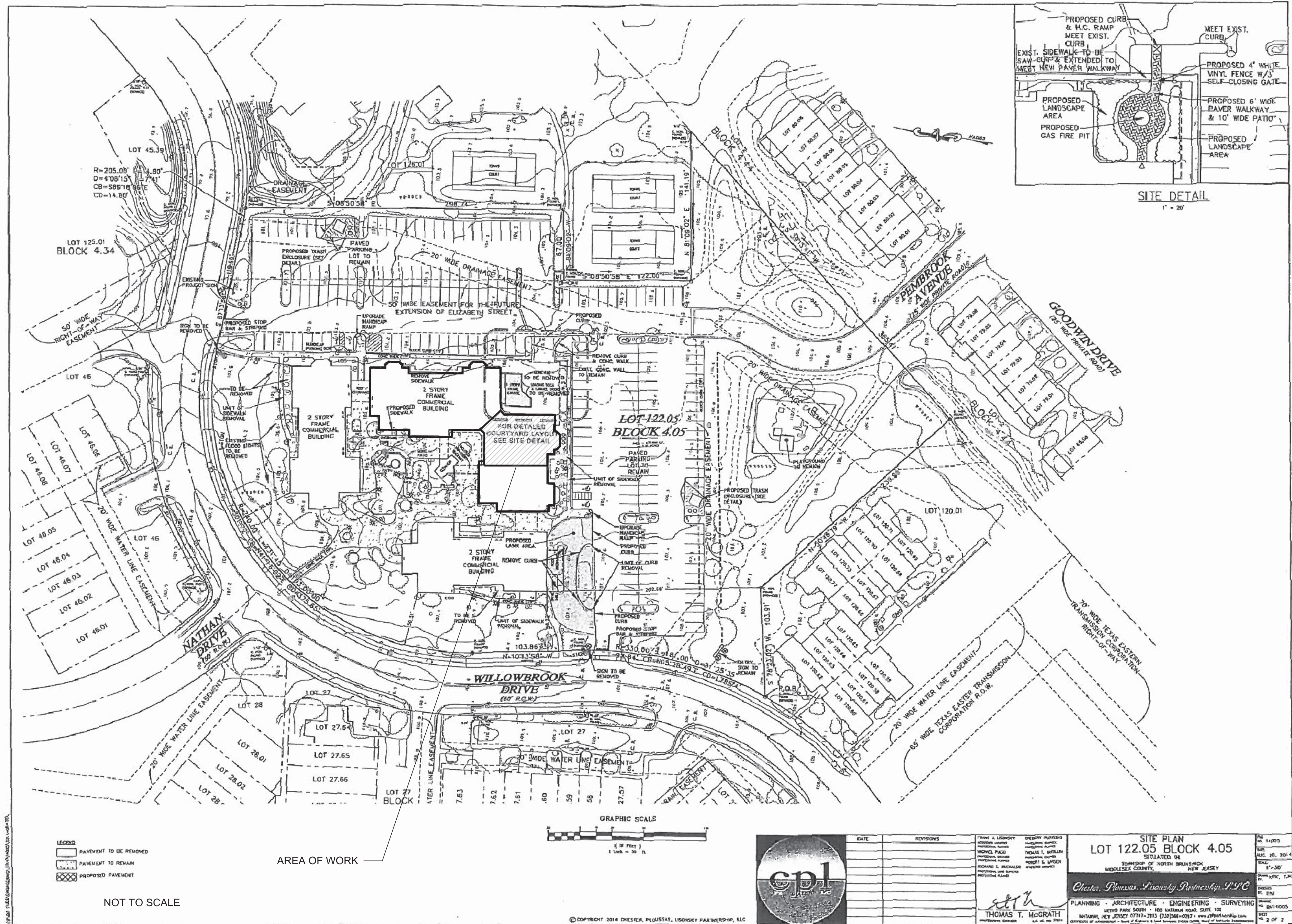
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TITLE

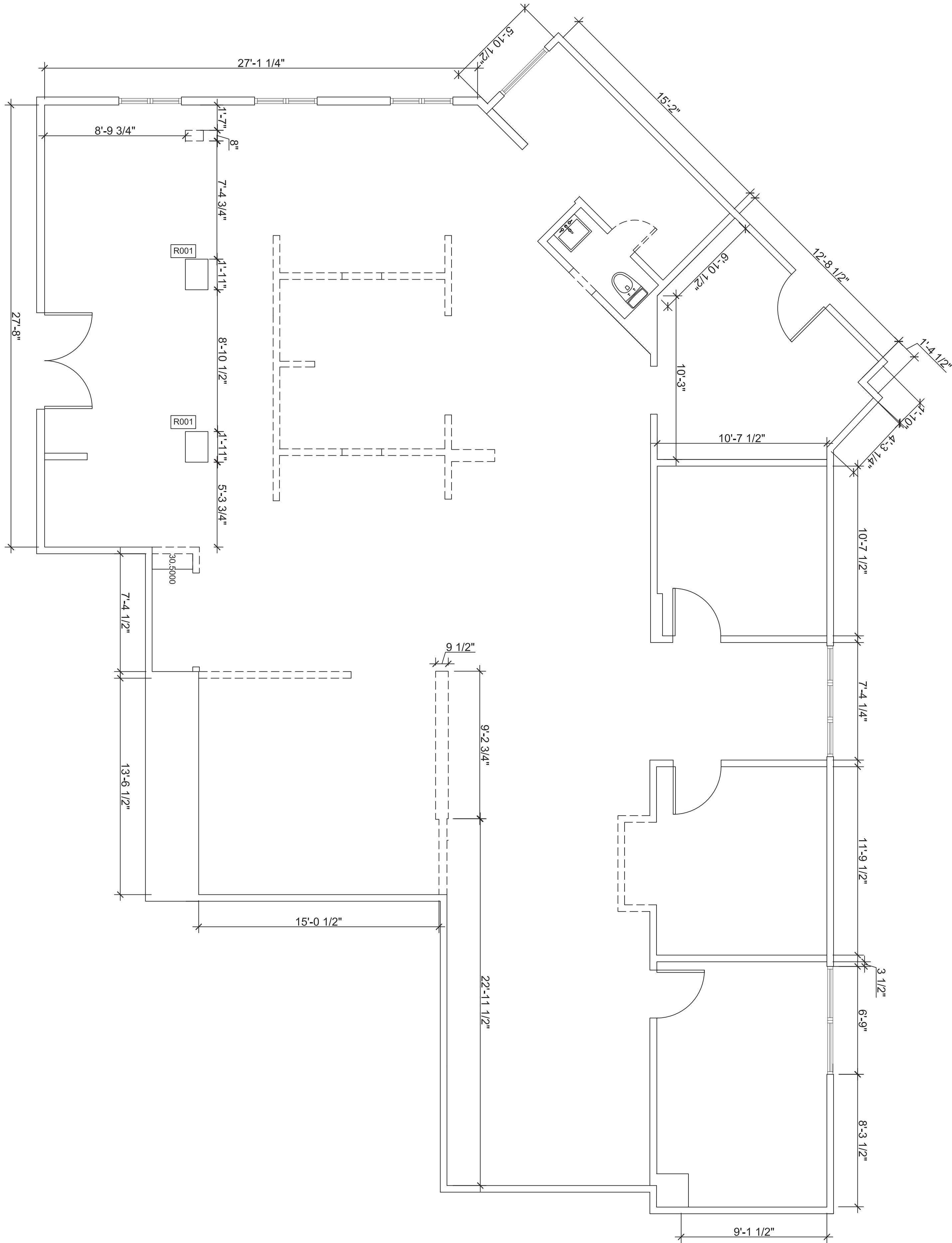
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SHEET

