

PRELIMINARY & FINAL SITE PLAN

FOR

1980 US HWY 1, LLC

PROPOSED
WAREHOUSE FACILITY

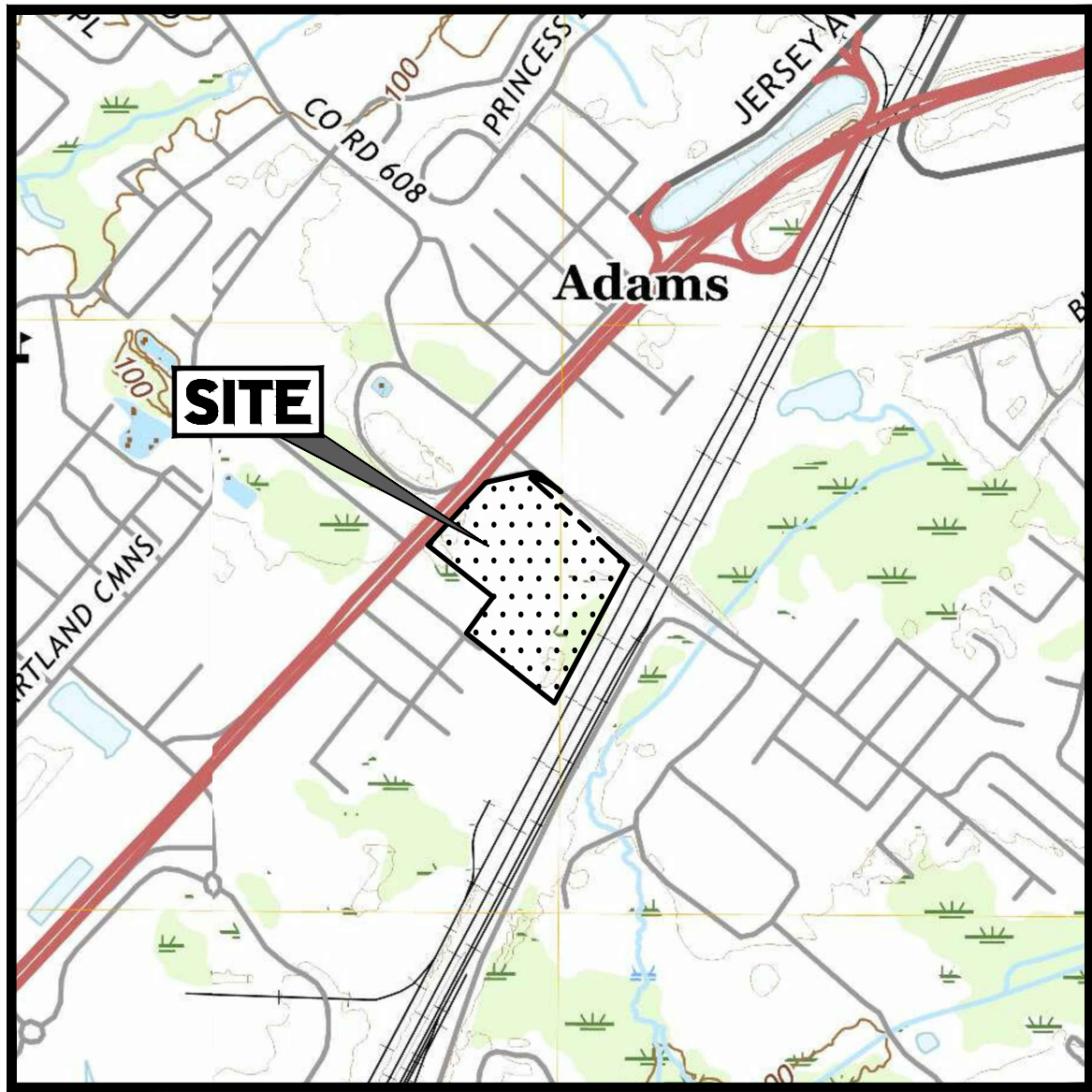
1980 US HIGHWAY ROUTE 1

BLOCK 148; LOTS 34, 35.01 & 36

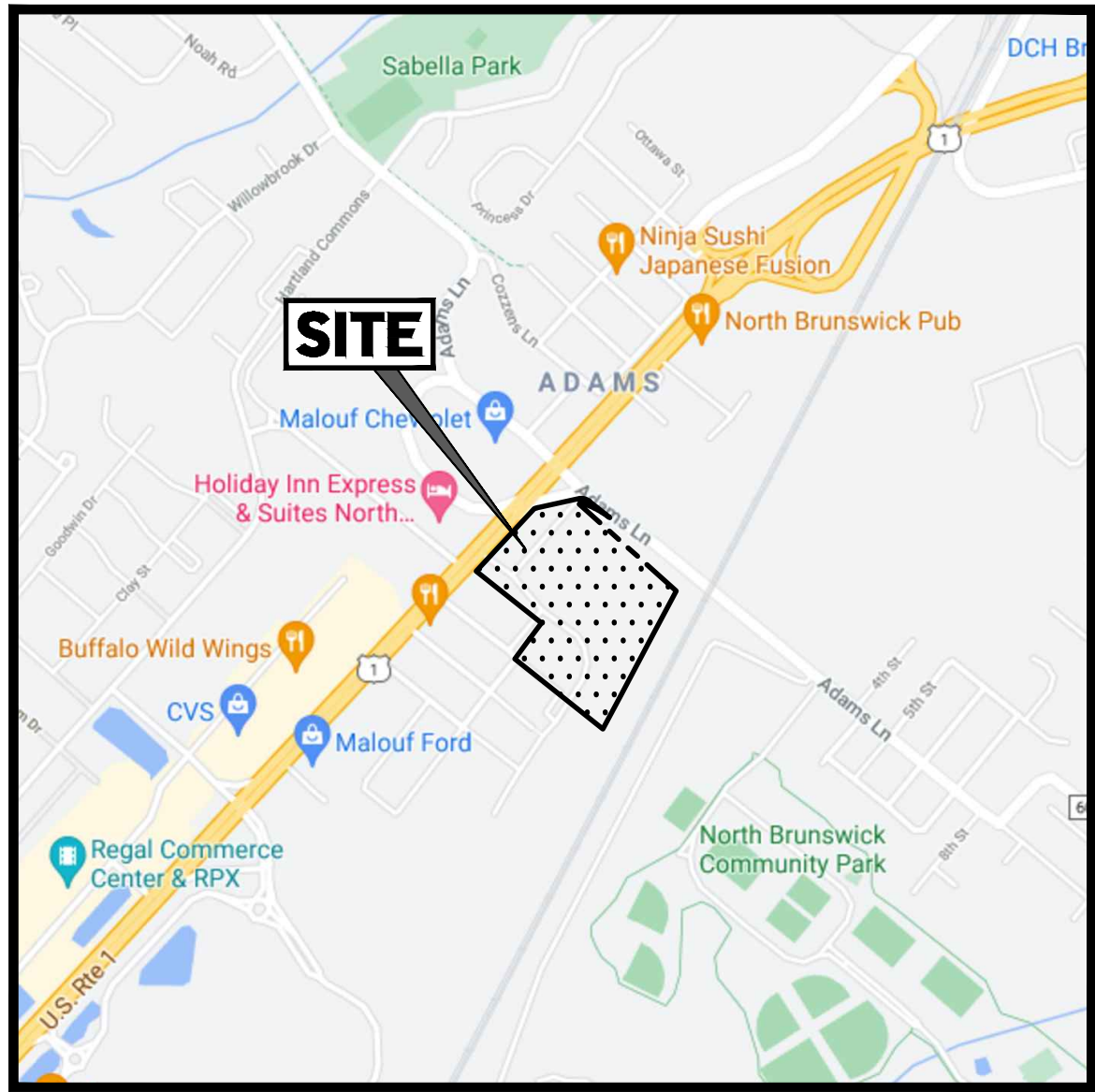
TOWNSHIP OF NORTH BRUNSWICK

MIDDLESEX COUNTY; NEW JERSEY

I-2 ZONE; TAX MAP SHEET #32



USGS MAP
SCALE: 1" = 1,000'
SOURCE: U.S. GEOLOGICAL SURVEY MAPS



KEY MAP
SCALE: 1" = 1,000'
SOURCE: GOOGLE MAPS

DRAWING SHEET INDEX

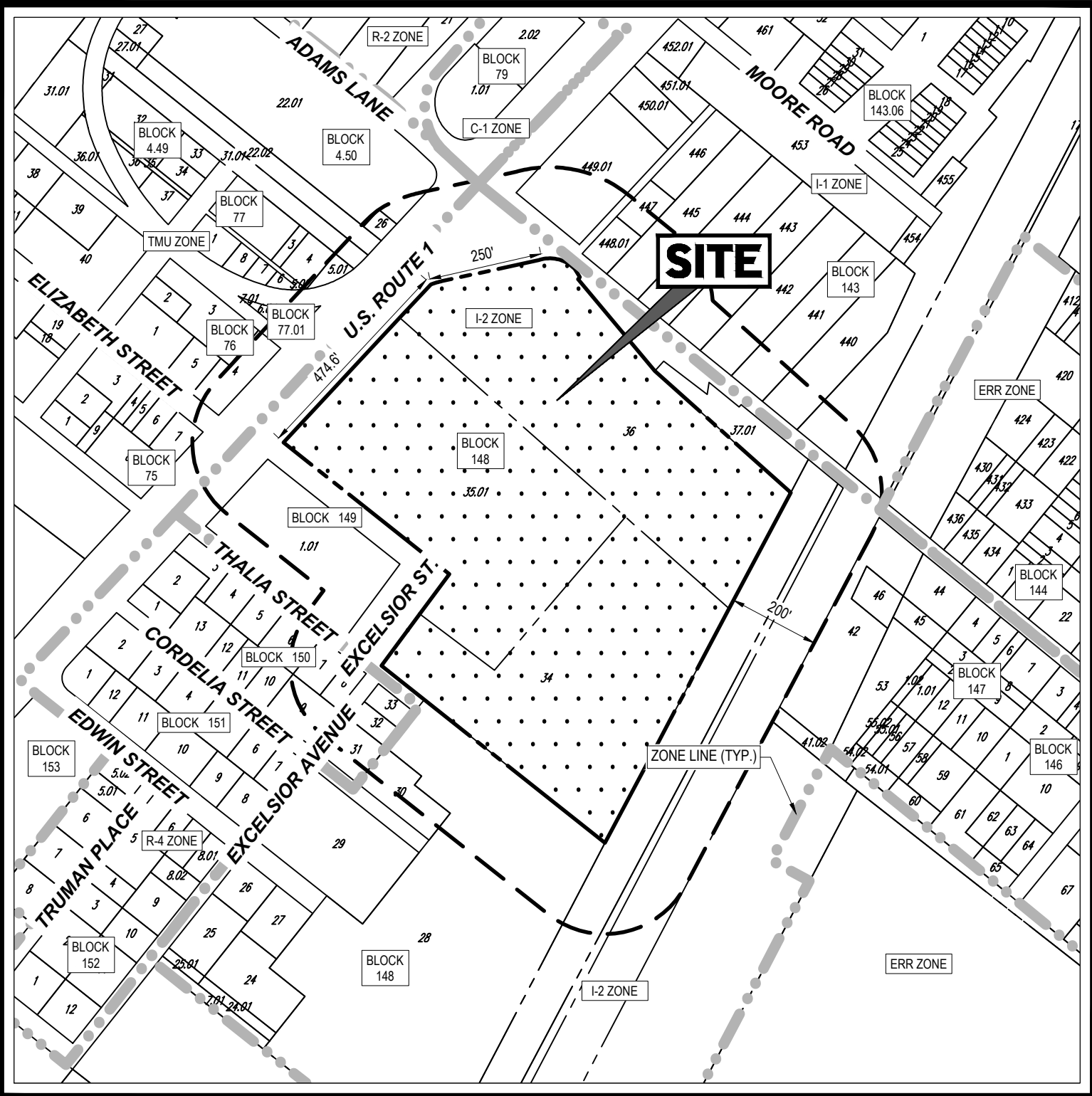
SHEET TITLE	NUMBER
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SITE LAYOUT PLAN 'A' & 'B'	C-301 & C-302
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DRAINAGE PLAN 'A' & 'B'	C-501 & C-502
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ALT/NSPS LAND TITLE SURVEY (BY OTHERS)	1 & 2 OF 2

APPROVAL BLOCK

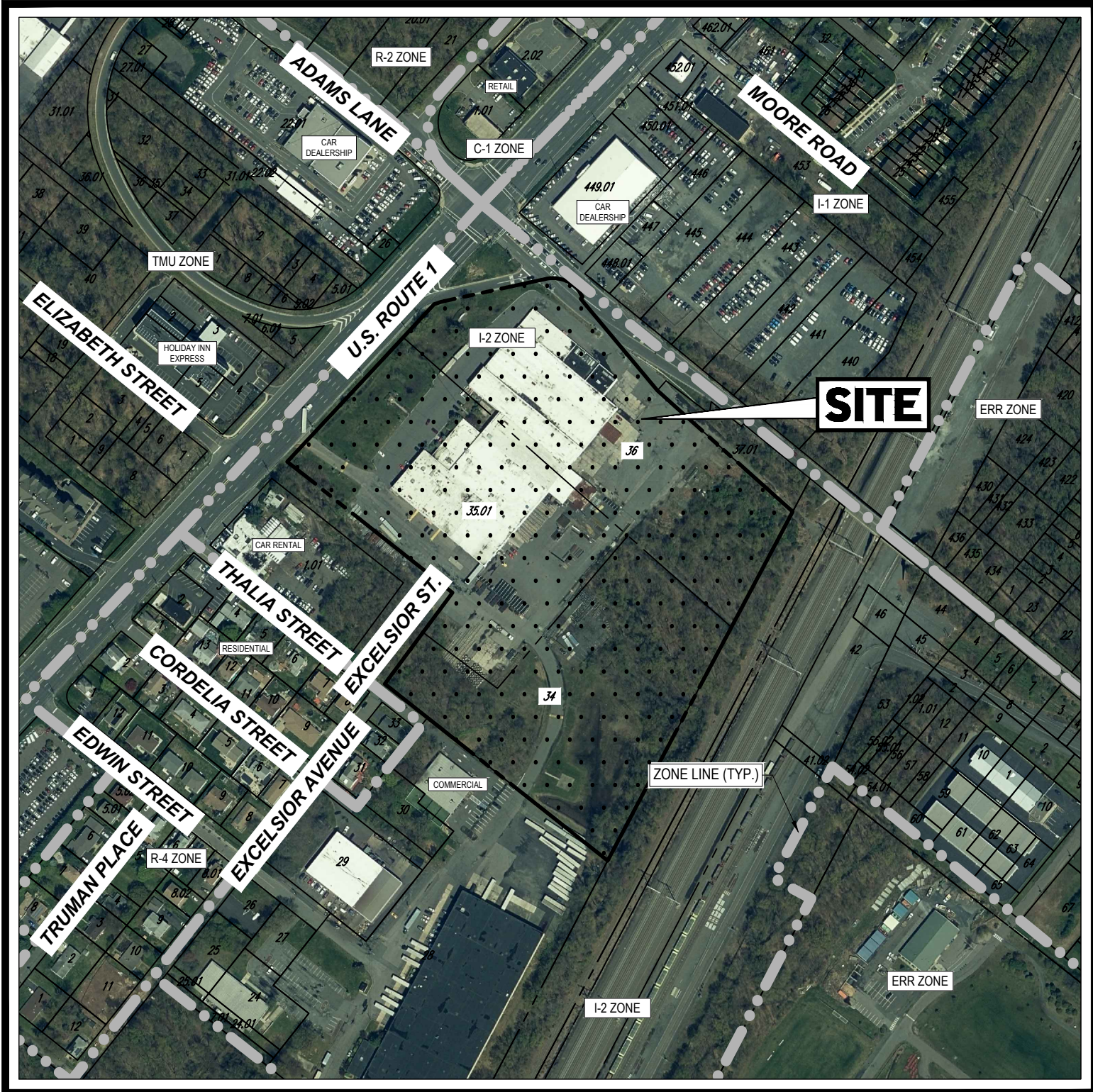
TOWNSHIP OF NORTH BRUNSWICK BOARD APPROVAL APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF NORTH BRUNSWICK, NEW JERSEY.	
CHAIRMAN	DATE
PLANNING BOARD SECRETARY	DATE
TOWNSHIP ENGINEER	DATE

OWNER CERTIFICATION

I CERTIFY THAT I AM THE OWNER OF BLOCK 148 LOTS 34, 35.01 & 36 AND CONSENT TO THE FILING OF THE APPLICATION.	
1980 US HWY 1 LLC	8/6/2021
DATE	



TAX MAP
SCALE: 1" = 300'
SOURCE: TAX MAP OF NORTH BRUNSWICK TAX MAPS



AERIAL MAP
SCALE: 1" = 300'
SOURCE: NGIN INFORMATION WAREHOUSE

PREPARED BY

BOHLER

NOTES:
THE NEW JERSEY DEPARTMENT OF TRANSPORTATION 2007 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SHALL GOVERN AS UPDATED AND AMENDED PER NJDOT BASELINE DOCUMENT CHANGES. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONFIRM IF SUPPLEMENTARY SPECIFICATIONS ARE APPLICABLE.

STANDARD SPECIFICATIONS AND BASELINE DOCUMENT CHANGES AVAILABLE AT:
HTTP://WWW.STATE.NJ.US/TRANSPORTATION/ENG/SPCS/2007/DIVISION SH1.ML

THE NEW JERSEY DEPARTMENT OF TRANSPORTATION 2016 STANDARD ROADWAY CONSTRUCTION - TRAFFIC CONTROL - BRIDGE CONSTRUCTION DETAILS AND THE 2007 STANDARD ELECTRICAL DETAILS SHALL GOVERN, WHERE THERE IS A DISCREPANCY BETWEEN THE STANDARD DETAILS AND ANY DETAILS SHOWN ON THESE PLANS, THE STANDARD DETAILS SHALL GOVERN AND THE ENGINEER SHALL BE NOTIFIED.

STANDARD DETAILS AVAILABLE AT:
HTTP://WWW.STATE.NJ.US/TRANSPORTATION/ENG/CADD/DB/

2007 Property List for Block 148, Lots 34, 35.01 and 36

4.00	31	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.01	32	MAJALUP RICHARD	1500 PARKWAY AVENUE	NORTH BRUNSWICK NJ 08902	LEWIS STREET
4.02	33	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.03	34	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.04	35	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.05	36	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.06	37	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.07	38	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.08	39	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.09	40	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.10	41	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.11	42	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.12	43	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.13	44	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.14	45	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.15	46	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.16	47	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.17	48	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.18	49	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.19	50	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.20	51	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.21	52	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.22	53	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.23	54	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.24	55	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.25	56	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.26	57	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.27	58	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.28	59	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.29	60	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.30	61	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.31	62	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.32	63	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.33	64	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.34	65	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.35	66	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.36	67	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.37	68	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
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4.39	70	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.40	71	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.41	72	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.42	73	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.43	74	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.44	75	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.45	76	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.46	77	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.47	78	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.48	79	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.49	80	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.50	81	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.51	82	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.52	83	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.53	84	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.54	85	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.55	86	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.56	87	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.57	88	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.58	89	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.59	90	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.60	91	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.61	92	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.62	93	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.63	94	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.64	95	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.65	96	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.66	97	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.67	98	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.68	99	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.69	100	NEW JERSEY STATE DOT	1500 PARKWAY AVENUE	THIRTON NJ 08602	LEWIS STREET
4.70					

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SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

DATE	COMMENT	DRAWN BY CHECKED BY
08/25/2021	REV. PER TWP. COMPLETENESS	APR AS
10/27/2021	REV. PER TOWNSHIP COMMENTS	APR BE
11/19/2021	REV. PER TOWNSHIP COMMENTS	APR BE

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DOCUMENT UNLESS INDICATED OTHERWISE.

SHEET NO.: OWN BY: CHECKED BY:	J200616 APR AS/RAB
E: I.D.:	08/11/2021 J200616-CDS-SA

SHEET:

PRELIMINARY & FINAL SITE PLAN

FOR _____

1980 US HWY 1, LLC

PROPOSED
WAREHOUSE FACILITY

1980 US HIGHWAY ROUTE 1
BLOCK 148; LOTS 34, 35.01 & 36
TOWNSHIP OF NORTH BRUNSWICK
MIDDLESEX COUNTY, NEW JERSEY
I-2 ZONE; TAX MAP SHEET #32

BOHLER //

BOHLER ENGINEERING NJ, LLC

INDEPENDENCE BLVD., SUITE 200
WARREN, NJ 07059

P.O. Box: (908) 668-8300
Fax: (908) 754-4401

Email: [BohleEngineering.com](#)

CERTIFICATE OF AUTHORIZATION NO. 24GAG28167700 & M9K00122

B.A. BOHLER

"PROFESSIONAL ENGINEER"
NEW JERSEY LICENSE No. E74212
NEW YORK LICENSE No. 088514-E
PENNSYLVANIA LICENSE No. 077268
CONNECTICUT LICENSE No. 29039
DELAWARE LICENSE No. 17111
CHINA LICENSE No. 72957

TITLE:

NOTES AND REFERENCES SHEET

TITLE NUMBER:



ALL EXISTING ON-SITE FEATURES
WITHIN THE LIMIT OF DISTURBANCE
ARE TO BE REMOVED UNLESS
OTHERWISE NOTED.
ALL EXISTING FEATURES OUTSIDE
LIMIT OF DISTURBANCE ARE TO
REMAIN UNLESS OTHERWISE NOTED.

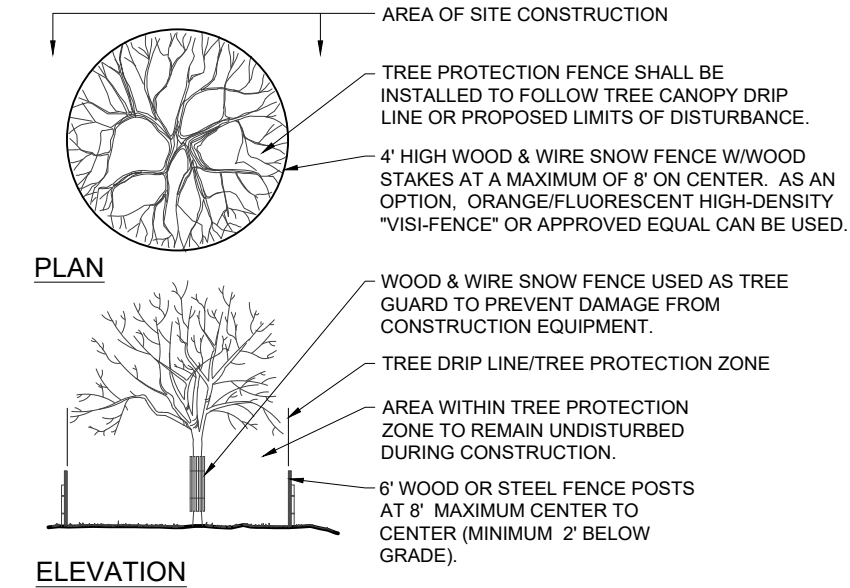
US ROUTE 1
(134.5' WIDE R.O.W.)
(ASPHALT ROADWAY)
(TWO WAY TRAFFIC)

REFER TO SOIL EROSION AND
SEDIMENT CONTROL PLAN FOR SOIL
EROSION NOTES AND MEASURES.

ALL EXISTING FEATURES IN R.O.W. ARE
TO REMAIN UNLESS OTHERWISE NOTED
T.B.R. = FEATURE TO BE REMOVED































REFER TO NOTES AND REFERENCES
SHEET FOR ADDITIONAL NOTES,
REFERENCES AND SPECIFICATIONS.

THIS PLAN TO BE UTILIZED FOR
DEMOLITION PURPOSES ONLY



1 TREE PROTECTION DURING
SITE CONSTRUCTION DETAIL

NOT TO SCALE (0039909 - 4/2017)

LEGEND	
EXISTING	REMOVALS
	BUILDING
	CANOPY
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	ROW LINE
	EASEMENT LINE
	SAWCUT LINE / LIMIT OF DISTURBANCE
	CURB
	FLUSH CURB
	CURB WALL
	RETAINING WALL
	PAVEMENT MARKING
	ACCESSIBLE SYMBOL
	PARKING COUNT
	AREA LIGHT
	UTILITY POLE
	LIGHT POLE
	SIGN / BOLLARD SIGN
	DOOR LOCATION
	BOLLARD
	FENCE
	DECORATIVE FENCE
	HANDRAIL
	GUIDE RAIL
	MANHOLE
	DRAINAGE / SANITARY
	MANHOLE
	DRAINAGE INLET
	WATER / GAS VALVE
	FIRE HYDRANT

G:\2024\20240616\DRAWINGS\CURRENT\DRAWINGS\20240616\SP-3A\...LAYOUT: C-201.DWG

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SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	09/25/2021	REV. PER TWP. COMPLETENESS	APR
2	10/27/2021	REV. PER TOWNSHIP COMMENTS	APR
3	11/19/2021	REV. PER TOWNSHIP COMMENTS	BE



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PROJECT NO.: J200616
DRAWN BY: APR
CHECKED BY: APR
DATE: 08/11/2024
CAD ID: J200616-SP-3A

PROJECT:

PRELIMINARY & FINAL SITE PLAN

FOR

1980 US HWY 1, LLC

PROPOSED
WAREHOUSE FACILITY

1980 US HIGHWAY ROUTE 1
BLOCK 148; LOTS 34, 35.01 & 36
TOWNSHIP OF NORTH BRUNSWICK
MIDDLESEX COUNTY, NEW JERSEY
I-2 ZONE; TAX MAP SHEET #32

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BOHLER ENGINEERING NJ, LLC

30 INDEPENDENCE BLVD., SUITE 200
WARREN, NJ 07059
Phone: (908) 685-6300
Fax: (908) 754-4401
www.BohlerEngineering.com
NJ CERT. OF AUTHORIZATION NO. 24628161700 & M4000122

B.A. BOHLER

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 47421
NEW YORK LICENSE NO. 088514-2
PENNSYLVANIA LICENSE NO. 077266
CONNECTICUT LICENSE NO. 26039
DELAWARE LICENSE NO. 17111
OKLAHOMA LICENSE NO. 78297

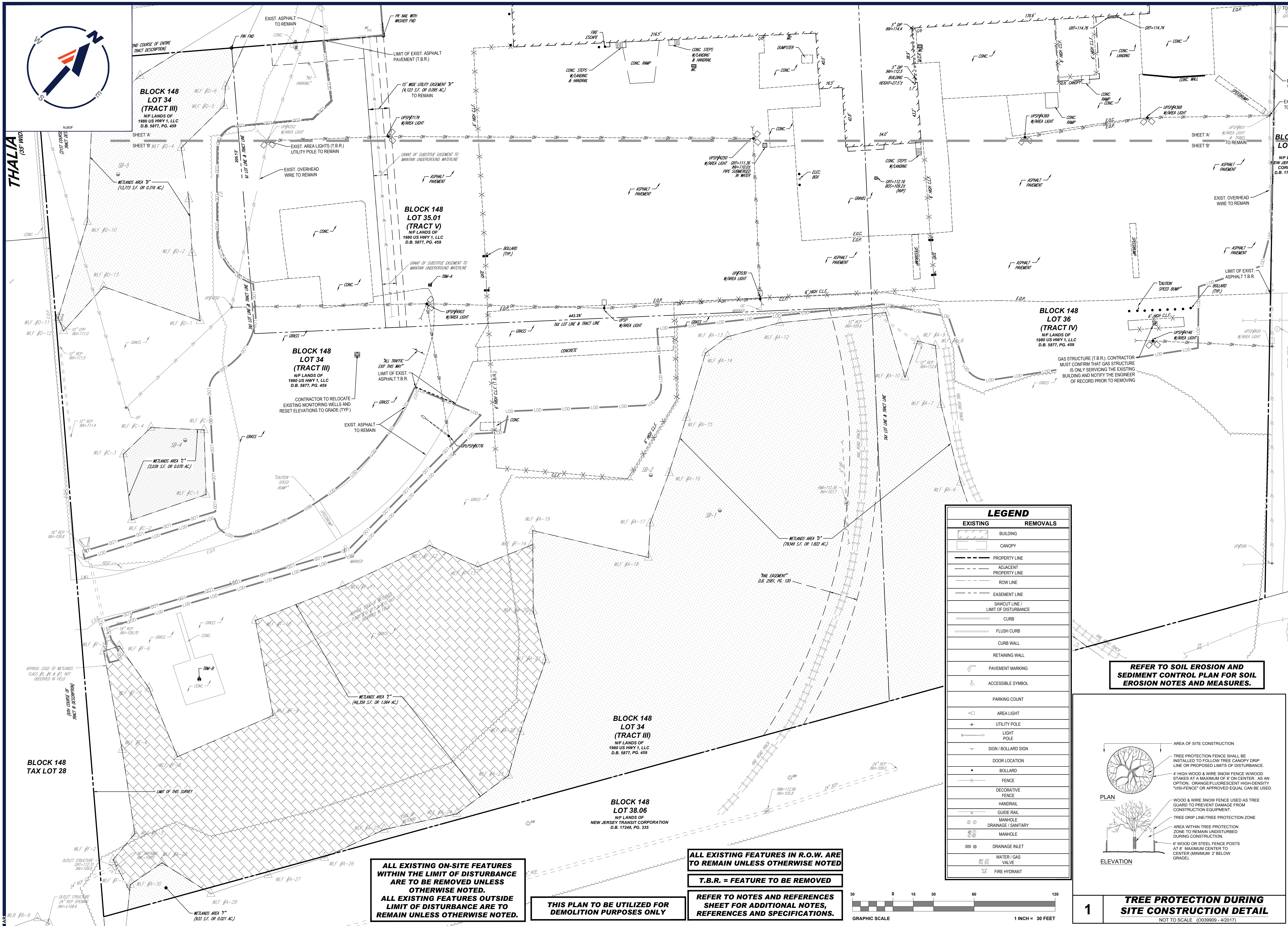
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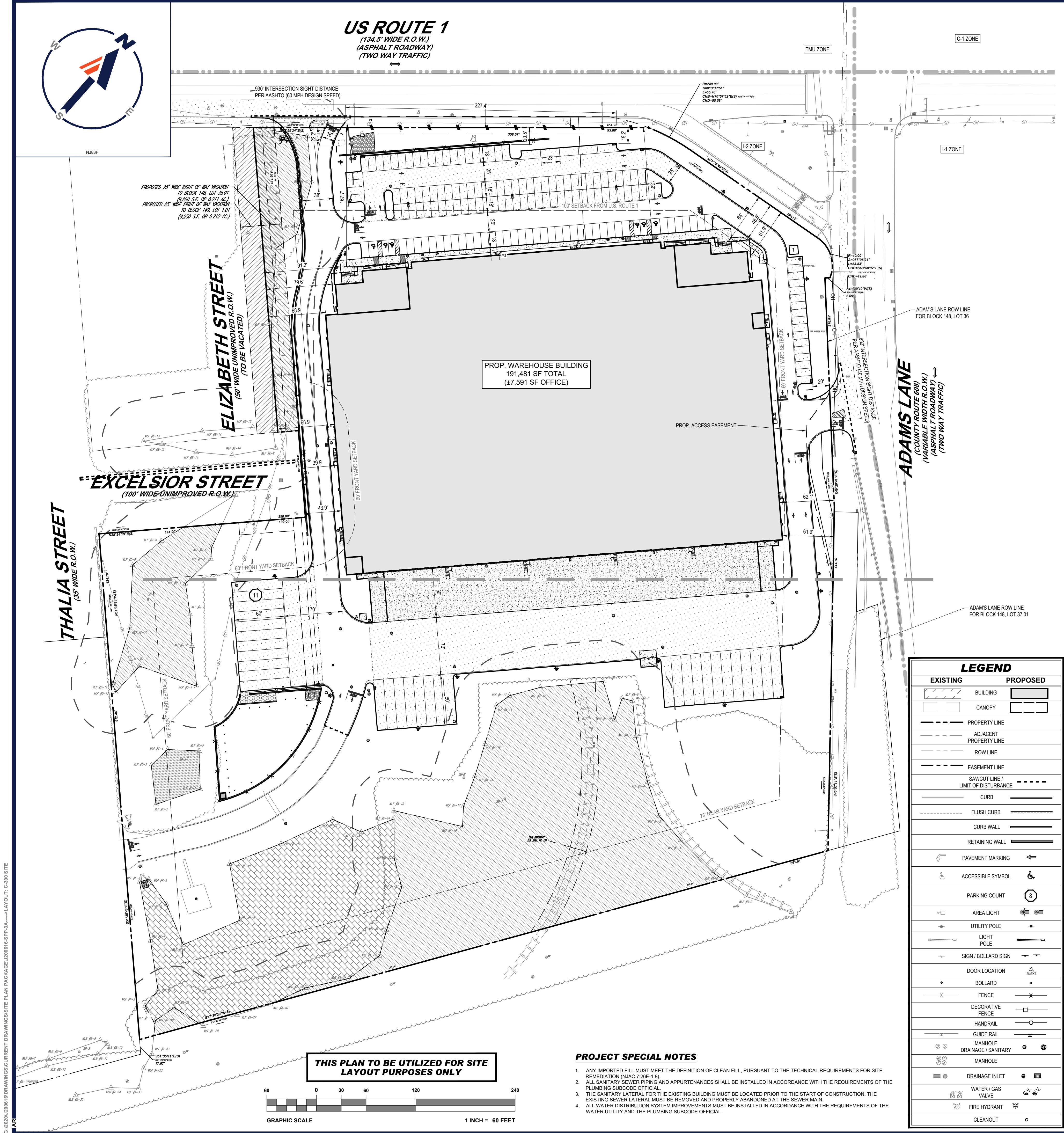
DEMOLITION
PLAN 'A'