SCALE  
AS SHOWN  
DRAWN BY KA  
REVIEWED BY CT  
PAGE  
2 OF 7







1 EXISTING FLOOR PLAN  
A-100 SCALE: 1/4" = 1'-0"

EXISTING & REMOVALS FLOOR PLAN LEGEND	
	EXISTING WALLS TO REMAIN
	EXISTING INTERIOR PARTITION TO REMAIN
	EXISTING INTERIOR PARTITION TO BE REMOVED
	EXISTING DOORS & HARDWARE TO BE REMOVED
	EXISTING PLUMBING FIXTURE TO BE REMOVED AND/OR RELOCATED, CAP ALL ROUGHING AS REQUIRED
	HATCH INDICATES AREAS OF EXISTING CEILING AND FINISH FLOORING TO BE REMOVED FOR NEW
EXISTING & REMOVALS NOTES	
R001	REMOVE IF DEEMED IN FIELD TO NOT BE STRUCTURAL

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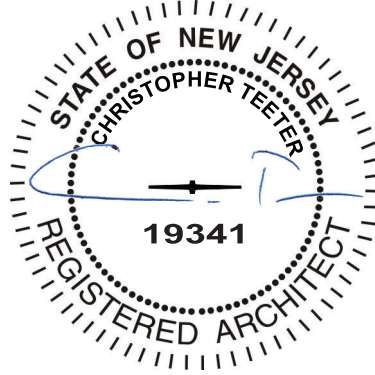
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NORTH BRUNSWICK, NJ 08902  
LOT 122.02 IN BLOCK 4.05

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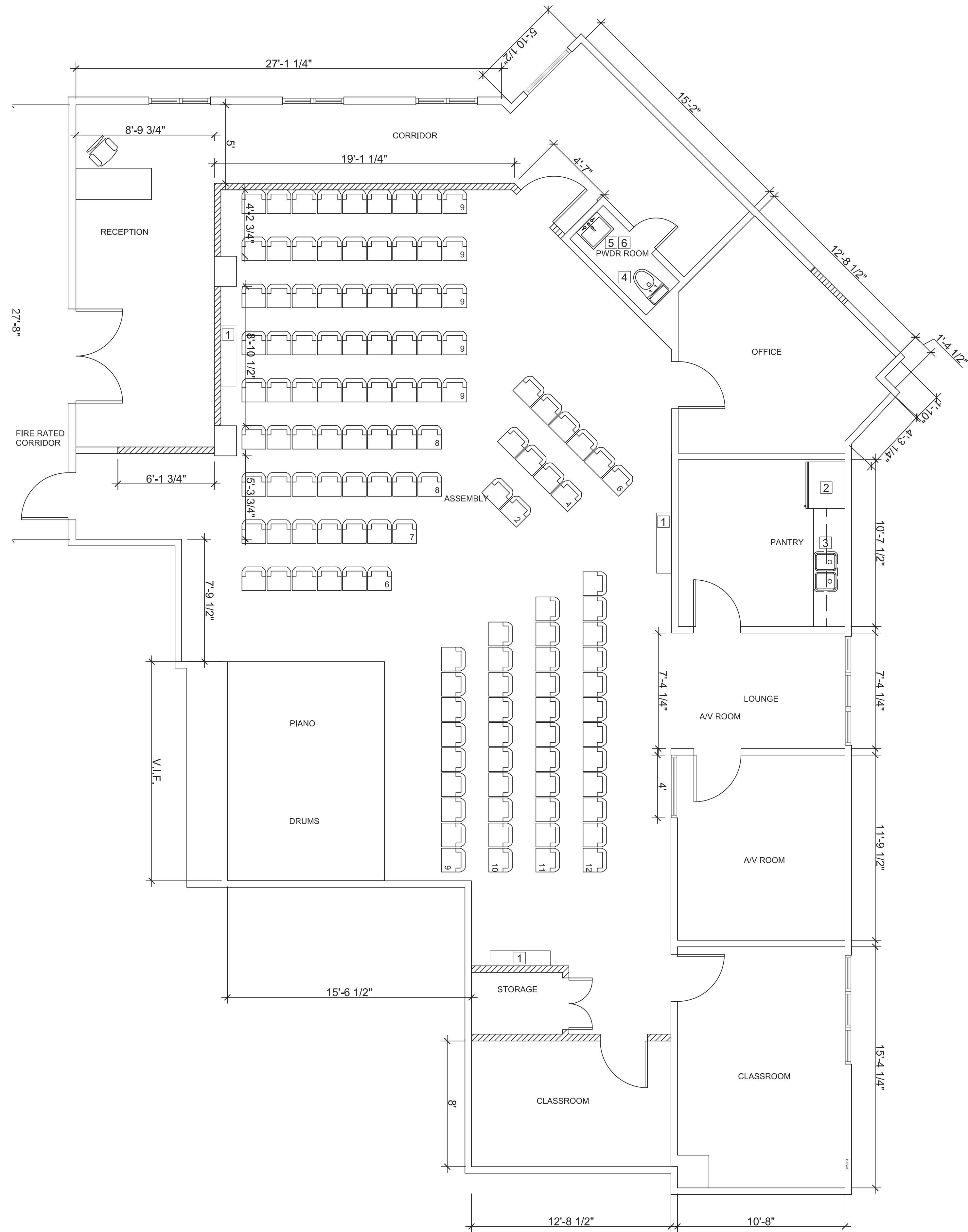
EXISTING FLOOR PLAN

TITLE

A-100.00

SHEET

SCALE AS SHOWN	
DRAWN BY KA	REVIEWED BY CT
PAGE	3 OF 7



1 PROPOSED FLOOR PLAN W/ FURNITURE LAYOUT  
A-200 SCALE: 1/4" = 1'-0"

PROPOSED CONSTRUCTION LEGEND	
	PROPOSED 2"x4" INTERIOR PARTITION, ALIGN AS REQUIRED, SEE PARTITION SCHEDULE ON T-000
	DOOR SYMBOL EX = EXISTING DOOR, FRAME & HARDWARE TO REMAIN, NO CHANGE ##-## = FLOOR NUMBER - DOOR COUNT ALL INTERIOR DOORS TO BE MIN. 1 1/2" SOLID CORE WOOD DOORS WITH (2) HINGES, PRIVACY LOCKSETS, AND 6'-8" HIGH, WIDTH TO MATCH PROVIDED OPENING
	PROPOSED CONSTRUCTION NOTE
	PROPOSED APPLIANCE, EQUIPMENT, OR FIXTURE, SEE LEGEND
	EXISTING JOIST SIZING AND SPACING, JOISTS SHOWN HERE ARE ABOVE IN PLAN
	EXISTING POSTS TO REMAIN
	PROPOSED HARDWIRED SMOKE DETECTOR/CARBON MONOXIDE DETECTOR AS PER NJAC 5:23-6.6(E)101
SH, WH:	SH= SILL HEIGHT WH = WINDOW HEIGHT (EGRESS) = EGRESS WINDOW IN ACCORDANCE WITH NJ IRC R310.2

PROPOSED CONSTRUCTION LEGEND	
	LEFT BLANK INTENTIONALLY

APPLIANCE, EQUIPMENT & FIXTURE LEGEND				
	EQUIPMENT	MANUFACTURER	MODEL	DIMENSIONS
1	(3) WALL MOUNTED A/C UNIT, 36K BTU	mitsubishi	MSY-D36NA-8	46.1" W x 11.6" D x 14.4" H
2	36" REFRIGERATOR, TBD	TBD	TBD	36"
3	PROPOSED SINK, TBD	TBD	TBD	TBD
4	PROPOSED TOILET, TBD	TBD	TBD	N/A
5	PROPOSED LAVATORY, TBD	TBD	TBD	N/A
6	PROPOSED LAVATORY CONTROLS, TBD	TBD	TBD	N/A

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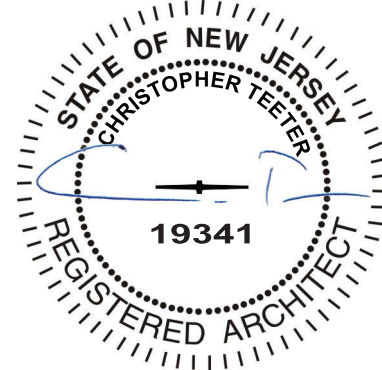
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FOR REVIEW	9.14.20
ISSUED	DATE



PROPOSED FLOOR PLAN  
W/ EGRESS

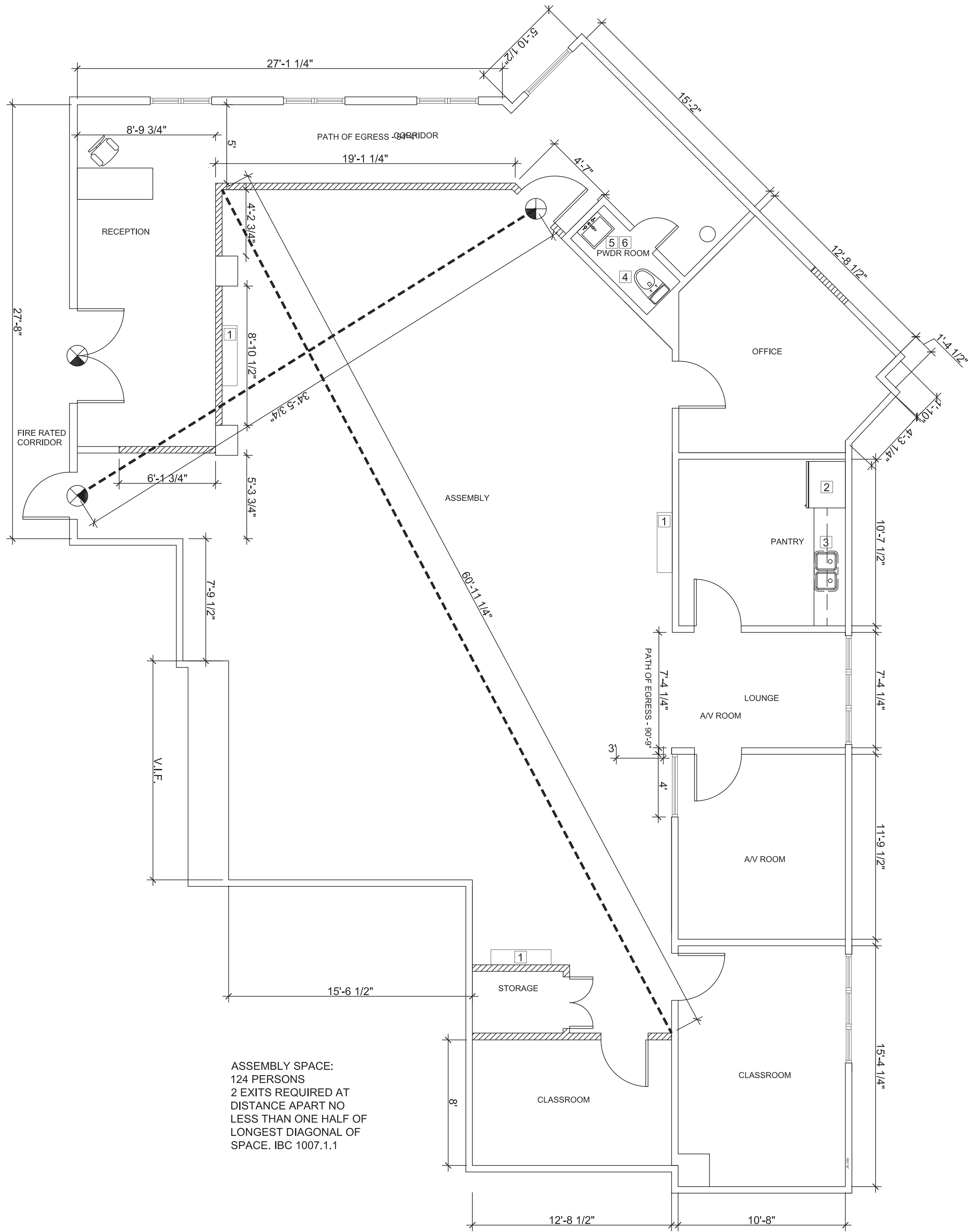
TITLE

A-200.00

SHEET

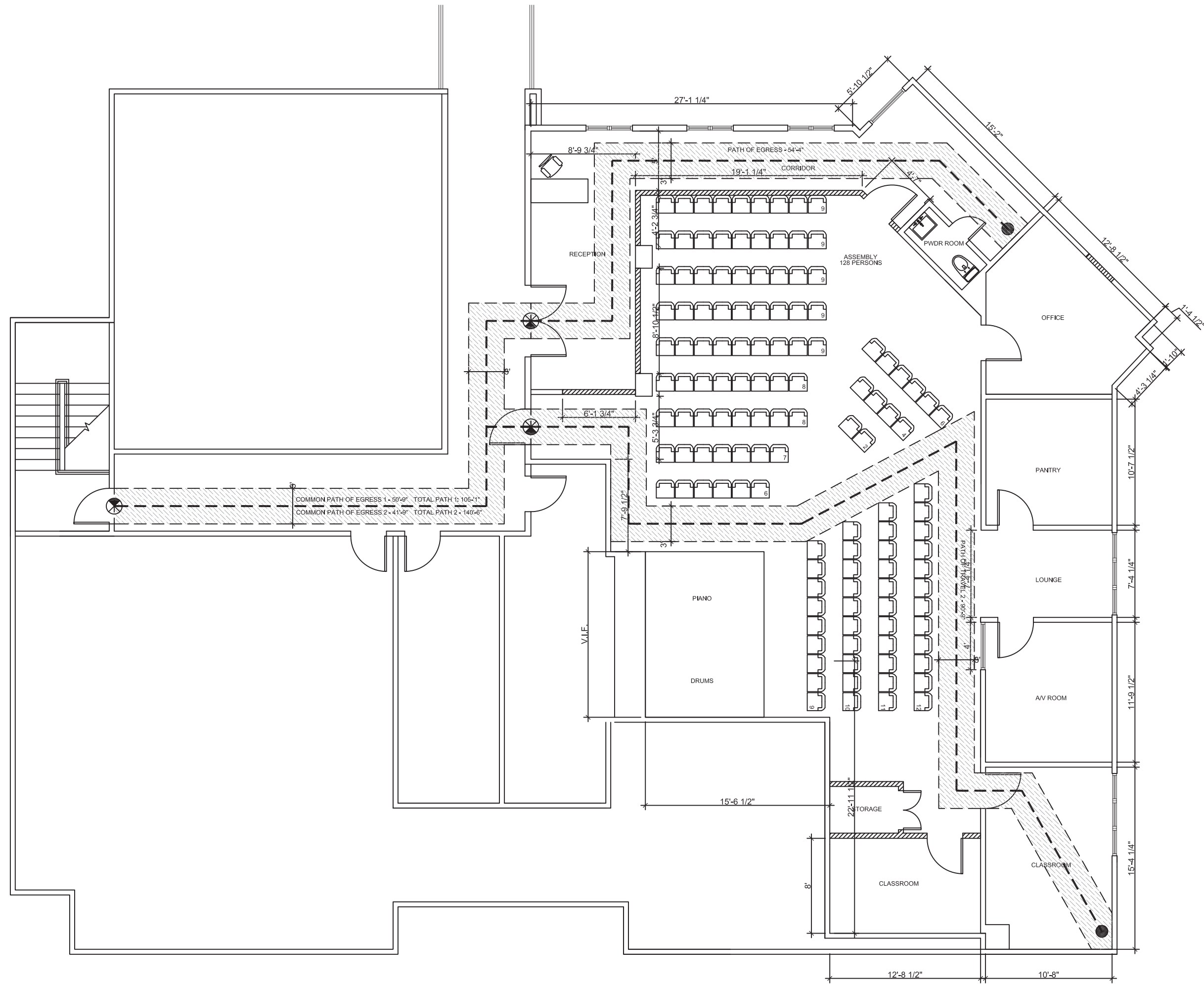
SCALE AS SHOWN	
DRAWN BY KA	REVIEWED BY CT
	PAGE 4 OF 7