SHEET NUMBER:

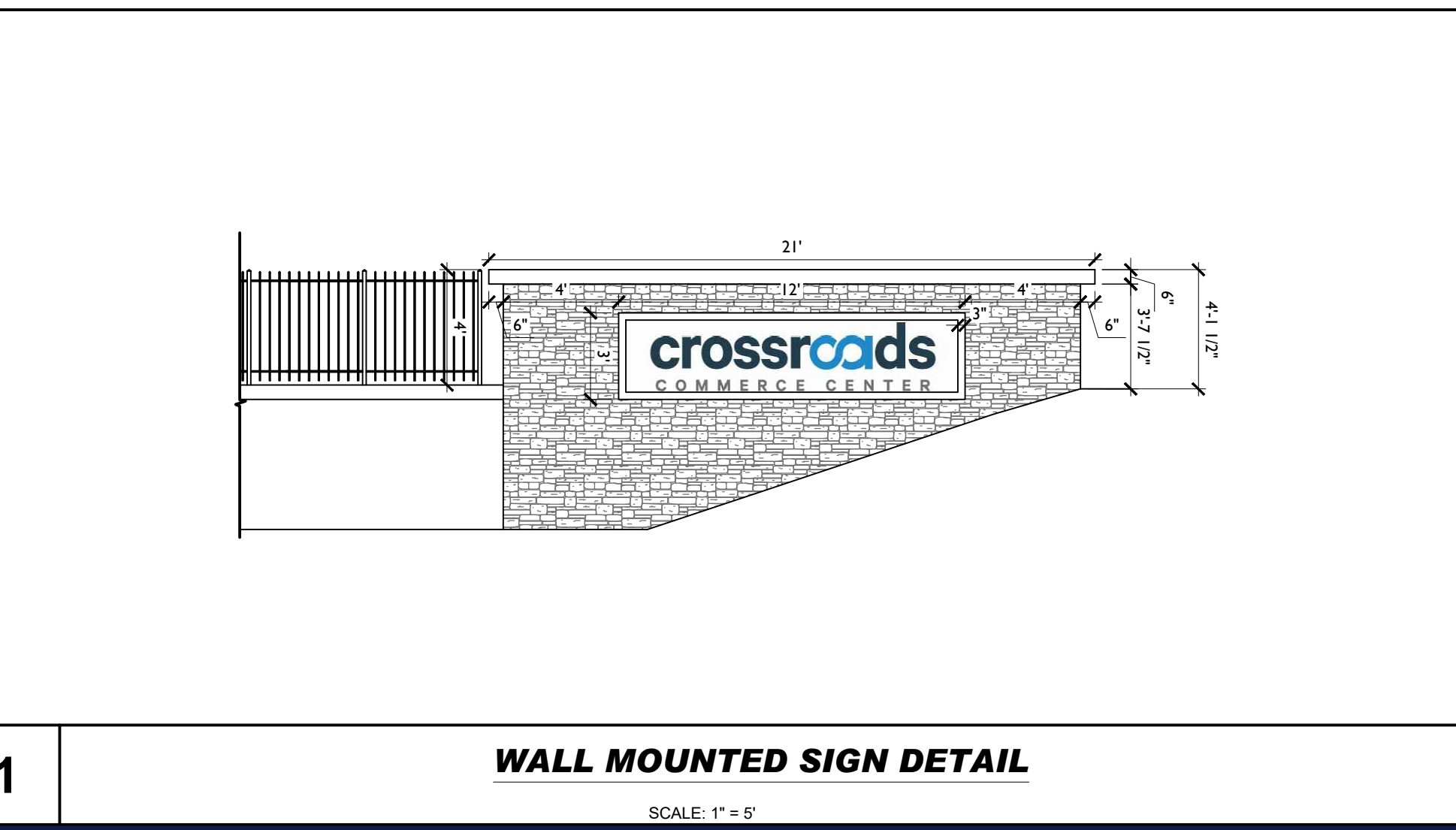
C-201

REVISION 3 - 11/19/2021





ZONING TABLE				
ZONE: I-2 ZONE USE: WAREHOUSE (PERMITTED PRINCIPAL USE) OFF-STREET PARKING, LOADING, AND SIGNS PERMITTED ACCESSORY USES BLOCK: 148 (LOT(S): 34, 35.01 & 36)				
APPLICANT / OWNER INFORMATION				
APPLICANT:	1980 US HWY 1, LLC C/O: KEVIN STUBBS, AIA 801 GRAND AVENUE DES MOINES, IA 50392-1370 (515) 235-1727			
PROPERTY OWNER:	1980 US HWY 1, LLC C/O: KEVIN STUBBS, AIA 801 GRAND AVENUE DES MOINES, IA 50392-1370 (515) 235-1727			
BULK REQUIREMENTS				
ITEM	CODE	PERMITTED	EXISTING	PROPOSED
MIN. LOT AREA	§ SCHEDULE TABLE 2	3 AC (130,680 SF)	16.895 AC (735,942 SF)	17.11 AC (745,142 SF)
MIN. LOT WIDTH	§ SCHEDULE TABLE 2	350'	600.1'	625.2'
MIN. LOT DEPTH	§ SCHEDULE TABLE 2	350'	994.3'	994.3'
MIN. FRONT YARD (FROM ROUTE 1)	§ 205-75-A	100'	180.5'	139.0'
MIN. FRONT YARD (FROM ALL OTHER STREETS)	§ 205-75-A	60'	42.4' (E)	39.9' (EXCELSIOR ST.) (V)
MIN. SIDE YARD	§ SCHEDULE TABLE 2	40'	N/A	61.9'
MIN. TOTAL BOTH SIDE YARD	§ SCHEDULE TABLE 2	80'	N/A	N/A
MIN. REAR YARD	§ SCHEDULE TABLE 2	75'	379.5'	379.1'
MAX. LOT COVERAGE BY PRINCIPAL BUILDING	§ SCHEDULE TABLE 2	40%	18.17% (133,693 SF)	25.70% (191,481 SF)
MAX. BUILDING STORIES	§ SCHEDULE TABLE 2	3 STORIES	2 STORIES	1 STORY
MAX. BUILDING HEIGHT*	§ SCHEDULE TABLE 2	40'	27.5'	43.75' (V)
MAX. LOT COVERAGE BY ALL IMPROVED SURFACES	§ SCHEDULE TABLE 2	80%	49.85% (366,901 SF)	53.59% (399,337 SF)
* AVERAGE GRADE AT THE FRONT OF THE BUILDING = (122.50 + 122.50) / 2 = 122.50 122.50 - 122.50 = 0.00 + 41.9' = 41.90'				
KEY = (E) = EXISTING NONCONFORMITY				



TM

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811

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DRAWN BY: AS/BAB
DATE: 08/11/2021
CAD ID: J200616-SP-3A

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FOR
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PROPOSED
WAREHOUSE FACILITY
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BLOCK 148; LOTS 34, 35.01 & 36
TOWNSHIP OF NORTH BRUNSWICK
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www.BohlerEngineering.com
NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & MH000122

B.A. BOHLER

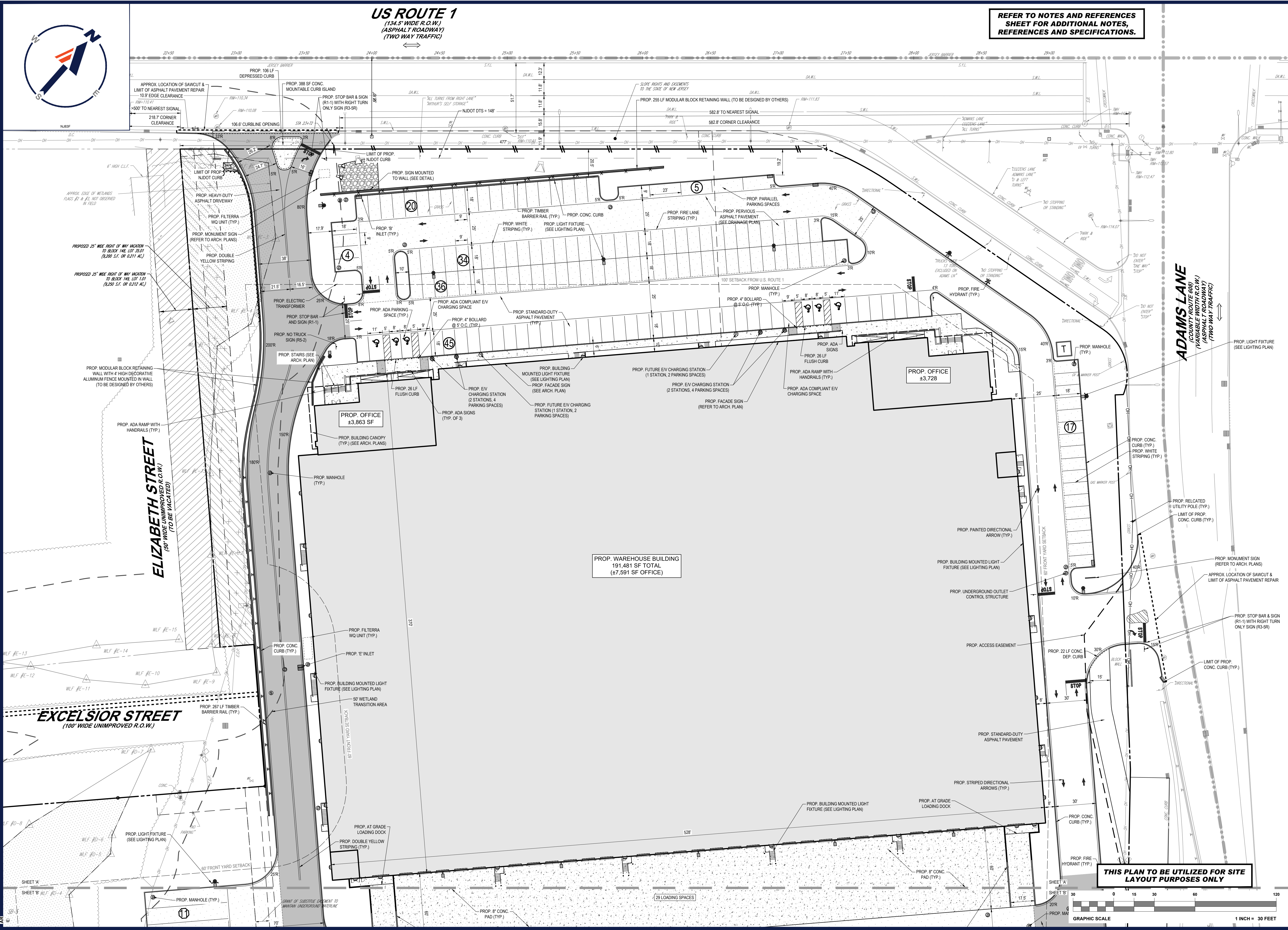
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SHEET TITLE:
OVERALL SITE LAYOUT PLAN

SHEET NUMBER:
C-300

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DRAWN BY: APR
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DATE: 08/11/2021
CAD ID: J200616-SPP-3A

PROJECT:

PRELIMINARY &
FINAL SITE PLAN

FOR

1980 US HWY 1, LLC

PROPOSED
WAREHOUSE FACILITY

1980 US HIGHWAY ROUTE 1
BLOCK 148; LOTS 34, 35.01 & 36
TOWNSHIP OF NORTH BRUNSWICK
MIDDLESEX COUNTY, NEW JERSEY
I-2 ZONE; TAX MAP SHEET #32

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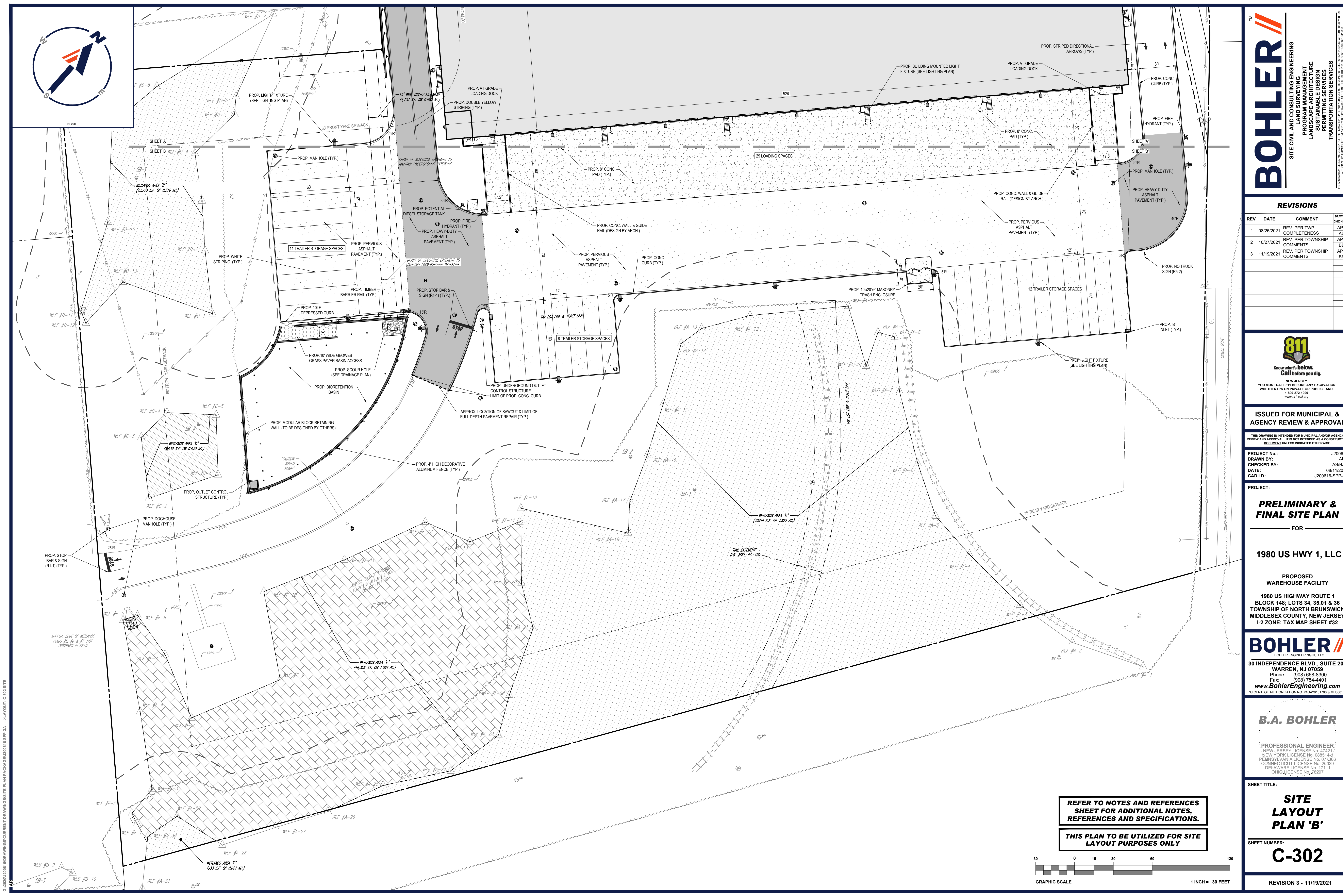
SHEET TITLE:

SITE
LAYOUT
PLAN 'A'

SHEET NUMBER:

C-301

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SUSTAINABLE DESIGN

PERMITTING SERVICES

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PROJECT NO.: J200616

DRAWN BY: APR

CHECKED BY: AS/AB

DATE: 08/11/2021

CAD ID: J200616-SPP-3A

PROJECT:

PRELIMINARY & FINAL SITE PLAN

FOR

1980 US HWY 1, LLC

PROPOSED WAREHOUSE FACILITY


1980 US HIGHWAY ROUTE 1

BLOCK 148; LOTS 34, 35.01 & 36

TOWNSHIP OF NORTH BRUNSWICK

MIDDLESEX COUNTY, NEW JERSEY

I-2 ZONE; TAX MAP SHEET #32



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SHEET TITLE:

SITE LAYOUT PLAN 'B'

SHEET NUMBER:

C-302

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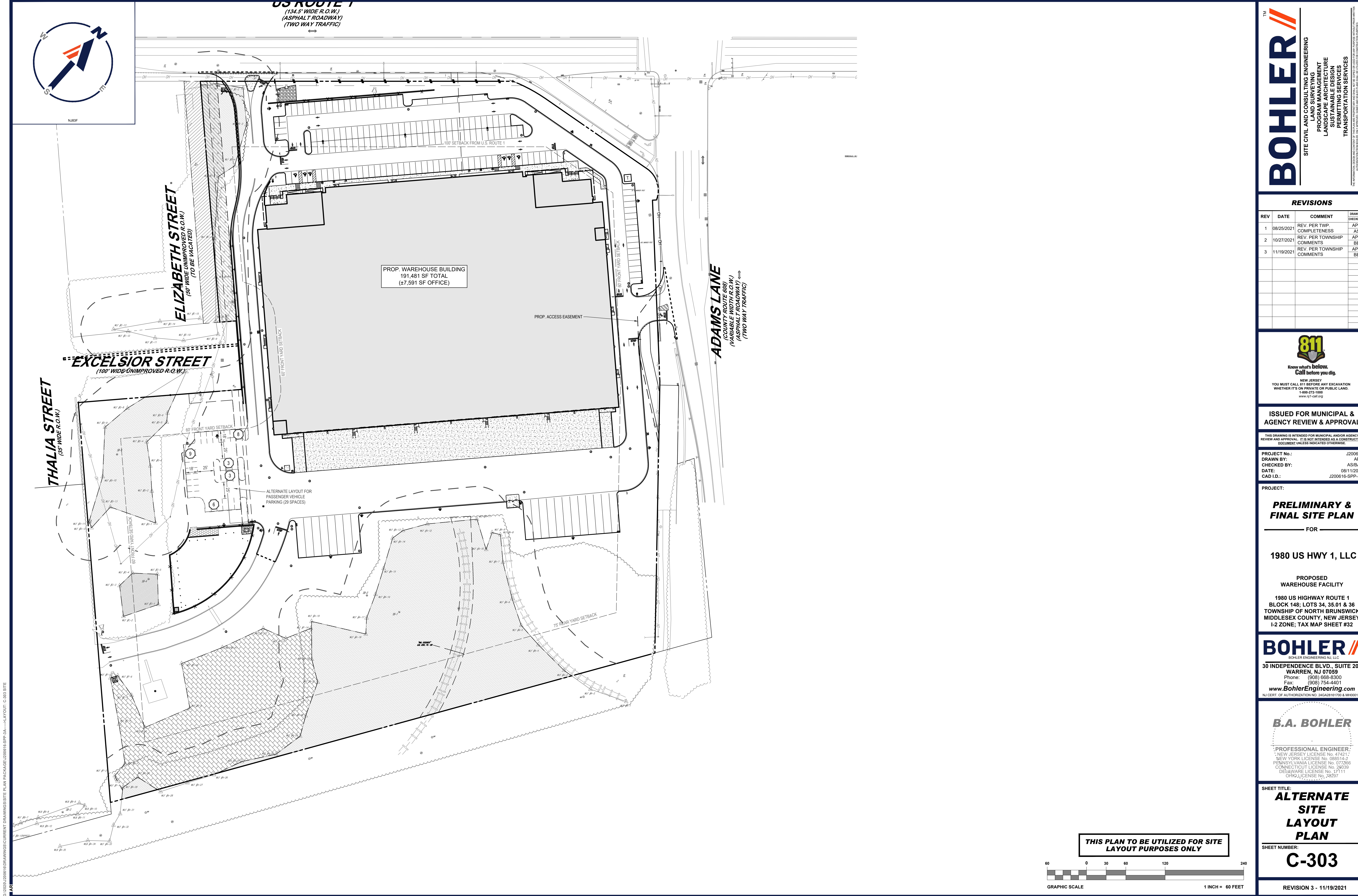
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GRAPHIC SCALE

1 INCH = 30 FEET



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SUSTAINABLE DESIGN

PERMITTING SERVICES

TRANSPORTATION SERVICES

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CHECKED BY: AS/BA
DATE: 08/11/2021
CAD ID: J200616-SPP-3A

PROJECT:
PRELIMINARY & FINAL SITE PLAN
FOR

1980 US HWY 1, LLC

PROPOSED
WAREHOUSE FACILITY

1980 US HIGHWAY ROUTE 1
BLOCK 148; LOTS 34, 35.01 & 36
TOWNSHIP OF NORTH BRUNSWICK
MIDDLESEX COUNTY, NEW JERSEY
I-2 ZONE; TAX MAP SHEET #32

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SHEET TITLE:
ALTERNATE SITE LAYOUT PLAN
SHEET NUMBER:

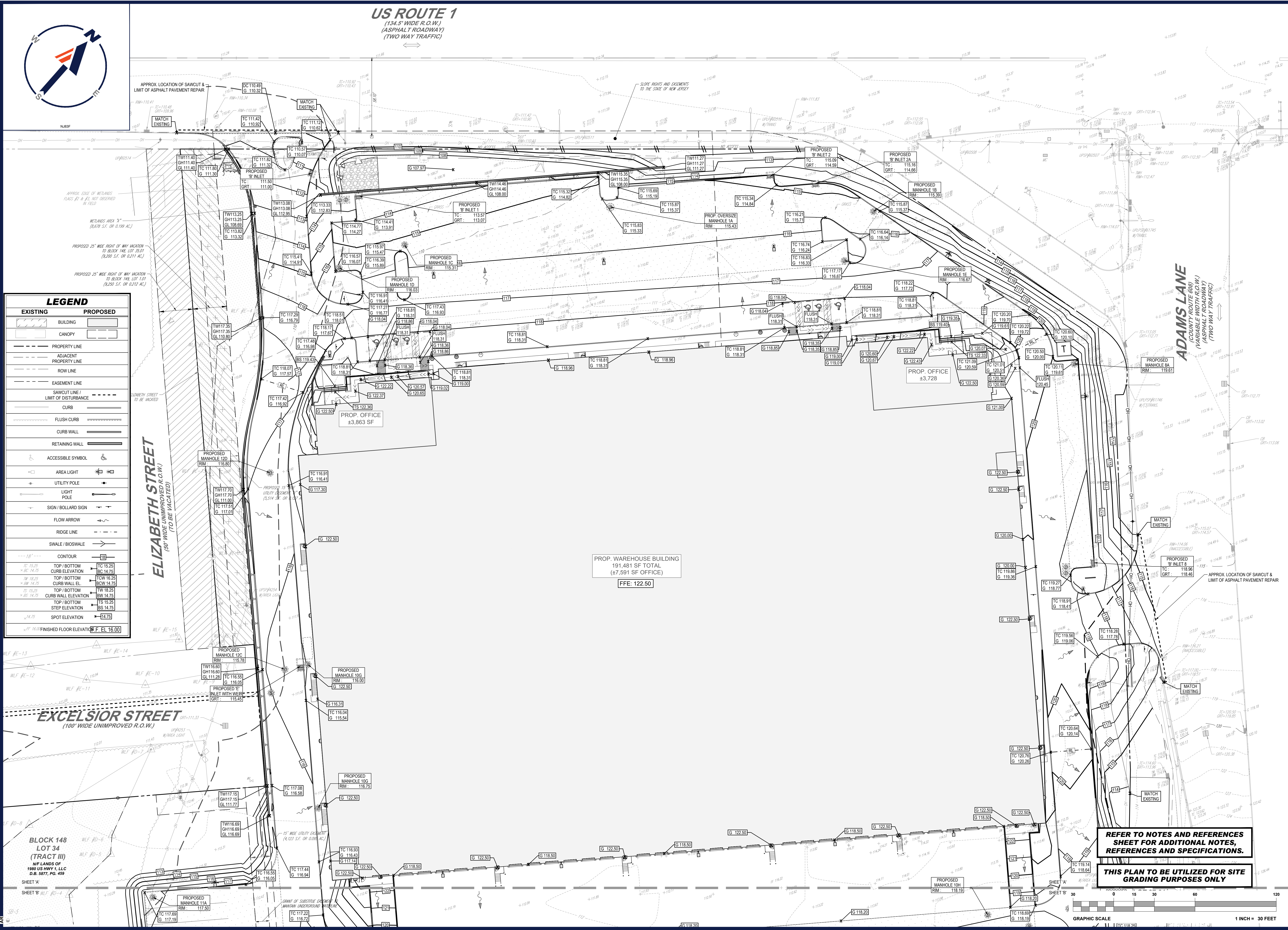
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60 0 30 60 120 240

GRAPHIC SCALE

1 INCH = 60 FEET



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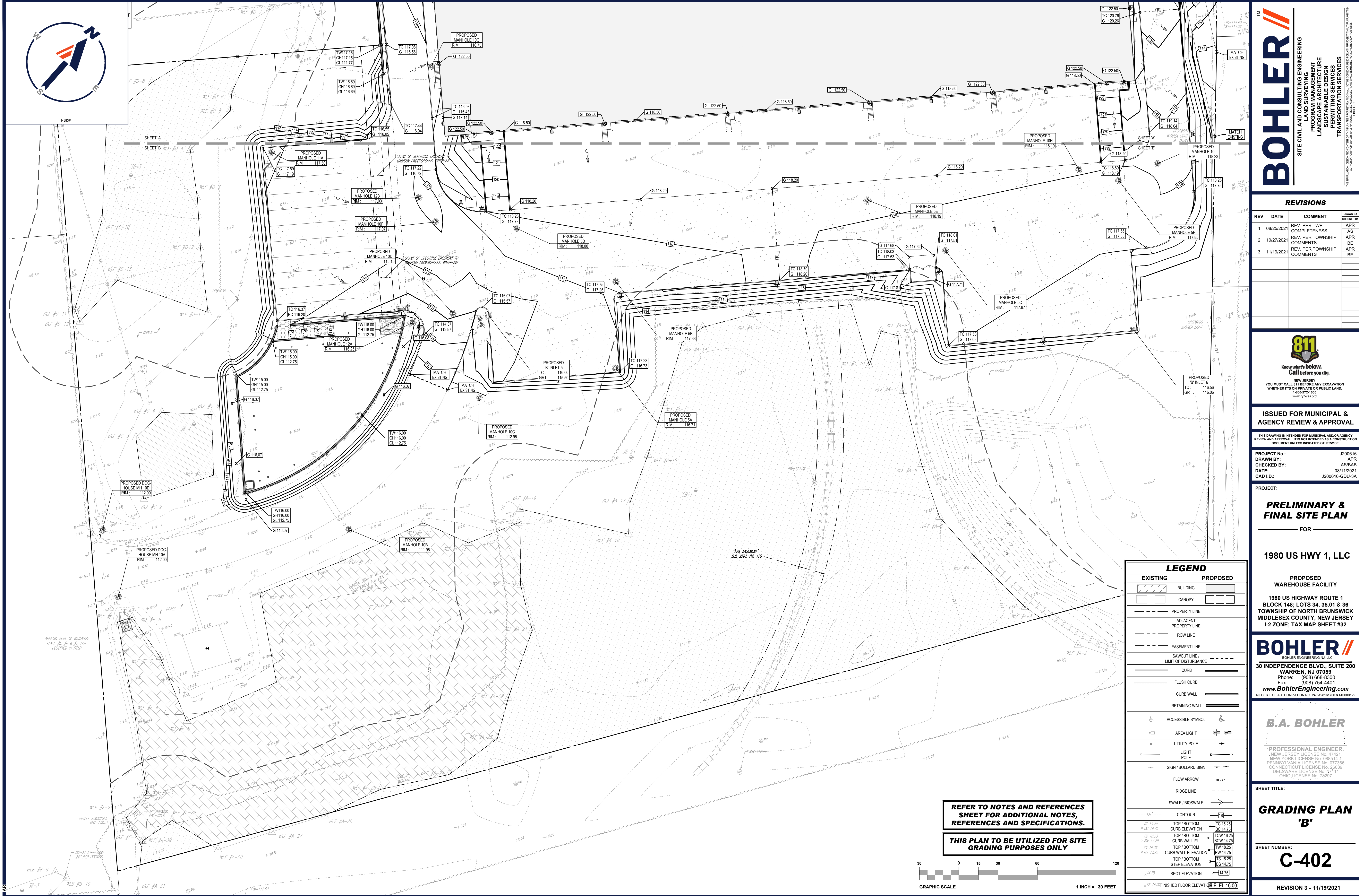
PROJECT:
PRELIMINARY & FINAL SITE PLAN
FOR

1980 US HWY 1, LLC
PROPOSED WAREHOUSE FACILITY
1880 US HIGHWAY ROUTE 1
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SHEET TITLE:
GRADING PLAN 'A'
SHEET NUMBER:
C-401
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**CIVIL AND CONSULTING ENGINEERING
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LANDSCAPE ARCHITECTURE
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PERMITTING SERVICES
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FOR -

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WAREHOUSE FACILITY**

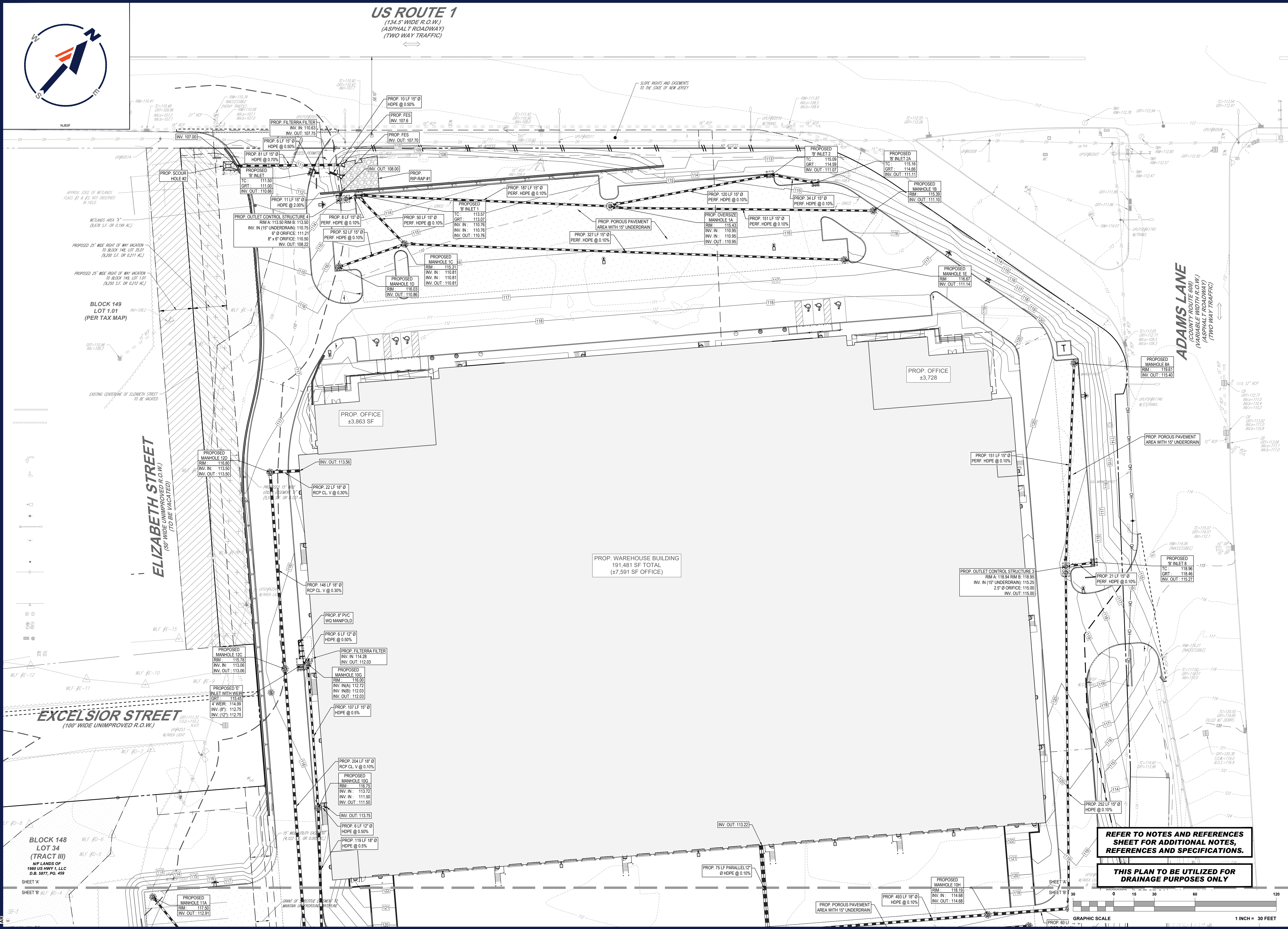
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GRADING PLAN 'B'