ASSEMBLY SPACE:  
124 PERSONS  
2 EXITS REQUIRED AT  
DISTANCE APART NO  
LESS THAN ONE HALF OF  
LONGEST DIAGONAL OF  
SPACE. IBC 1007.1.1

1 PROPOSED SPACE PLAN - REMOTE EXITS FROM ASSEMBLY  
SCALE: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN - REMOTE EXITS FROM ASSEMBLY  
SCALE: 1/4" = 1'-0"

PROPOSED CONSTRUCTION LEGEND	
	PROPOSED 2"x4" INTERIOR PARTITION, ALIGN AS REQUIRED, SEE PARTITION SCHEDULE ON T-000
	DOOR SYMBOL EX = EXISTING DOOR, FRAME & HARDWARE TO REMAIN, NO CHANGE ##-## = FLOOR NUMBER - DOOR COUNT ALL INTERIOR DOORS TO BE MIN. 1 1/2" SOLID CORE WOOD DOORS WITH (2) HINGES, PRIVACY LOCKSETS, AND 6'-8" HIGH, WIDTH TO MATCH PROVIDED OPENING
	PROPOSED CONSTRUCTION NOTE
	PROPOSED APPLIANCE, EQUIPMENT, OR FIXTURE, SEE LEGEND
	EXISTING JOIST SIZING AND SPACING, JOISTS SHOWN HERE ARE ABOVE IN PLAN
	EXISTING POSTS TO REMAIN
	PROPOSED HARDWIRED SMOKE DETECTOR/CARBON MONOXIDE DETECTOR AS PER NJAC 5:23-6.6(E)101
	SH = SILL HEIGHT
	WH = WINDOW HEIGHT
	(EGRESS) = EGRESS WINDOW IN ACCORDANCE WITH NJ IRC R310.2

PROPOSED CONSTRUCTION LEGEND	
	LEFT BLANK INTENTIONALLY

APPLIANCE, EQUIPMENT & FIXTURE LEGEND				
	EQUIPMENT	MANUFACTURER	MODEL	DIMENSIONS
1	(3) WALL MOUNTED A/C UNIT, 36K BTU	DAIKIN	MSY-D36NA-8	46.1" W x 11.6" D x 14.4" H
2	36" REFRIGERATOR, TBD	TBD	TBD	36"
3	PROPOSED SINK, TBD	TBD	TBD	TBD
4	PROPOSED TOILET, TBD	TBD	TBD	N/A
5	PROPOSED LAVATORY, TBD	TBD	TBD	N/A
6	PROPOSED LAVATORY CONTROLS, TBD	TBD	TBD	N/A

ARCHITECT:  
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CT, FL, MI, NJ, NY, PA  
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SUITE 4B  
NEW YORK, NY 10001

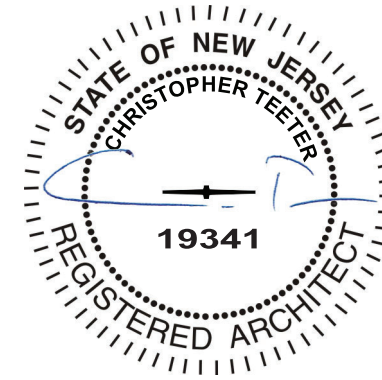
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PROPOSED ALTERATION  
4-05/4-06 TOWNE CENTER DRIVE,  
NORTH BRUNSWICK, NJ 08902  
LOT 122.02 IN BLOCK 4.05

FOR REVIEW	11.10.20
FOR REVIEW	9.23.20
FOR REVIEW	9.14.20
ISSUED	DATE



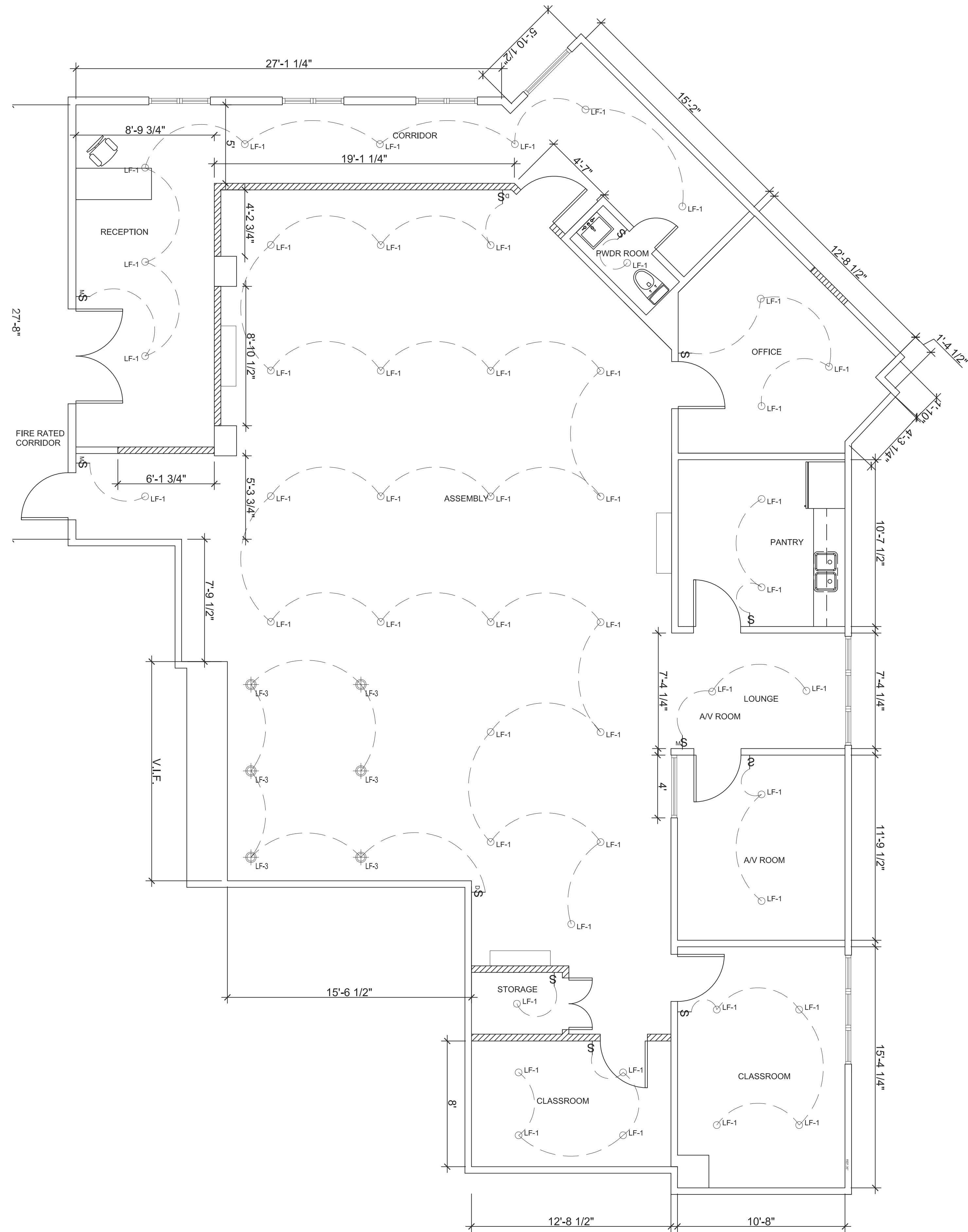
PROPOSED FLOOR PLAN  
W/ EGRESS

TITLE

A-201.00

SHEET

SCALE AS SHOWN	
DRAWN BY KA	REVIEWED BY CT
	PAGE 5 OF 7



1 PROPOSED FIRST FLOOR PLAN OPTION 1  
A-101 SCALE: 1/4" = 1'-0"

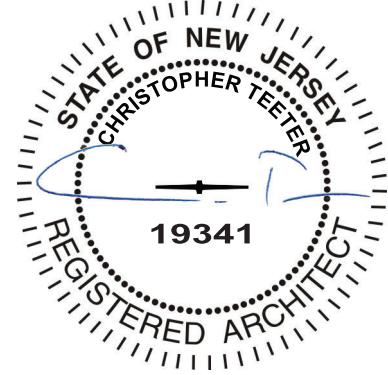
REFLECTED CEILING PLAN LEGEND	
	EXISTING CORE, STRUCTURAL OR SHAFT WALLS TO REMAIN
	EXISTING INTERIOR PARTITION TO REMAIN
	PROPOSED PARTITIONS, SEE PARTITION SCHEDULE ON SHEET A-300
	TOP DENOTES CEILING FINISH, SEE FINISH LEGEND
	BOTTOM DENOTES CEILING HEIGHT
	EXISTING LIGHTING FIXTURE TO REMAIN
LF-EX	EXISTING LIGHTING FIXTURE TO REMAIN
LF-#	SEE LIGHTING SCHEDULE
M	PROPOSED MOTION ACTIVATED SWITCH WITH TIMER, LUTRON: DECORA, WHITE
\$	PROPOSED LIGHT SWITCH, LUTRON: DECORA, WHITE
3	PROPOSED 3-WAY SWITCH, LUTRON: DECORA, WHITE
	REFLECTED CEILING PLAN NOTE
	EMERGENCY LIGHT, SEE ENGINEER'S DRAWINGS
	EXIT SIGN, DARK HATCH INDICATES DIRECTION LETTERING FACES, ARROW INDICATED DIRECTION OF EGRESS TRAVEL, SEE ENGINEER'S DRAWINGS
LF-1	LUXSPACE SURFACE-MOUNTED
LF-2	OVER COUNTER LIGHTING
LF-3	K-CORUM HEAD
EX	EXISTING EXPOSED CONCRETE TO REMAIN
P-1	PROPOSED 5/8" GYPSUM WALLBOARD CEILING, PAINTED FLAT WHITE BY BENJAMIN MOORE
ACT	PROPOSED 2' X 2' CEILING TILE SYSTEM BY "ARMSTRONG": KITCHEN ZONE, 15/16 SQUARE LAY-IN WITH SUSPENSION SYSTEM: PRELUDE, 15/16

REFLECTED CEILING PLAN NOTES	
RCP001	LEFT BLANK INTENTIONALLY

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PROPOSED ALTERATION  
4-05/4-06 TOWNE CENTER DRIVE,  
NORTH BRUNSWICK, NJ 08902  
LOT 122.02 IN BLOCK 4.05

FOR REVIEW	11.10.20
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PROPOSED ELECTRICAL  
AND RCP FLOOR PLAN

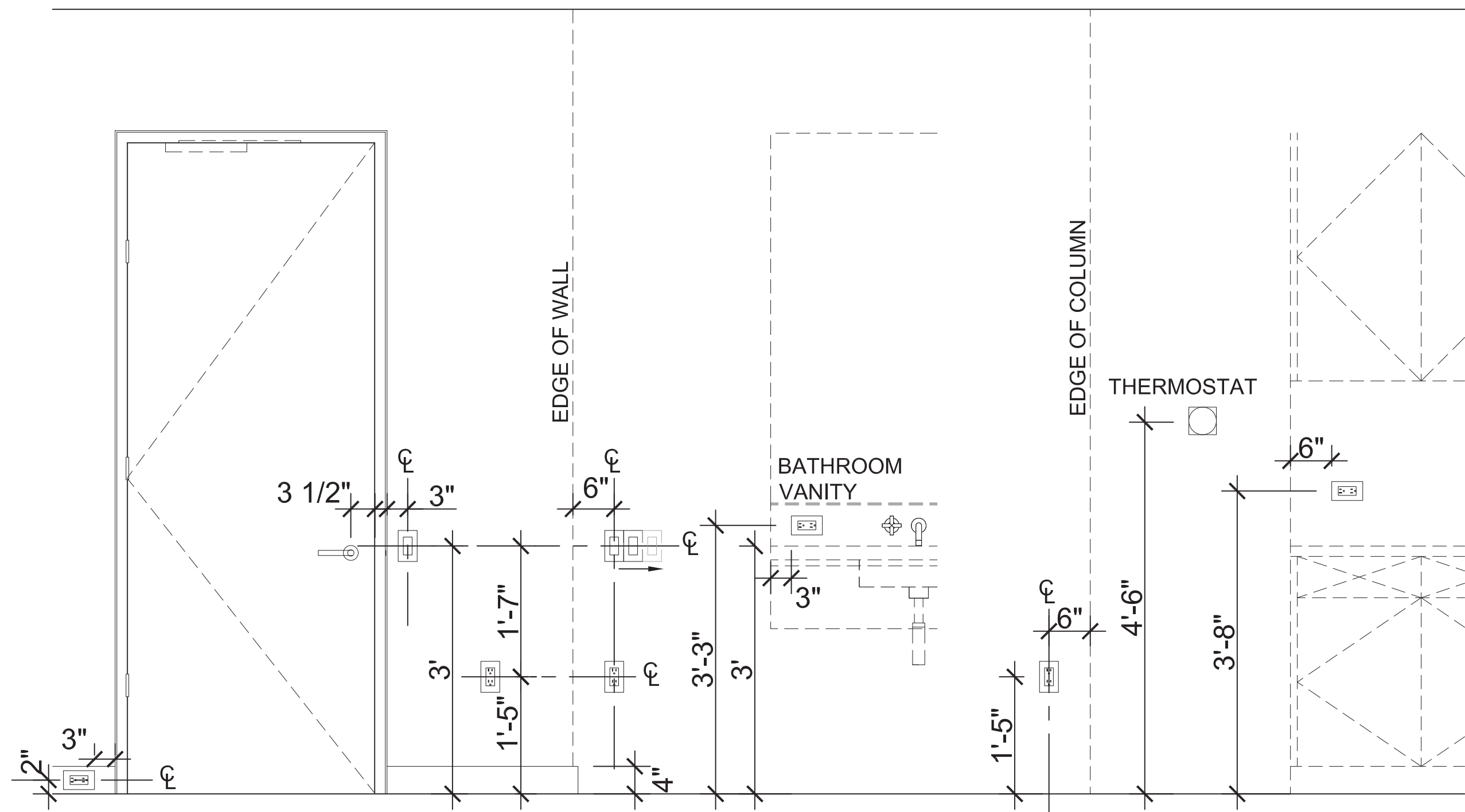
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A-300.00