C-402

REVISION 3 - 11/19/2021



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CAD ID: J200616-001-3A

PRELIMINARY & FINAL SITE PLAN
FOR

1980 US HWY 1, LLC
PROPOSED WAREHOUSE FACILITY
1980 US HIGHWAY ROUTE 1
BLOCK 148; LOTS 34, 35.01 & 36
TOWNSHIP OF NORTH BRUNSWICK
MIDDLESEX COUNTY, NEW JERSEY
I-2 ZONE; TAX MAP SHEET #32

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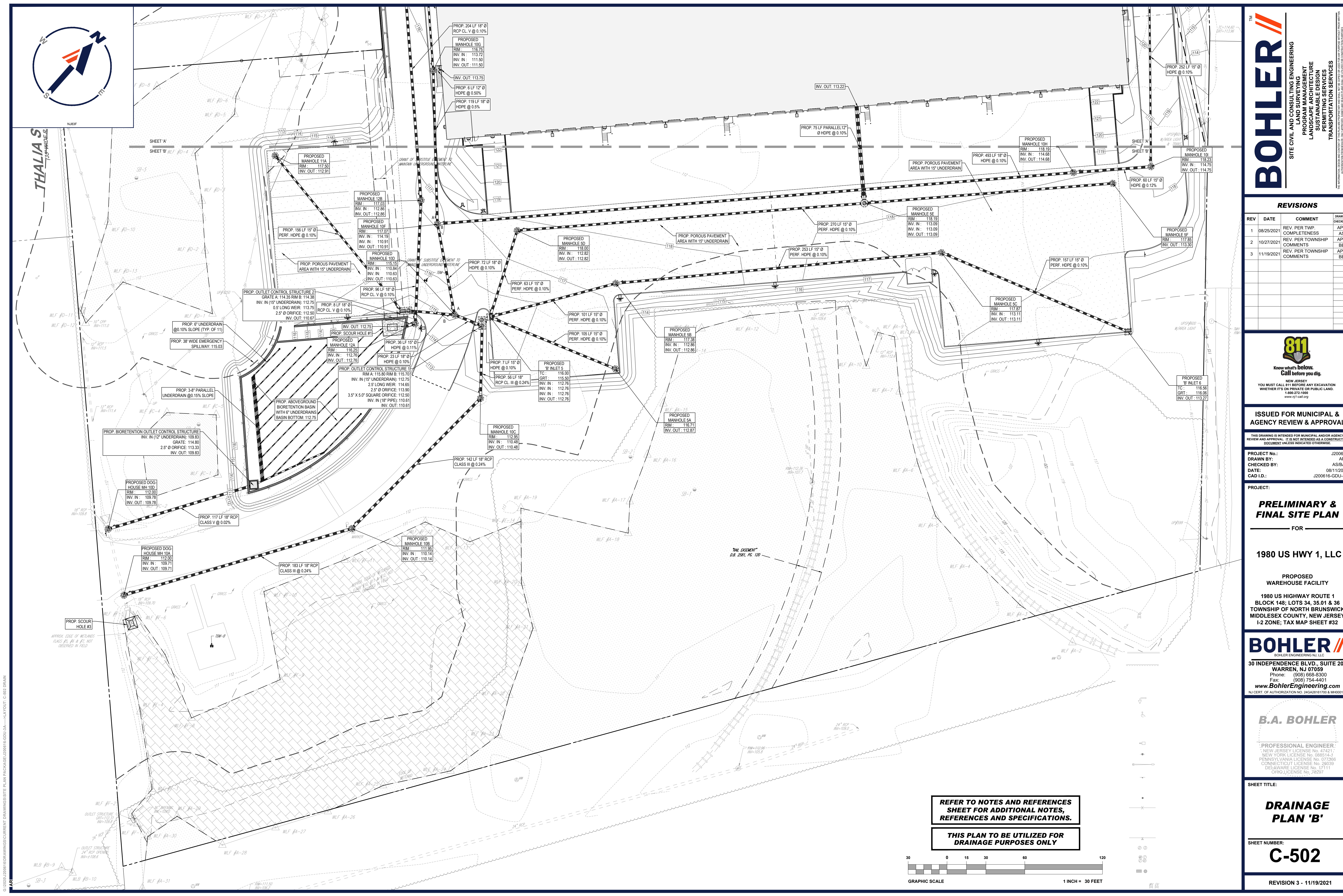
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SHEET TITLE:
DRAINAGE PLAN 'A'

SHEET NUMBER:
C-501

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PRELIMINARY & FINAL SITE PLAN
FOR

1980 US HWY 1, LLC

PROPOSED
WAREHOUSE FACILITY
1980 US HIGHWAY ROUTE 1
BLOCK 148; LOTS 34, 35.01 & 36
TOWNSHIP OF NORTH BRUNSWICK
MIDDLESEX COUNTY, NEW JERSEY
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SHEET TITLE:

DRAINAGE
PLAN 'B'

SHEET NUMBER:
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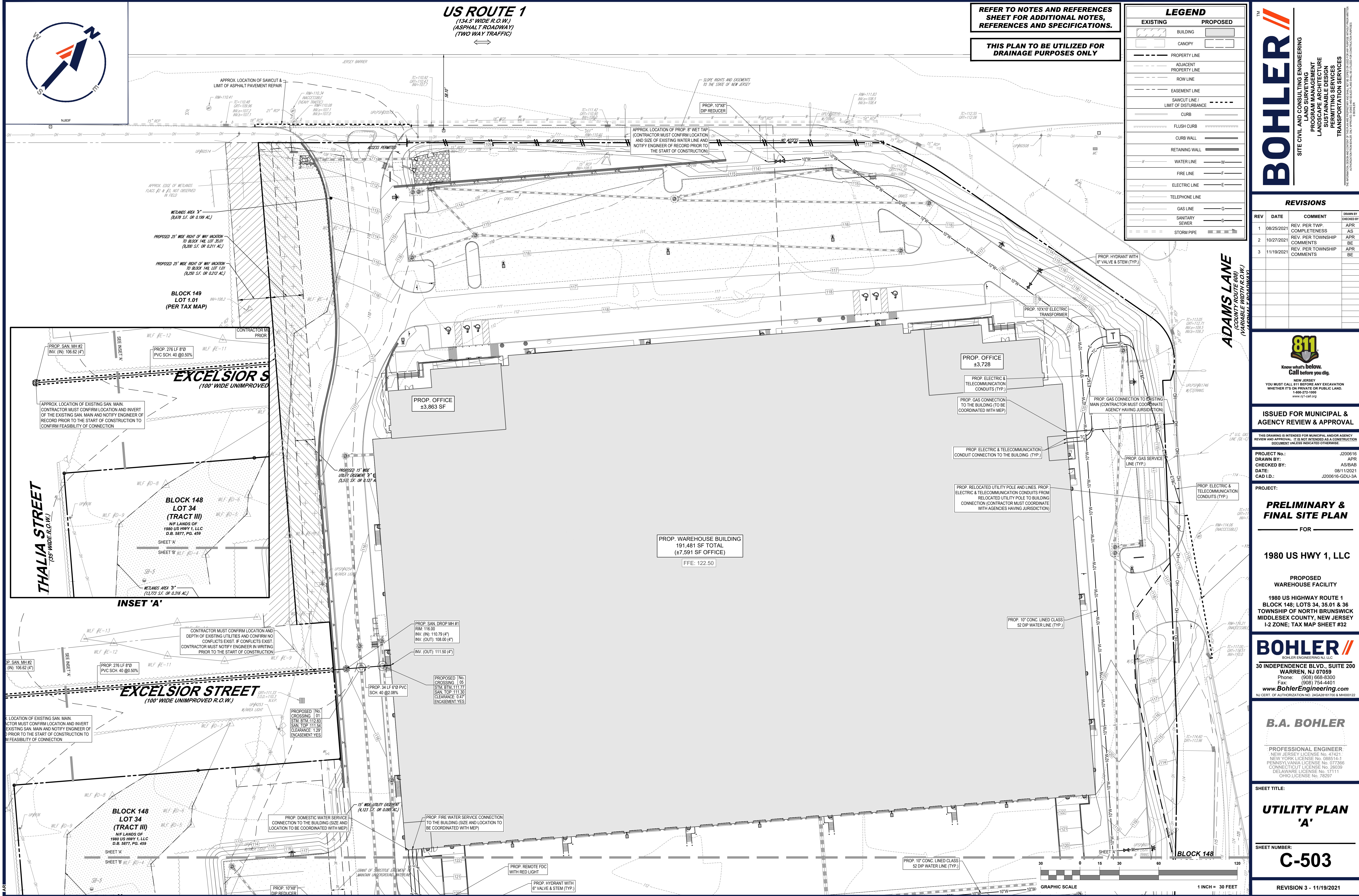
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CHECKED BY: AS/BA
DATE: 08/11/2021
CAD ID: J200616-GDU-3A

PROJECT:
**PRELIMINARY &
FINAL SITE PLAN**
FOR

1980 US HWY 1, LLC

PROPOSED
WAREHOUSE FACILITY

1980 US HIGHWAY ROUTE 1
BLOCK 148; LOTS 34, 35.01 & 36
TOWNSHIP OF NORTH BRUNSWICK
MIDDLESEX COUNTY, NEW JERSEY
I-2 ZONE; TAX MAP SHEET #32

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SHEET TITLE:
**UTILITY PLAN
'A'**

SHEET NUMBER:
C-503

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SHEET TITLE:

UTILITY PLAN
'B'

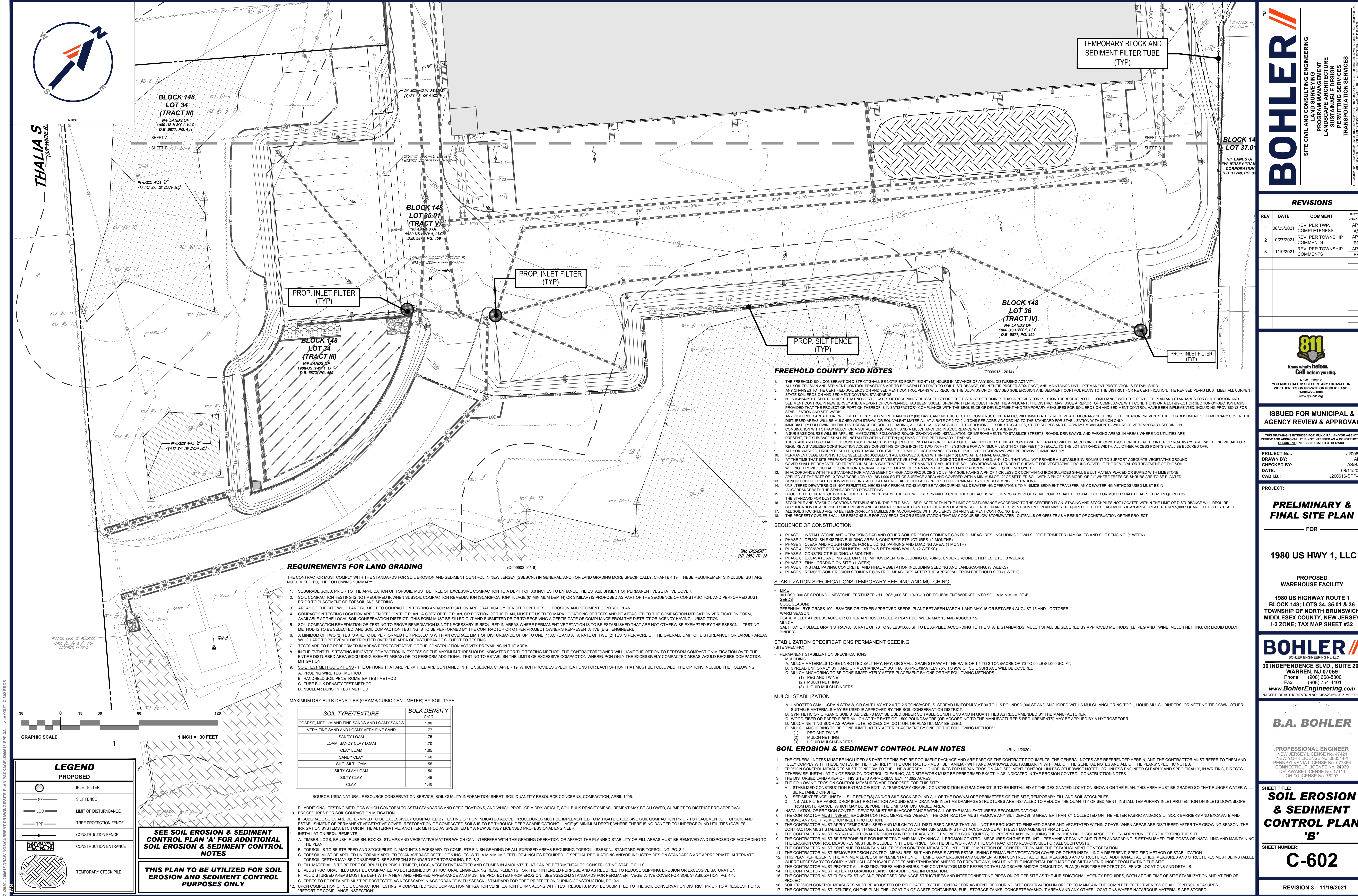
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REQUIREMENTS FOR LAND GRADING

- THE CONTRACTOR MUST COMPLY WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY (SSESCNJ) IN GENERAL, AND FOR LAND GRADING MORE SPECIFICALLY, CHAPTER 19. THESE REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING SUMMARY:
- SUBGRADE SOILS, PRIOR TO THE APPLICATION OF TOPSOIL, MUST BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
 - SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION, AND PERFORMED JUST PRIOR TO PLACEMENT OF TOPSOIL AND SEEDING.
 - AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
 - COMPACTION TESTING LOCATION ARE DENOTED ON THE PLAN. A COPY OF THE PLAN, OR PORTION OF THE PLAN, MUST BE USED TO MARK LOCATIONS OF TESTS AND BE ATTACHED TO THE COMPACTION MITIGATION VERIFICATION FORM, AVAILABLE AT THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT OR AGENCY HAVING JURISDICTION.
 - SOIL COMPACTION REMEDIATION OR TESTING TO PROVE REMEDIATION IS TO BE ESTABLISHED THAT ARE NOT OTHERWISE EXEMPTED BY THE SSESCNJ. TESTING METHOD IS TO BE SELECTED, AND SOIL COMPACTION TESTING IS TO BE PERFORMED BY THE CONTRACTOR OR OTHER PROJECT OWNER'S REPRESENTATIVE (E.G., ENGINEER).
 - A MINIMUM OF TWO (2) TESTS ARE TO BE PERFORMED FOR PROJECTS WITH AN OVERALL LIMIT OF DISTURBANCE OF UP TO ONE (1) ACRE AND AT A RATE OF TWO (2) TESTS PER ACRE OF THE OVERALL LIMIT OF DISTURBANCE FOR LARGER AREAS WHICH ARE TO BE EVENLY DISTRIBUTED OVER THE AREA OF DISTURBANCE SUBJECT TO TESTING.
 - TESTS ARE TO BE PERFORMED IN AREAS REPRESENTATIVE OF THE CONSTRUCTION ACTIVITY PREVAILING IN THE AREA.
 - IN THE EVENT THIS TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE TESTING METHOD, THE CONTRACTOR/OWNER WILL HAVE THE OPTION TO PERFORM COMPACTION MITIGATION OVER THE ENTIRE DISTURBED AREA (EXCLUDING EXEMPT AREAS) OR TO PERFORM ADDITIONAL TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION.
 - SOIL TEST METHOD OPTIONS - THE OPTIONS THAT ARE PERMITTED ARE CONTAINED IN THE SSESCNJ, CHAPTER 19, WHICH PROVIDES SPECIFICATIONS FOR EACH OPTION THAT MUST BE FOLLOWED. THE OPTIONS INCLUDE THE FOLLOWING:
 - A. PROBING WIRE TEST METHOD
 - B. HANDHELD SOIL PENETROMETER TEST METHOD
 - C. TUBE BULK DENSITY TEST METHOD
 - D. NUCLEAR DENSITY TEST METHOD

MAXIMUM DRY BULK DENSITIES (GRAMS/CUBIC CENTIMETER) BY SOIL TYPE

SOIL TYPE/TEXTURE	BULK DENSITY G/CC
COARSE, MEDIUM AND FINE SANDS AND LOAMY SANDS	1.80
VERY FINE SAND AND LOAMY VERY FINE SAND	1.77
SANDY LOAM	1.75
LOAM, SANDY CLAY LOAM	1.70
CLAY LOAM	1.65
SANDY CLAY	1.60
SILT, SILTY LOAM	1.55
SILTY CLAY LOAM	1.50
SILTY CLAY	1.45
CLAY	1.40

SOURCE: USDA NATURAL RESOURCE CONSERVATION SERVICE, SOIL QUALITY INFORMATION SHEET, SOIL QUANTITY RESOURCE CONCERNS: COMPACTION, APRIL 1996.