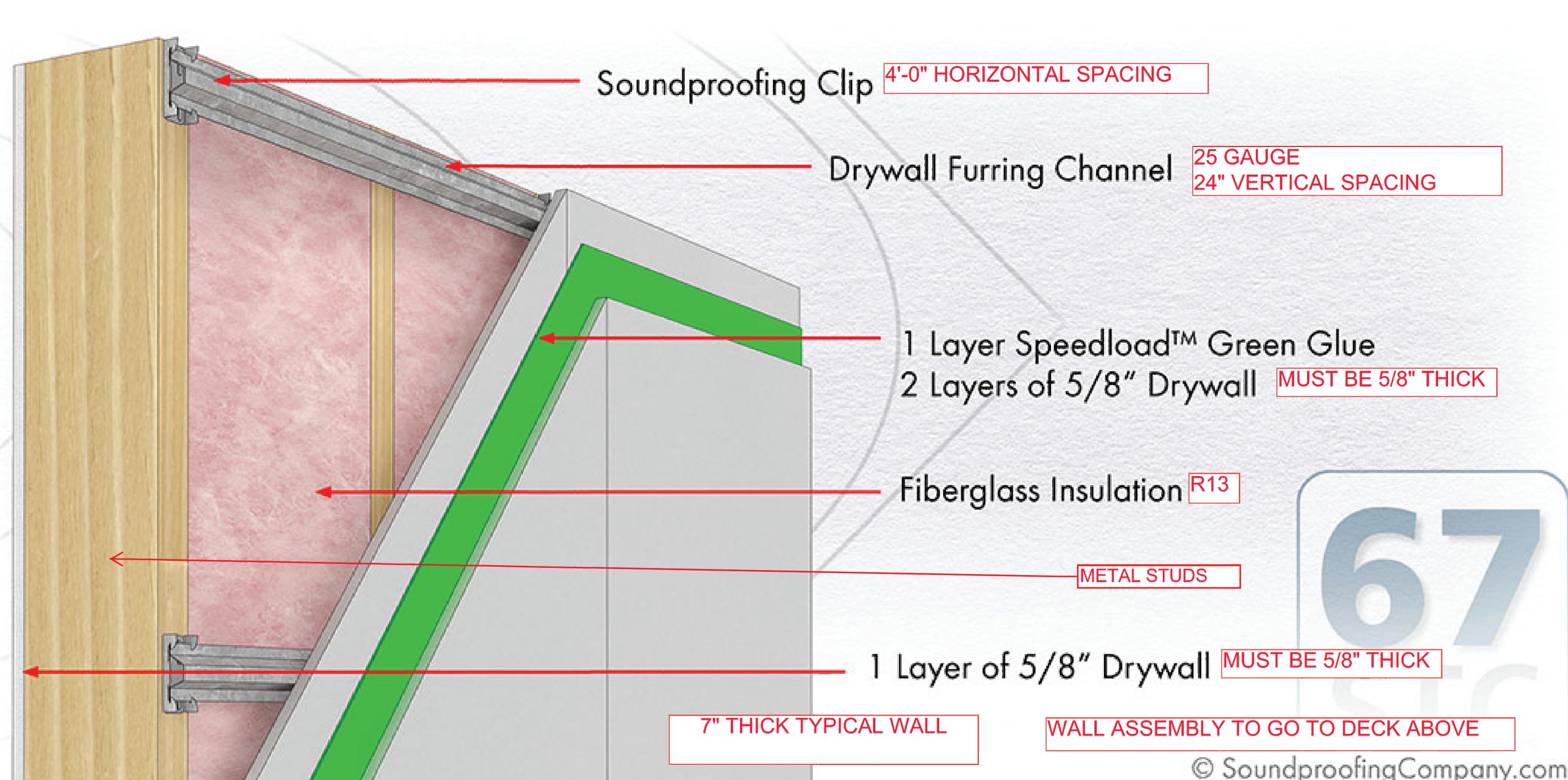
SHEET

SCALE AS SHOWN	
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PAGE	6 OF 7

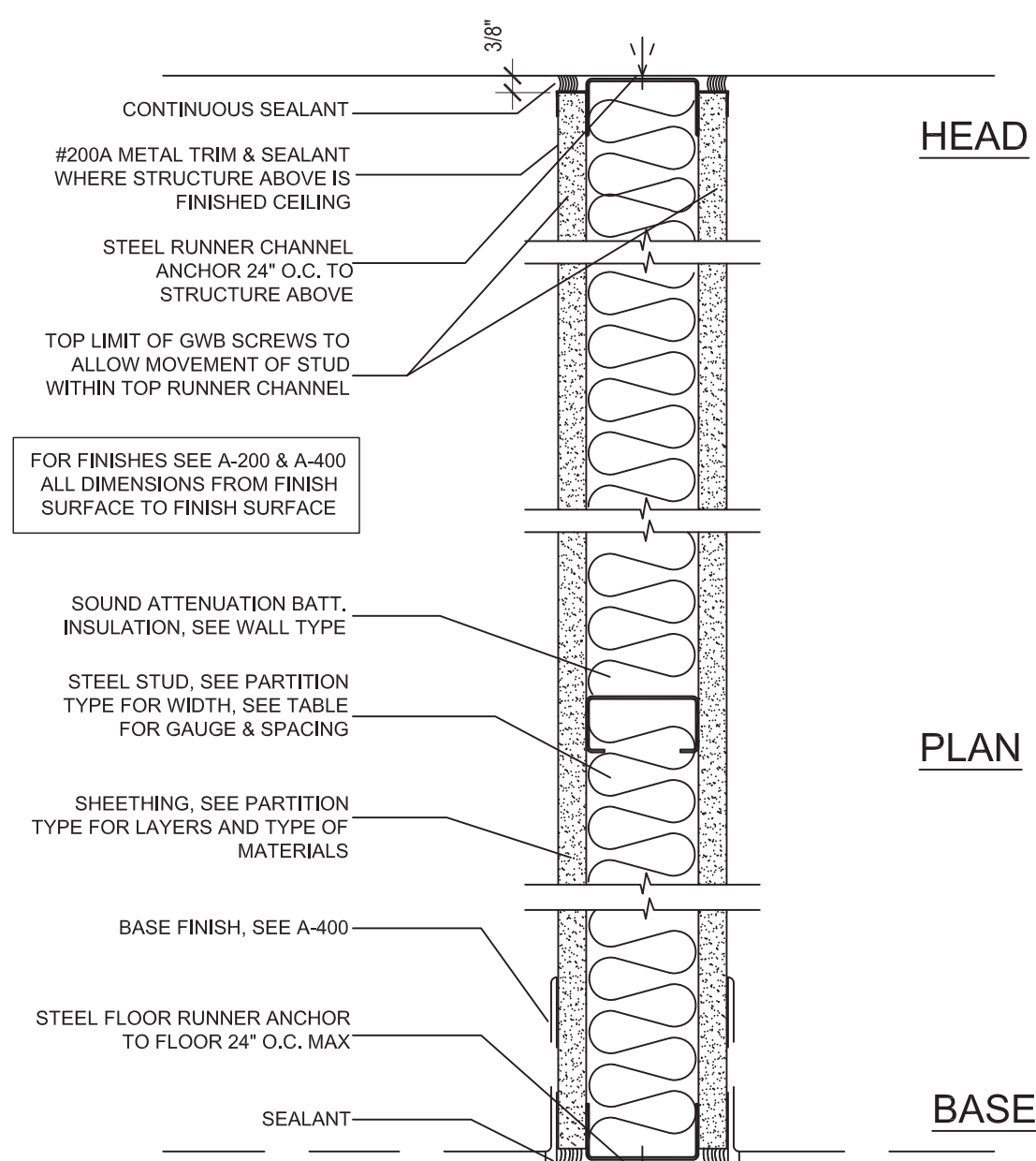




1 TYP. SWITCHES & OUTLET HEIGHTS  
A-800 SCALE: 3/4" = 1'-0"



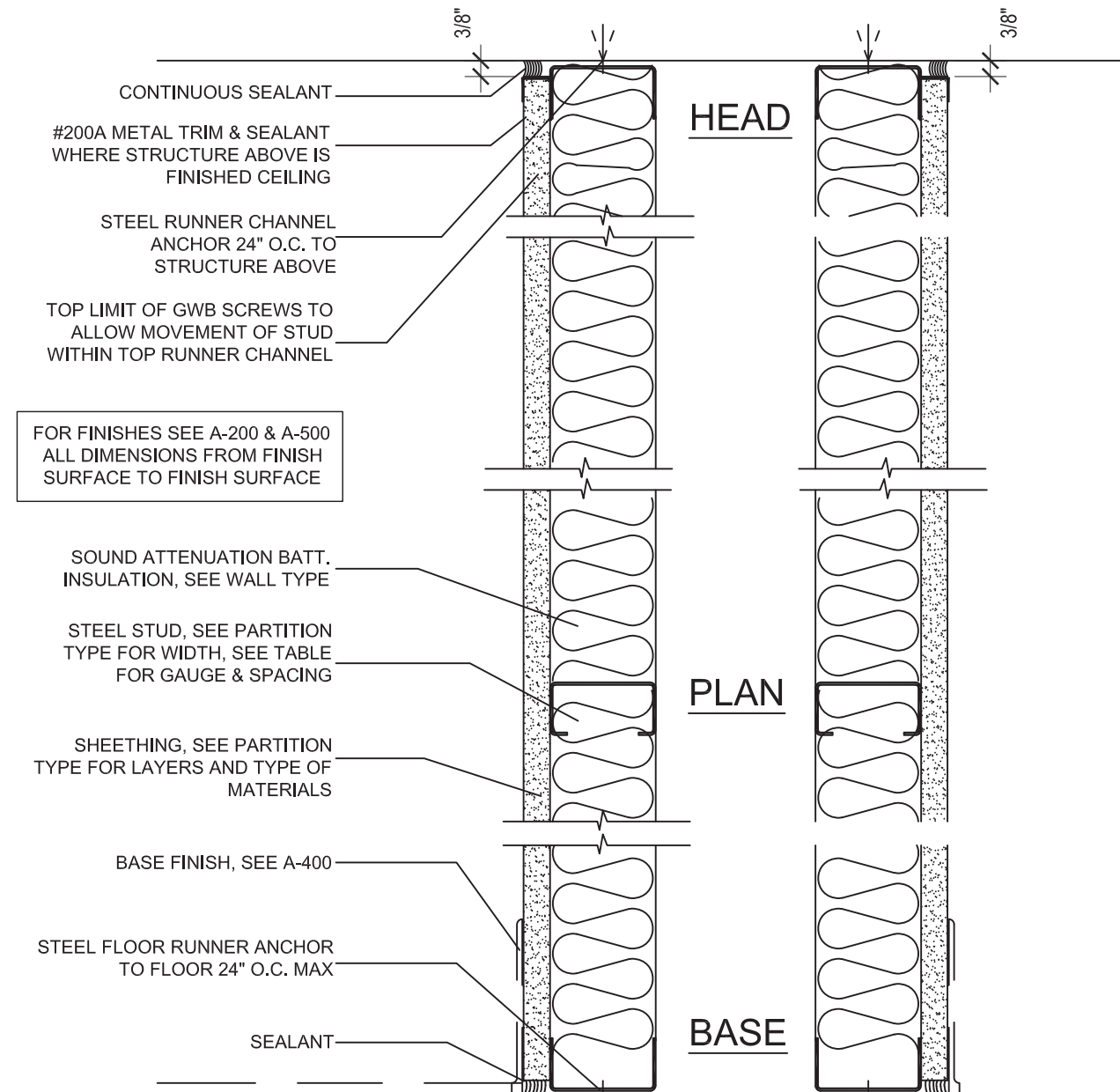
7 TYP. SOUNDPROOFING DTL  
A-800 FOR REFERENCE  
ALL PARTY WALLS SHARED WITH OTHER TENANTS OF 246 TOWNE CENTER MUST BE SOUNDPROOFED