- E. ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED, SUBJECT TO DISTRICT PRE-APPROVAL.
9. PROCEDURES FOR SOIL COMPACTION MITIGATION
- IF SUBGRADE SOILS ARE DETERMINED TO BE EXCESSIVELY COMPACTED BY TESTING OPTION INDICATED ABOVE, PROCEDURES MUST BE IMPLEMENTED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER. RESTORATION OF COMPACTED SOILS IS TO BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.) OR IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER.
11. INSTALLATION REQUIREMENTS
- A. TIMBER, LOGS, BRUSH, RUBBISH, ROCKS, STUMPS AND VEGETATIVE MATTER WHICH CAN INTERFERE WITH THE GRADING OPERATION OR AFFECT THE PLANNED STABILITY OR FILL AREAS MUST BE REMOVED AND DISPOSED OF ACCORDING TO THE PLAN.
- B. TOPSOIL IS TO BE STRIPPED AND STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISH GRADING OF ALL EXPOSED AREAS REQUIRING TOPSOIL. SSESCNJ STANDARD FOR TOPSOILING, PG. 8-1.
- C. TOPSOIL MUST BE APPLIED UNIFORMLY APPLIED TO AN AVERAGE DEPTH OF 5 INCHES, WITH A MINIMUM DEPTH OF 4 INCHES REQUIRED. IF SPECIAL REGULATIONS AND/OR INDUSTRY DESIGN STANDARDS ARE APPROPRIATE, ALTERNATE TOPSOIL DEPTHS MAY BE CONSIDERED. SEE SSESCNJ STANDARD FOR TOPSOILING, PG. 8-2.
- D. FILL MATERIAL IS TO BE FREE OF BRUSH, RUBBISH, TIMBER, LOGS, VEGETATIVE MATTER AND STUMPS IN AMOUNTS THAT CAN BE DETRIMENTAL TO CONSTRUCTING STABLE FILLS.
- E. ALL STRUCTURAL FILLS MUST BE COMPACTED AS DETERMINED BY STRUCTURAL ENGINEERING REQUIREMENTS FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SLIPPING, EROSION OR EXCESSIVE SATURATION.
- F. ALL DISTURBED AREAS MUST BE LEFT WITH A NEAT AND FINISHED APPEARANCE AND MUST BE PROTECTED FROM EROSION. SEE SSESCNJ STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, PG. 4-1.
- G. TREES TO BE RETAINED MUST BE PROTECTED AS NECESSARY IN ACCORDANCE WITH SSESCNJ STANDARD FOR TREE PROTECTION DURING CONSTRUCTION, PG. 9-1.
12. UPON COMPLETION OF SOIL COMPACTION TESTING, A COMPLETED "SOIL COMPACTION MITIGATION VERIFICATION FORM", ALONG WITH TEST RESULTS, MUST BE SUBMITTED TO THE SOIL CONSERVATION DISTRICT PRIOR TO A REQUEST FOR A "REPORT OF COMPLIANCE INSPECTION".

FREEHOLD COUNTY SCD NOTES

- THE FREEHOLD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
- N.J.S.A. 14:24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL. IN NEW JERSEY, A REPORT OF COMPLIANCE MUST BE ISSUED UPON WRITTEN REQUEST FROM THE APPLICANT. THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS, PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO THE STANDARD FOR STABILIZATION WITH MULCH ONLY.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROADWORK, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. SLOPES, STOCKPILES, STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS.
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
- THE STANDARD FOR STABILIZATION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ACCESS CONSISTING OF ONE INCH TO TWO INCH (1" - 2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10' EQUAL TO THE LOT ENTRANCE WITH ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.
- PERMANENT VEGETATION IS TO BE SEED OR SOODED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.
- ALL SOIL WASHED, DROPPED, SPOILED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS WILL BE REMOVED IMMEDIATELY.
- AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE COMPLETED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE, APPLIED AT THE RATE OF 10 TONS/ACRE, OR 450 LBS/1,000 SQ. FT. OF SURFACE AREA, AND COVERED WITH A MINIMUM OF 5" OR MORE, OR AT WHERE TREES OR SHRUBS ARE TO BE PLANTED.
- CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
- UNFILTERED DRAINAGE IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DRAINAGE OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DRAINAGE METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DRAINAGE.
- SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.
- STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THESE ACTIVITIES IF AN AREA GREATER THAN 5,000 SQUARE FEET IS DISTURBED.
- ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

SEQUENCE OF CONSTRUCTION:

- PHASE 1: INSTALL STONE ANTI-TRACKING PAD AND OTHER SOIL EROSION SEDIMENT CONTROL MEASURES, INCLUDING DOWN SLOPE PERIMETER HAY BALES AND SILT FENCING. (1 WEEK)
- PHASE 2: DEMOLISH EXISTING BUILDING AREA & CONCRETE STRUCTURES. (2 MONTHS)
- PHASE 3: CLEAR AND ROUGH GRADE FOR BUILDING, PARKING AND LOADING AREA. (1 MONTH)
- PHASE 4: EXCAVATE FOR BASIN INSTALLATION & RETAINING WALLS. (2 WEEKS)
- PHASE 5: CONSTRUCT BUILDING. (6 MONTHS)
- PHASE 6: EXCAVATE AND INSTALL ON SITE IMPROVEMENTS INCLUDING CURBING, UNDERGROUND UTILITIES, ETC. (3 WEEKS)
- PHASE 7: FINAL GRADING ON SITE. (1 WEEK)
- PHASE 8: INSTALL PAVING, CONCRETE, AND FINAL VEGETATION INCLUDING SEEDING AND LANDSCAPING. (3 WEEKS)
- PHASE 9: REMOVE SOIL EROSION SEDIMENT CONTROL MEASURES AFTER THE APPROVAL FROM FREEHOLD SCD (1 WEEK)

STABILIZATION SPECIFICATIONS TEMPORARY SEEDING AND MULCHING:

- LIME: 90 LBS/1,000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS/1,000 SF; 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4".
- SEEDS: COOL SEASON: PERENNIAL RYE GRASS 100 LBS/ACRE OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1. WARM SEASON: PEARL MILLET AT 20 LBS/ACRE OR OTHER APPROVED SEEDS; PLANT BETWEEN MAY 15 AND AUGUST 15.
- MULCH: SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS/1,000 SF TO BE APPLIED ACCORDING TO THE STATE STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

STABILIZATION SPECIFICATIONS PERMANENT SEEDING:

- PERMANENT STABILIZATION SPECIFICATIONS:
 - MULCHING:
 - A. MULCH MATERIALS TO BE UNROTTED SALT HAY, HAY, OR SMALL GRAIN STRAW AT THE RATE OF 1.5 TO 2 TONS/ACRE OR 70 TO 90 LBS/1,000 SQ. FT.
 - B. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 70% TO 80% OF SOIL SURFACE WILL BE COVERED.
 - C. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS:
 - (1) PEG AND TWINE
 - (2) MULCH NETTING
 - (3) LIQUID MULCH-BINDERS

MULCH STABILIZATION

- A. UNROTTED SMALL-GRAIN STRAW, OR SALT HAY AT 2.0 TO 2.5 TONS/ACRE IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS/1,000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
- B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
- C. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1.500 POUNDS/ACRE OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER.
- D. MULCH NETTING SUCH AS PAPER JUTE, EXCELISOR, COTTON, OR PLASTIC, MAY BE USED.
- E. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS:
 - (1) PEG AND TWINE
 - (2) MULCH NETTING
 - (3) LIQUID MULCH-BINDERS

SOIL EROSION & SEDIMENT CONTROL PLAN NOTES

(Rev. 1/2020)

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLAN-SPECIFIC NOTES.
- EROSION CONTROL MEASURES MUST CONFORM TO THE NEW JERSEY GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL UNLESS OTHERWISE NOTED, OR UNLESS ENGINEER CLEARLY AND SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES.
- THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY 11.092 ACRES.
- THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE:
 - A. STABILIZED CONSTRUCTION ENTRANCE/EXIT - A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT IS TO BE INSTALLED AT THE DESIGNATED LOCATION SHOWN ON THE PLAN. THIS AREA MUST BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON-SITE.
 - B. SEDIMENT FENCE - INSTALL SILT FENCE(S) AND/OR SILT SOCK AROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE. TEMPORARY FILL AND SOIL STOCKPILES.
 - C. INSTALL FILTER FABRIC DROP INLET PROTECTION AROUND EACH DRAINAGE INLET AS DRAINAGE STRUCTURES ARE INSTALLED TO REDUCE THE QUANTITY OF SEDIMENT. INSTALL TEMPORARY INLET PROTECTION ON INLETS DOWNSLOPE FROM DISTURBANCE, WHICH MAY BE BEYOND THE LIMITS OF DISTURBED AREA.
 - D. INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS.
 - E. THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT DEPOSITS GREATER THAN 6" COLLECTED ON THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT FROM DROP INLET PROTECTION.
 - F. THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST MANAGEMENT PRACTICES.
 - G. THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF ENGINEER SO REQUESTS, TO PREVENT ANY, INCLUDING THE INCIDENTAL, DISCHARGE OF SILT-LOADED RUNOFF FROM EXISTING THE SITE.
 - H. THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. AFTER ESTABLISHING PERMANENT VEGETATION COVER OR OTHER INSTALLING A DIFFERENT, SPECIFIED METHOD OF STABILIZATION.
 - I. THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES, MEASURES AND STRUCTURES. ADDITIONAL FACILITIES, MEASURES AND STRUCTURES MUST BE INSTALLED WHERE NECESSARY TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND/OR TO PREVENT ANY, INCLUDING THE INCIDENTAL, DISCHARGE OF SILT-LOADED RUNOFF FROM EXISTING THE SITE.
 - J. THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE AND/OR DEMOLITION PLANS FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS.
 - K. THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION.
 - L. THE CONTRACTOR MUST CLEAR EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT.
 - M. SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE OBSERVATION IN ORDER TO MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES.
 - N. THE CONTRACTOR MUST IDENTIFY, ON THE PLAN, THE LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRETE WASHOUT AREAS AND ANY OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED.

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PROJECT No.: J200616
DRAWN BY: APR
CHECKED BY: AS/AB
DATE: 08/11/2021
CAD L.D.: J200616-SP-3A

PROJECT:
PRELIMINARY & FINAL SITE PLAN
FOR
1980 US HIGHWAY 1, LLC
PROPOSED
WAREHOUSE FACILITY
1980 US HIGHWAY ROUTE 1
BLOCK 148; LOTS 34, 35, 36 & 37
TOWNSHIP OF NORTH BRUNSWICK
MIDDLESEX COUNTY, NEW JERSEY
I-2 ZONE; TAX MAP SHEET #32

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NJ CERT. OF AUTHORIZATION NO. 24GA2816700 & MH000122

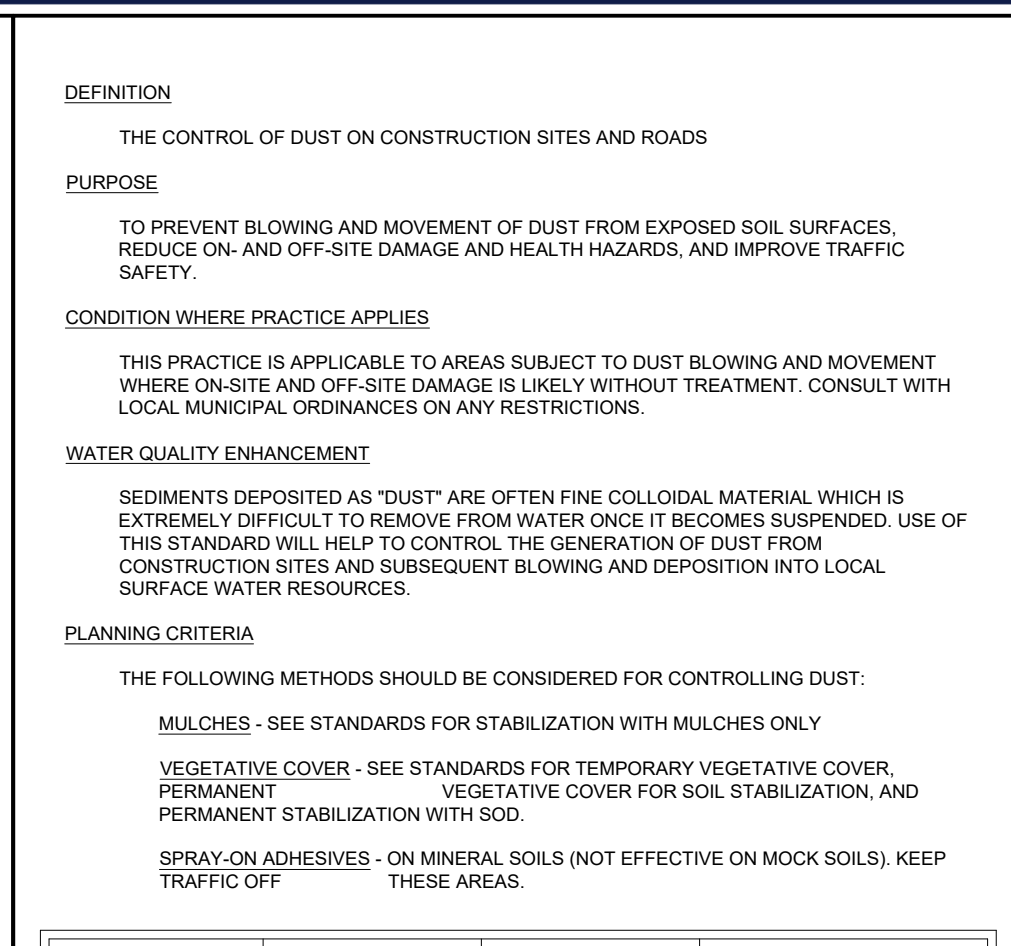
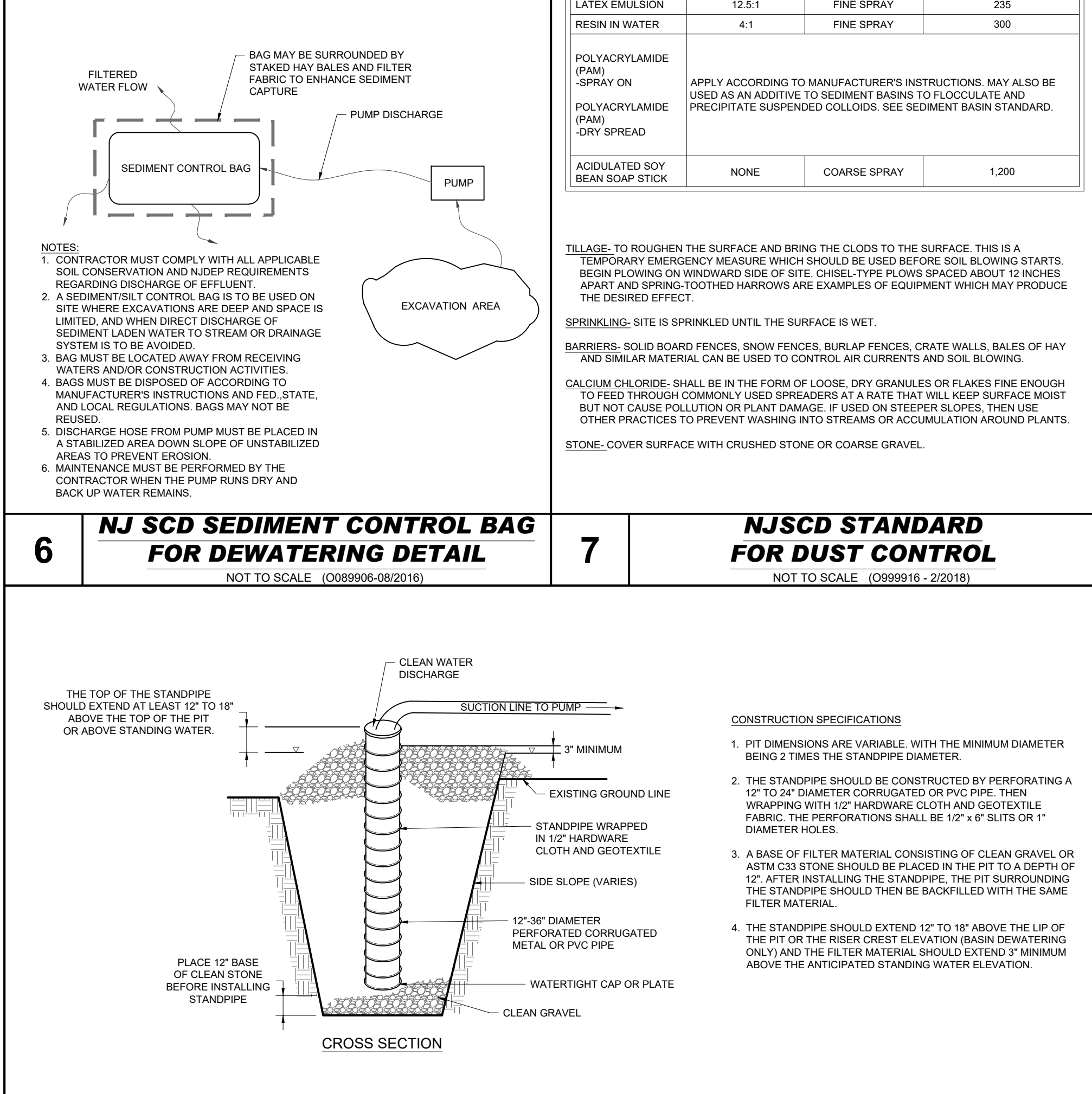
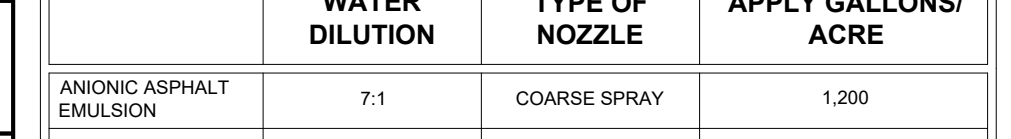
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CONNECTICUT LICENSE NO. 26039
DELAWARE LICENSE NO. 3711
OHIO LICENSE NO. 78297

SHEET TITLE:
SOIL EROSION & SEDIMENT CONTROL PLAN 'B'

SHEET NUMBER:
C-602

REVISION 3 - 11/19/2021

REVISIONS				
REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	08/25/2021	REV. PER TWP. COMPLETENESS	APR	AS
2	10/27/2021	REV. PER TOWNSHIP COMMENTS	APR	BE
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CAD I.D.:	J200616-CDS-3

PROJECT:

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_____ FOR _____

1980 US HWY 1, LLC

**PROPOSED
WAREHOUSE FACILITY**

1980 US HIGHWAY ROUTE 1
BLOCK 148; LOTS 34, 35.01 & 36
TOWNSHIP OF NORTH BRUNSWICK
MIDDLESEX COUNTY, NEW JERSEY
I-2 ZONE; TAX MAP SHEET #32

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DELAWARE LICENSE No. 17111
OHIO LICENSE No. 78297

SHEET TITLE:
**SOIL EROSION
NOTES &
DETAIL
SHEET**

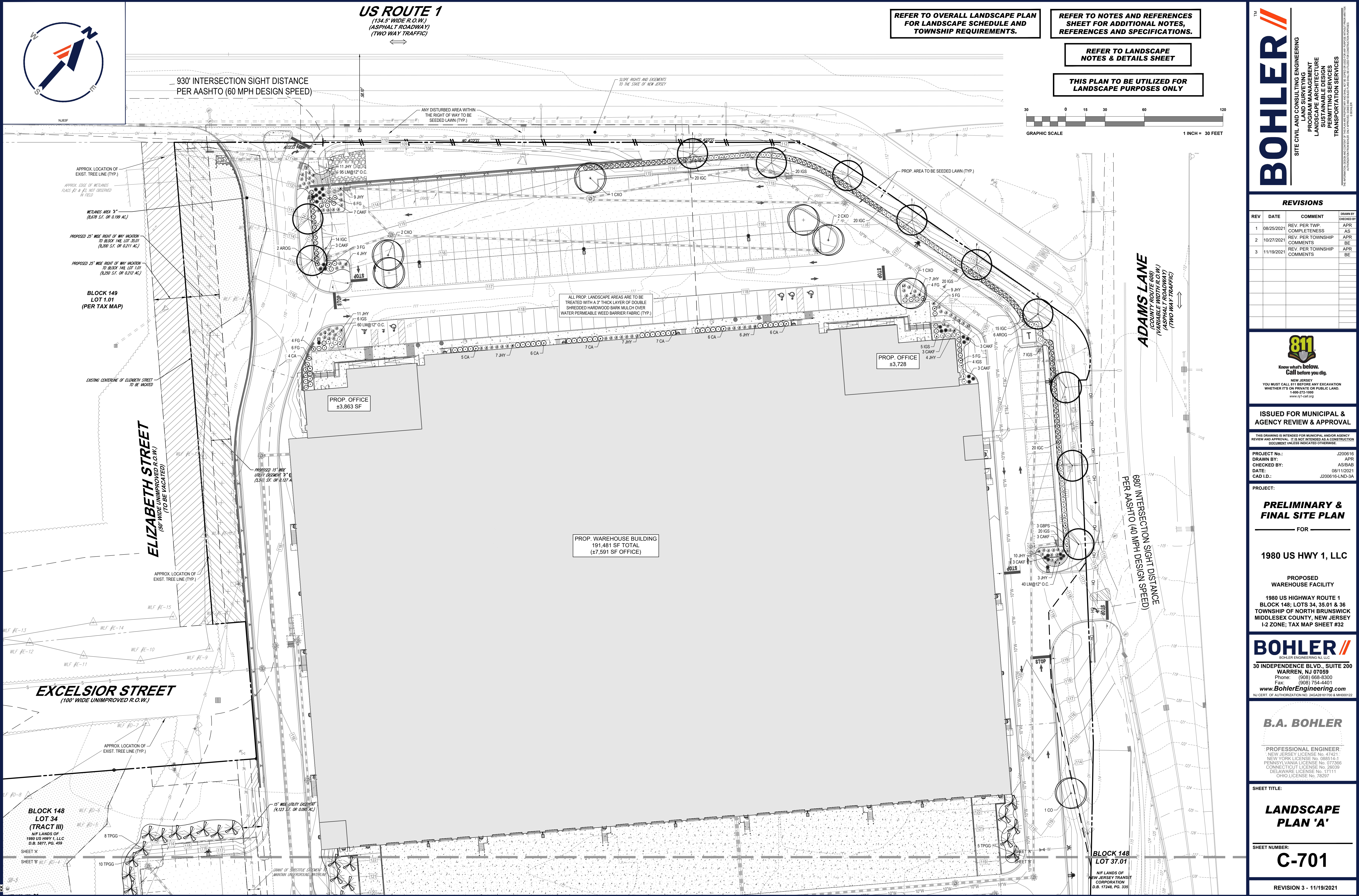
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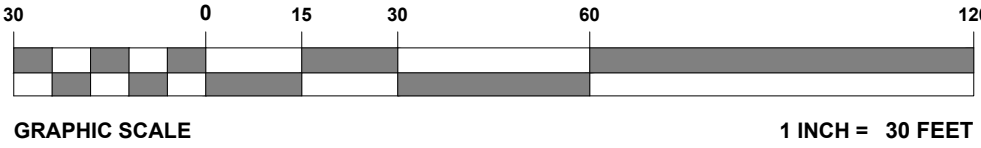


REFER TO OVERALL LANDSCAPE PLAN
FOR LANDSCAPE SCHEDULE AND
TOWNSHIP REQUIREMENTS.

REFER TO NOTES AND REFERENCES
SHEET FOR ADDITIONAL NOTES,
REFERENCES AND SPECIFICATIONS.

REFER TO LANDSCAPE
NOTES & DETAILS SHEET

THIS PLAN TO BE UTILIZED FOR
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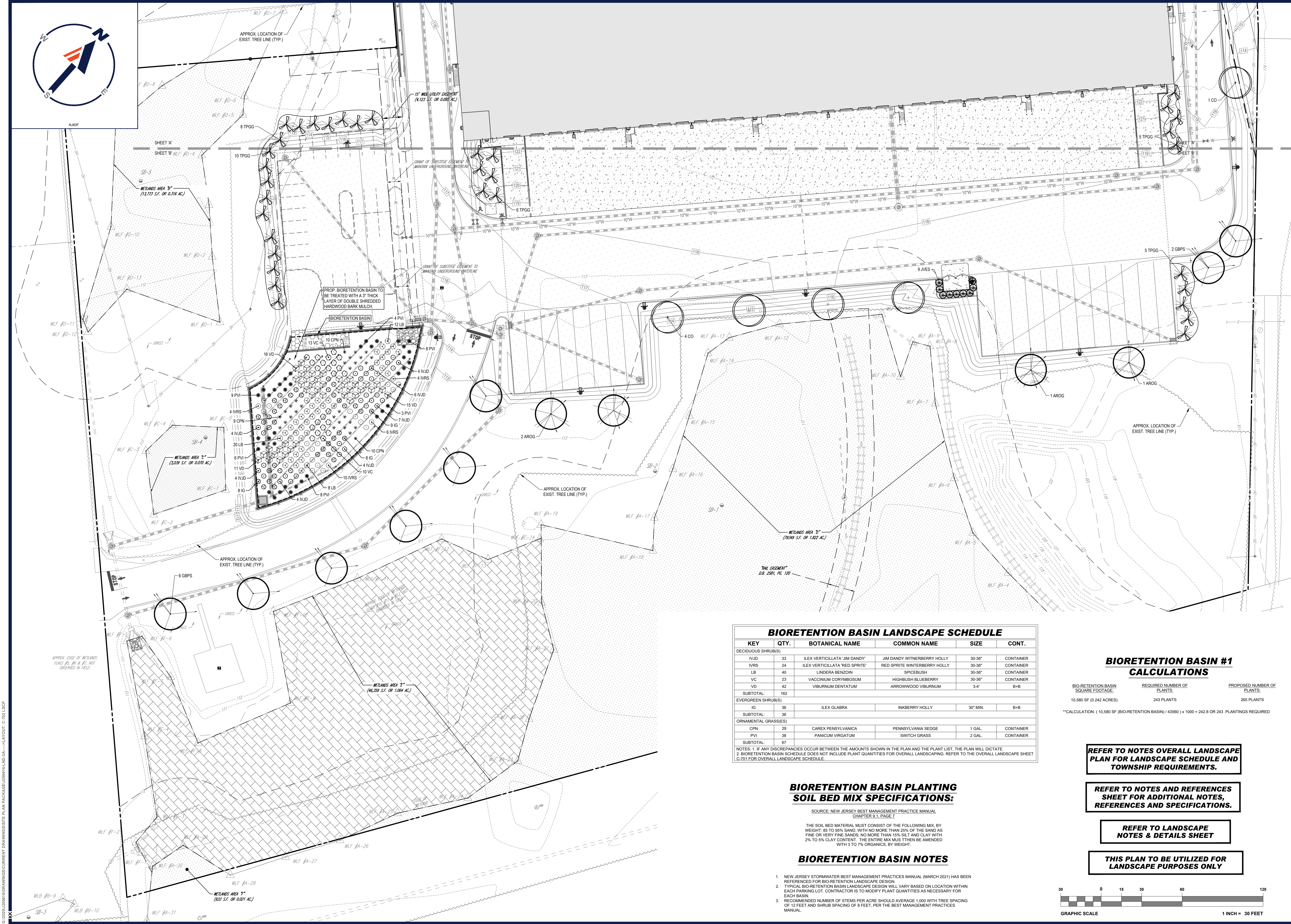
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OHIO LICENSE No. 78297

SHEET TITLE:
**LANDSCAPE
PLAN 'A'**

SHEET NUMBER:
C-701

REVISION 3 - 11/19/2021



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NJ CERT. OF AUTHORIZATION NO. 24G028161700 & M4000122

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PROFESSIONAL ENGINEER
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NEW YORK LICENSE No. 080514-1
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CONNECTICUT LICENSE No. 26039
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OHIO LICENSE No. 78297

SHEET TITLE:

**LANDSCAPE
PLAN 'B'**

SHEET NUMBER:

C-702

REVISION 3 - 11/19/2021

BIORETENTION BASIN LANDSCAPE SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
DECIDUOUS SHRUB(S)					
IVJD	33	ILEX VERTICILLATA 'JIM DANDY'	JIM DANDY WINTERBERRY HOLLY	30-36"	CONTAINER
IVRS	24	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY HOLLY	30-36"	CONTAINER
LB	40	LINDERA BENZOIN	SPICEBUSH	30-36"	CONTAINER
VC	23	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	30-36"	CONTAINER
VD	42	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	3-4"	B+B
SUBTOTAL:	162				
EVERGREEN SHRUB(S)					
IG	36	ILEX GLABRA	INKBERRY HOLLY	30" MIN.	B+B
SUBTOTAL:	36				
ORNAMENTAL GRASS(ES)					
CPN	29	CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL.	CONTAINER
PVI	38	PANICUM VIRGATUM	SWITCH GRASS	2 GAL.	CONTAINER
SUBTOTAL:	67				

NOTES: 1. IF ANY DISCREPANCIES OCCUR BETWEEN THE AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN WILL DICTATE.
2. BIORETENTION BASIN SCHEDULE DOES NOT INCLUDE PLANT QUANTITIES FOR OVERALL LANDSCAPING. REFER TO THE OVERALL LANDSCAPE SHEET C-701 FOR OVERALL LANDSCAPE SCHEDULE.

BIORETENTION BASIN PLANTING
SOIL BED MIX SPECIFICATIONS:

SOURCE: NEW JERSEY BEST MANAGEMENT PRACTICES MANUAL
CHAPTER 9.1, PAGE 7

THE SOIL BED MATERIAL MUST CONSIST OF THE FOLLOWING MIX, BY WEIGHT: 85 TO 95% SAND, WITH NO MORE THAN 25% OF THE SAND AS FINE OR VERY FINE SANDS; NO MORE THAN 15% SILT AND CLAY WITH 2% TO 5% CLAY CONTENT. THE ENTIRE MIX MUST THEN BE AMENDED WITH 3 TO 7% ORGANICS, BY WEIGHT.

BIORETENTION BASIN NOTES

- NEW JERSEY STORMWATER BEST MANAGEMENT PRACTICES MANUAL (MARCH 2021) HAS BEEN REFERENCED FOR BIORETENTION LANDSCAPE DESIGN.
- TYPICAL BIORETENTION BASIN LANDSCAPE DESIGN WILL VARY BASED ON LOCATION WITHIN EACH PARKING LOT. CONTRACTOR IS TO MODIFY PLANT QUANTITIES AS NECESSARY FOR EACH BASIN.
- RECOMMENDED NUMBER OF STEMS PER ACRE SHOULD AVERAGE 1,000 WITH TREE SPACING OF 12 FEET AND SHRUB SPACING OF 8 FEET, PER THE BEST MANAGEMENT PRACTICES MANUAL.

BIORETENTION BASIN #1
CALCULATIONS

BIORETENTION BASIN SQUARE FOOTAGE:	REQUIRED NUMBER OF PLANTS:	PROPOSED NUMBER OF PLANTS:
10,580 SF (0.242 ACRES)	243 PLANTS	265 PLANTS

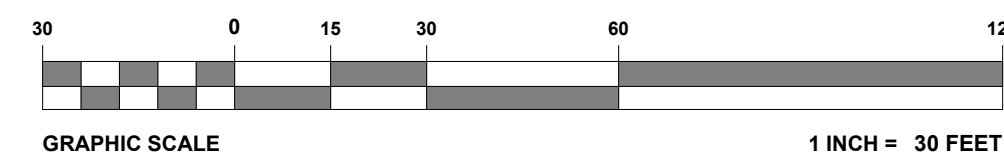
**CALCULATION: (10,580 SF (BIORETENTION BASIN) / 43560) x 1000 = 242.8 OR 243 PLANTINGS REQUIRED

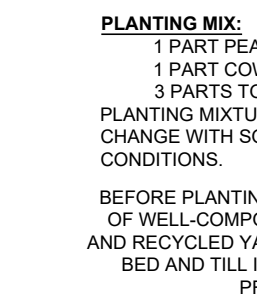
REFER TO NOTES OVERALL LANDSCAPE
PLAN FOR LANDSCAPE SCHEDULE AND
TOWNSHIP REQUIREMENTS.

REFER TO NOTES AND REFERENCES
SHEET FOR ADDITIONAL NOTES,
REFERENCES AND SPECIFICATIONS.