1 PARTITION TYPE  
A-800 SINGLE STUD SHEATHING BOTH SIDES

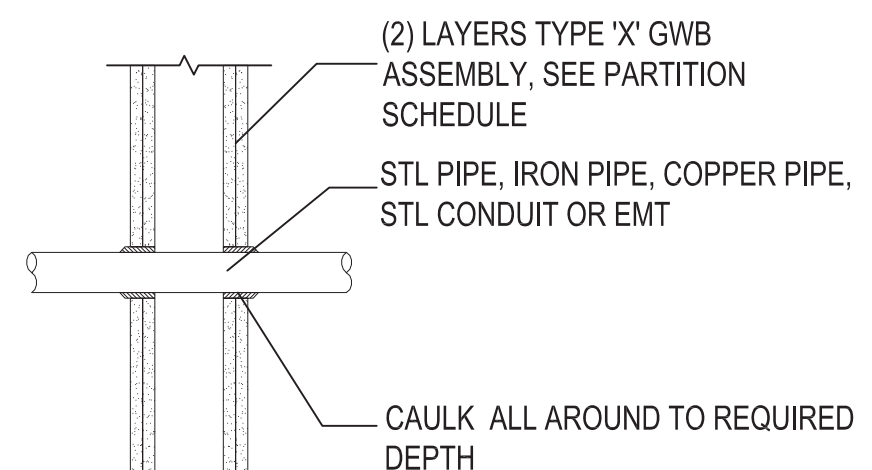
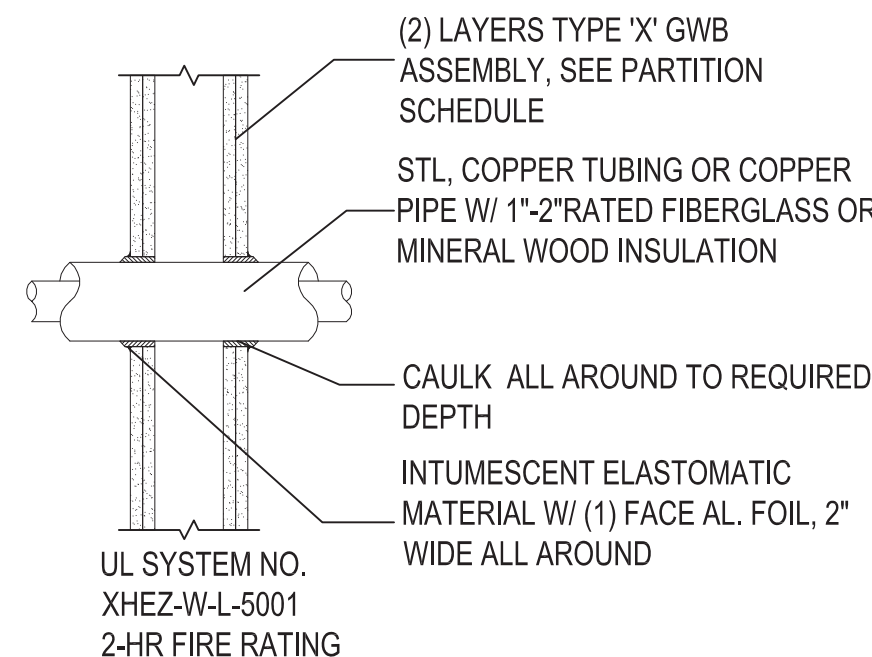
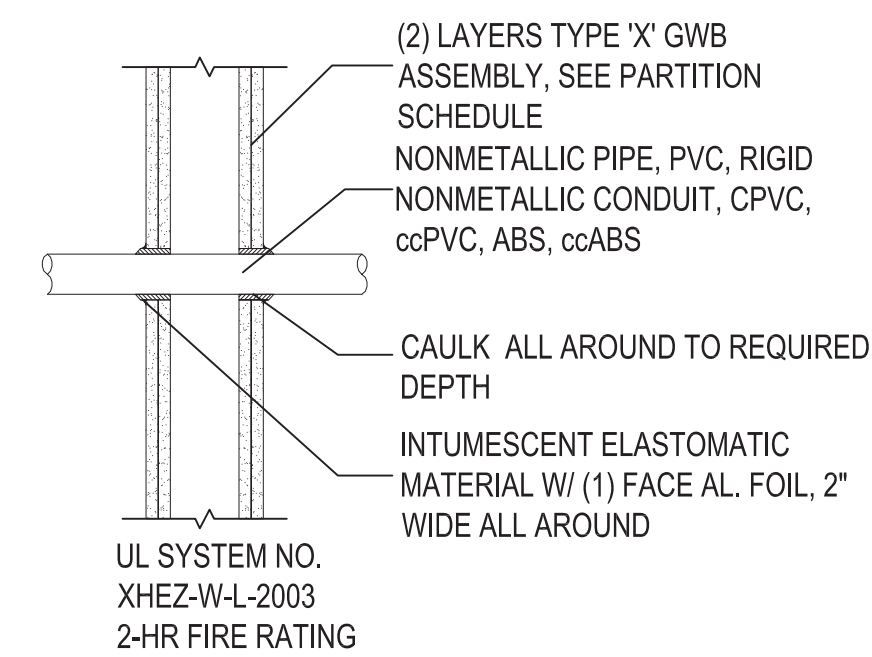
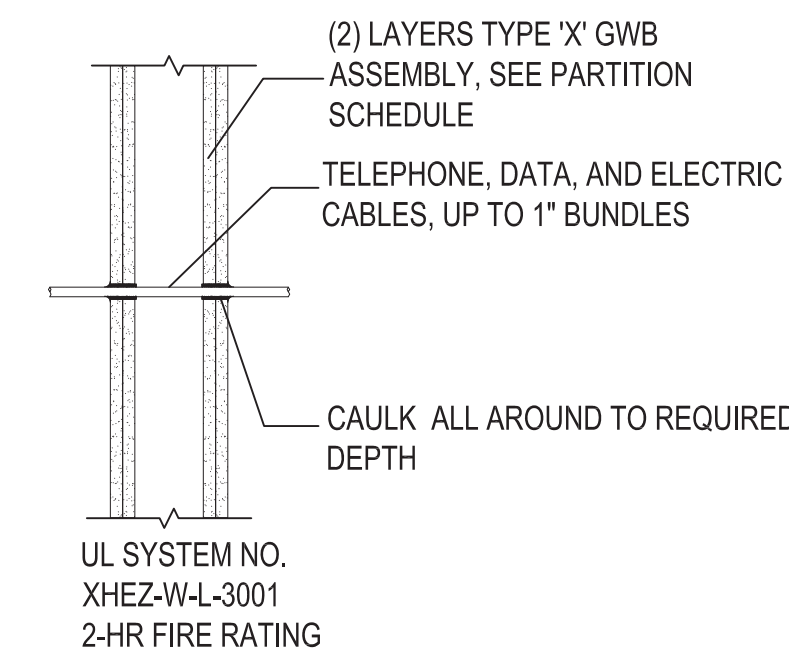
- 1.0 NR (4 7/8")  
3 5/8" METAL STUD (18 GA.) @ 16" O.C.  
1-LAYER 5/8" TYPE 'X' GWB, EACH SIDE  
3 1/2" ROXUL OR MINERAL WOOL INSULATION  
SHEATHING TO DROP CEILING  
STUDS TO SLAB ABOVE
- 1.1 NR (7 1/4")  
6" METAL STUD (20 GA.) @ 16" O.C.  
1-LAYER 5/8" TYPE 'X' GWB, DRY SIDE  
1-LAYER 5/8" TYPE 'X' MOLD-RESISTANT GWB, WET SIDE  
3 1/2" ROXUL OR MINERAL WOOL INSULATION  
SHEATHING & STUDS TO SLAB ABOVE

3 PARTITION SCHEDULE  
A-800 SCALE: 3" = 1'-0"



2 PARTITION TYPE  
A-800 PLUMBING WALL

- 1.2 NR (4 7/8")  
3 5/8" METAL STUD (18 GA.) @ 16" O.C.  
1-LAYER 5/8" TYPE 'X' MOLD-RESISTANT GWB, BOTH SIDES  
3 1/2" ROXUL OR MINERAL WOOL INSULATION  
SHEATHING TO SLAB @ FULL HEIGHT, TO  
DROP CEILING AT DROP CEILING LOCATIONS  
& STUDS TO SLAB ABOVE
- 1.3 NR (4 7/8")  
3 5/8" METAL STUD (18 GA.) @ 16" O.C.  
1-LAYER 5/8" TYPE 'X' GWB, DRY SIDE  
1-LAYER 5/8" TYPE 'X' MOLD-RESISTANT GWB, WET SIDE  
3 1/2" ROXUL OR MINERAL WOOL INSULATION  
SHEATHING TO SLAB @ FULL HEIGHT, TO  
DROP CEILING AT DROP CEILING LOCATIONS  
& STUDS TO SLAB ABOVE



2 FIRESTOPPING DETAILS (IF REQUIRED)  
A-800 SCALE: 3" = 1'-0"

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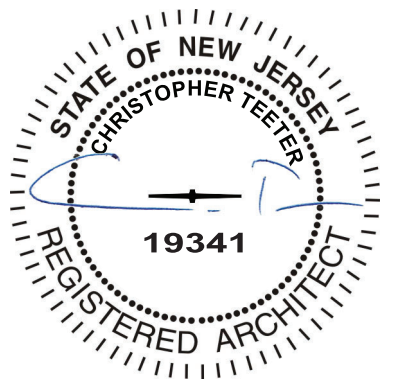
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PROPOSED DETAILS

TITLE

A-800.00

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