REFER TO LANDSCAPE
NOTES & DETAILS SHEET

THIS PLAN TO BE UTILIZED FOR
LANDSCAPE PURPOSES ONLY





- 3** **DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAILS**

NOT TO SCALE (L101102-01/2013)

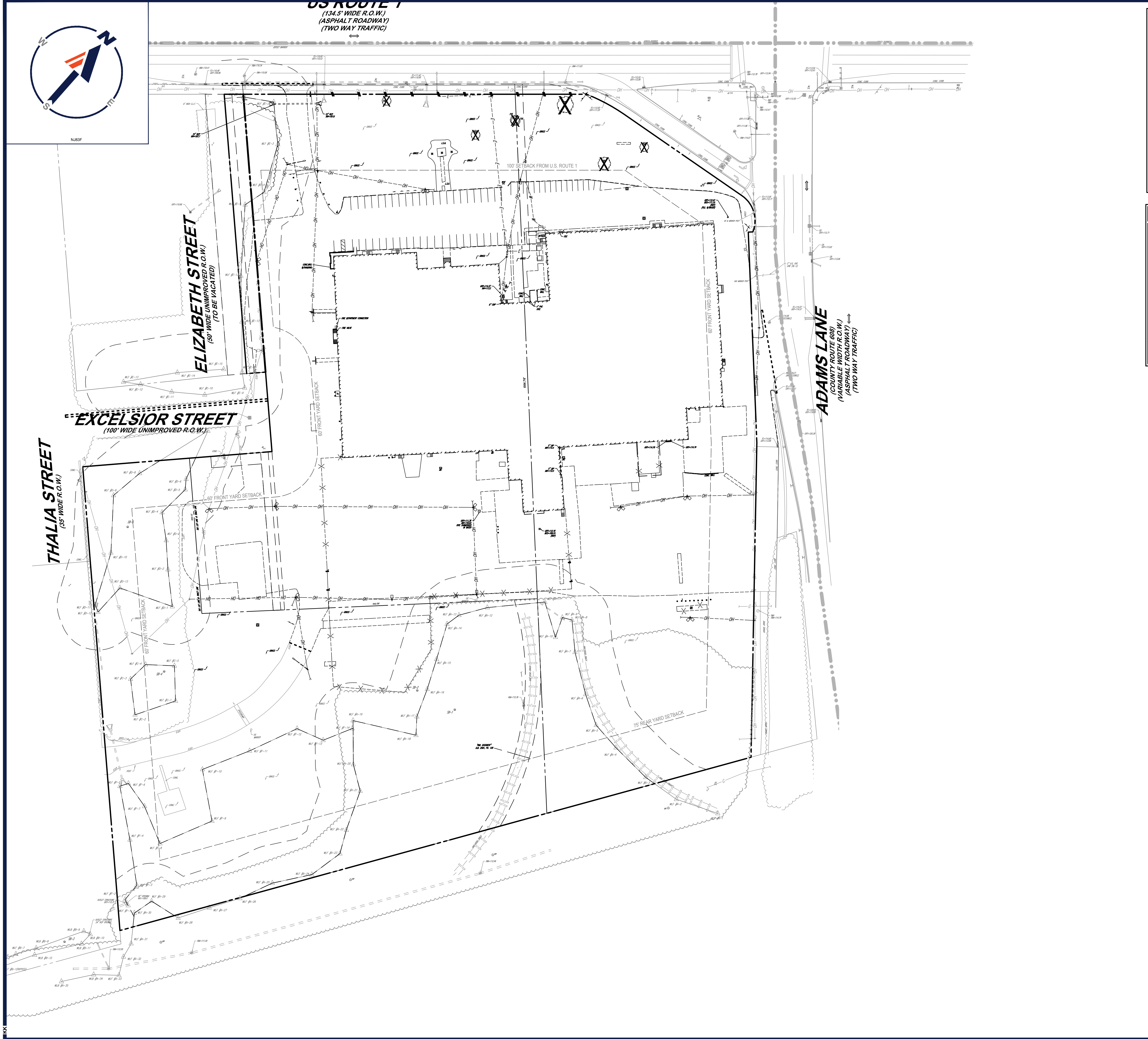
- REVISION 3 - 11/19/2021

UPON OWNERS (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPEAKE, WATERING, AND TRIMMING OF ALL PLANTS, TREES, SHRUBS, AND GRASSES. THE LANDSCAPING CONTRACTOR SHALL BE RESPONSIBLE FOR TREES AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS, DRIVEWAYS, AND SIDEWALKS, AND THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. FROM ALL PEDESTRIAN TRAFFIC AND MAINTAINED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL CURB OR TRAVEL.
- TREES WITH VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE SPECIFIED ON PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE OF ALL PAVED, TRAVELED SURFACES, OR AS OTHERWISE SPECIFIED ON PLANS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPING CONTRACTOR IS REQUIRED TO PROVIDE.

G:\3202\2006\B DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\2006\16 TRP-3A.....LAYOUT: C-704 TREE



REPLACEMENT TREE VALUE CALCULATIONS B(1)			
PER SECTION: 205-40.6 REPLACEMENT FORMULAS FOR TREES WITH A DPM OF 6" OR GREATER			
REPLACEMENT TREES		REQUIREMENT	
PERCENTAGE OF TREES REMOVED	PERCENTAGE OF TREES TO BE REPLACED WITH TREES REPLACEMENT TREES (MIN. SIZE 2.5" CALIPER)	TREES TO BE REMOVED	REQUIRED FOR REPLACEMENT
80 - 100 %	70%	5 TREES BETWEEN 6-24" (100%)	70% OF TREES TO BE REPLACED 5 X 70% = 3.5 OR 4 TREES
60 - 79%	50%		
40 - 59%	30%		
20 - 39%	20%		
LESS THAN 20%	10%		

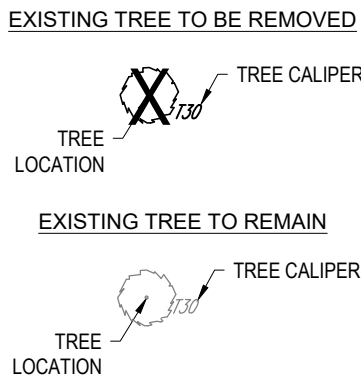
REPLACEMENT TREE VALUE CALCULATIONS B(2)			
PER SECTION: 205-40.6 REPLACEMENT FORMULAS FOR SPECIMEN TREES			
REPLACEMENT TREES		REQUIREMENT	
EXISTING TREE TO BE REMOVED	NUMBER OF REPLACEMENT TREES (MIN. SIZE 2.5" CALIPER)	TREES TO BE REMOVED	REQUIRED FOR REPLACEMENT
24 INCHES TO 30 INCHES	5	2	10
31 INCHES TO 36 INCHES	7	-	-
37 INCHES TO 40 INCHES	9	-	-
41 INCHES OR GREATER	10	-	-
TOTALS:		2	10

TOTAL REPLACEMENT TREES	
TABLE B(1): 4 TREES + TABLE B(2) 10 TREES = 14 TREES @ 2.5" CALIPER REQUIRED FOR REPLACEMENT	
PROPOSED REPLACEMENT TREES: 14 TREES	
14 SHADE TREES @ 2.5-3" CALIPER TOTAL: 14 TREES	

TREE REMOVAL SPECIFICATIONS

ALL STUMPS AND OTHER TREE PARTS, LITTER, BRUSH, WEEDS, EXCESS OR SCRAP BUILDING MATERIALS, OR OTHER DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND ENERGY REGULATIONS. NO TREE STUMPS, PORTIONS OF TREE TRUNKS OR LIMBS SHALL BE BURIED ANYWHERE IN THE DEVELOPMENT. ALL DEAD OR DYING TREES, STANDING OR FALLEN, SHALL BE REMOVED FROM THE SITE, UNLESS THEY ARE WITHIN A WOODED AREA. IF TREES AND LIMBS ARE REDUCED TO CHIPS, THEY MAY BE SUBJECT TO APPROVAL BY THE APPROPRIATE TOWNSHIP OFFICIALS IN ORDER TO BE UTILIZED AS MULCH WITHIN LANDSCAPE AREAS. SHOULD TOWNSHIP APPROVAL NOT BE REQUIRED, THE CHIPS STILL MUST BE TREATED WITH A HIGH NITROGEN LIQUID FERTILIZER AND/OR ALLOWED TO AGE PRIOR TO BEING USED WITHIN A PLANTING BED AREA.

TREE REMOVAL KEY



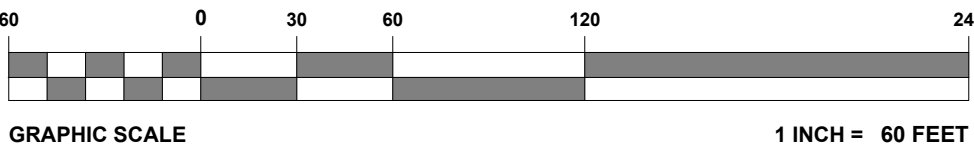
TREE SPECIES

- RED MAPLE
- RED OAK
- PIN OAK

REFER TO NOTES AND REFERENCES SHEET FOR ADDITIONAL NOTES, REFERENCES AND SPECIFICATIONS.

REFER TO LANDSCAPE NOTES & DETAILS SHEET

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SITE CIVIL AND CONSULTING ENGINEERING

PROGRAM MANAGEMENT

LANDSCAPE ARCHITECTURE

SUSTAINABLE DESIGN

PERMITTING SERVICES

TRANSPORTATION SERVICES

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PROJECT NO.:	J200616
DRAWN BY:	APR
CHECKED BY:	AS/BAE
DATE:	08/11/2021
CAD ID:	J200616-TRP-3A

PRELIMINARY & FINAL SITE PLAN

FOR

1980 US HWY 1, LLC

PROPOSED
WAREHOUSE FACILITY

1980 US HIGHWAY ROUTE 1
BLOCK 148; LOTS 34, 35.01 & 36
TOWNSHIP OF NORTH BRUNSWICK
MIDDLESEX COUNTY, NEW JERSEY
I-2 ZONE; TAX MAP SHEET #32

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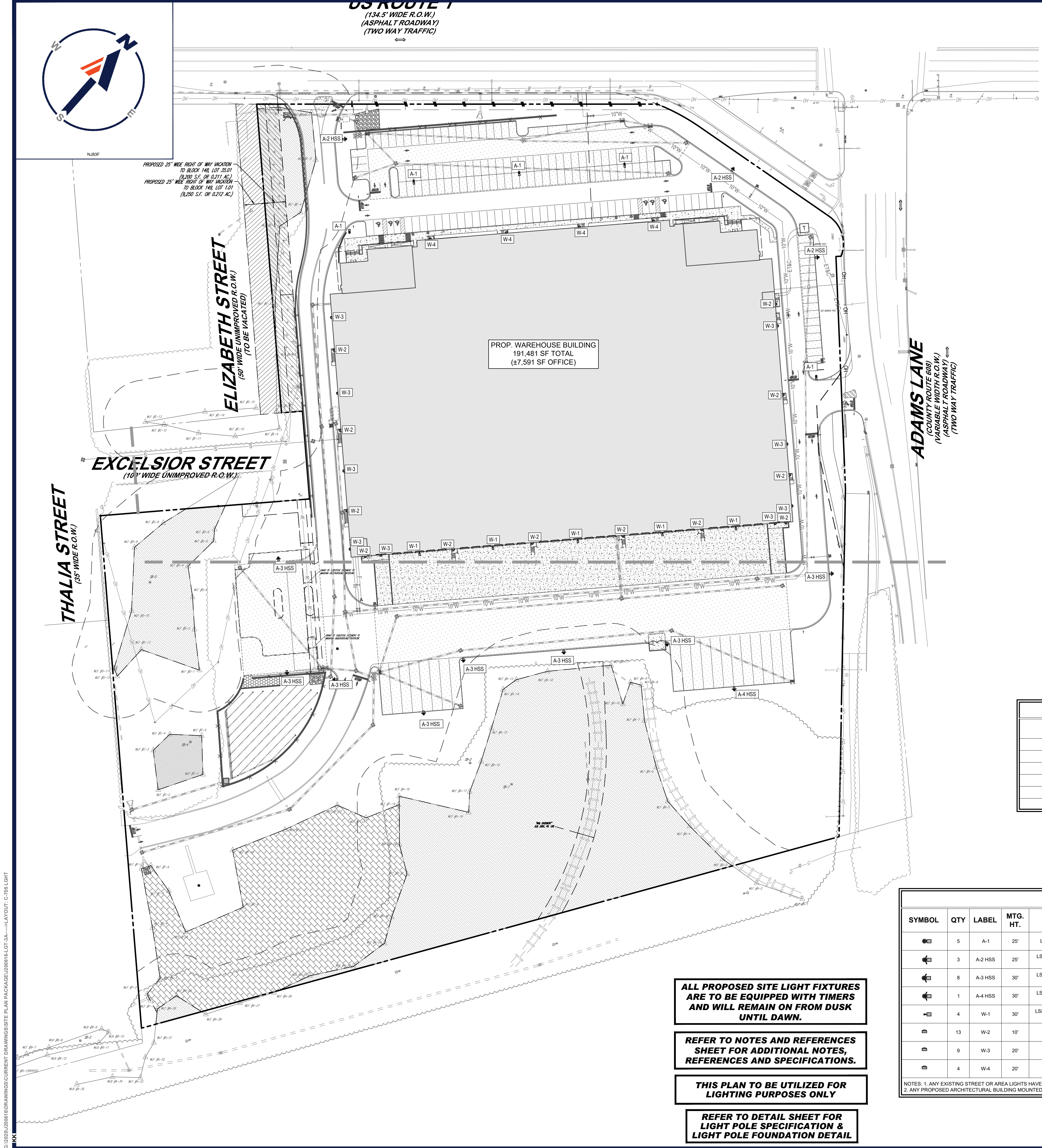
TREE REPLACEMENT PLAN

SHEET NUMBER:

C-704

REVISION 3 - 11/19/2021

G:\0320\2006\DRAWINGS\CURRENT\DRAWINGS\SITE PLAN PACKAGE\000616\GT-3A\...LAYOUT: C-705.LIGHT



LIGHTING NOTES

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- THE LIGHTING CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS.
- THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDLES (FC).
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND RE-LAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNERS.
- THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECTS, MECHANICAL ENGINEERS AND/OR LIGHTING CONTRACTORS RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE LIGHTING CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
- THE CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURE(S) TO THE ENGINEER OF RECORDS ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND/OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.
- THE ACTUAL LIGHTING LEVELS MUST BE VERIFIED IN THE FIELD AND FIXTURES ADJUSTED ACCORDINGLY, BY THE CONTRACTOR, TO ACHIEVE THE APPROVED LIGHT LEVELS.
- ILLUMINATION LEVELS SHOWN ON THE PLAN HAVE BEEN CALCULATED FOR PROPOSED LIGHTS ONLY. ACTUAL ILLUMINATION LEVELS IN THE FIELD MAY DIFFER FROM THOSE DEPICTED ON THE PLAN DUE TO INTERFERENCE FROM EXISTING/AMBIENT LIGHTS WHOSE ILLUMINATION LEVELS ARE NOT REFLECTED ON THIS PLAN.
- ILLUMINATION LEVELS SHOWN ON THE PLAN WERE CALCULATED WITH LIGHTING DESIGN SOFTWARE AGI32 BY LIGHTING ANALYST.



LSI INDUSTRIES MIRADA MEDIUM (MRM) SERIES LED AREA LIGHT & WALL MOUNTED AREA LIGHT (A-1, A-2 HSS, A-3 HSS, A-4 HSS & W-1)
NOT TO SCALE



LSI INDUSTRIES MIRADA (XWM) SERIES LED WALL SCONCE (W-2, W-3 & W-4)
NOT TO SCALE

CALCULATION SUMMARY

LOCATION	UNITS	AVG.	MAX.	MIN.	AVG./MIN.	MAX./MIN.
NORTH PROPERTY LINE	FC	0.26	1.6	0.0	N.A.	N.A.
SOUTH PROPERTY LINE	FC	0.0	0.0	0.0	N.A.	N.A.
EAST PROPERTY LINE	FC	0.26	1.6	0.0	N.A.	N.A.
WEST PROPERTY LINE	FC	0.16	0.7	0.0	N.A.	N.A.
CAR PARKING AREA	FC	1.65	4.2	0.5	3.30	8.40
TRUCK LOADING SOUTH	FC	2.86	7.1	0.5	5.72	14.20

TOWNSHIP REQUIREMENTS

PER SECTION: 205-68.8 C. PARKING LOT LIGHTING		
LOCATION	REQUIRED	PROPOSED
MAXIMUM MOUNTING HEIGHT	30'	30' (COMPLIES)
PARKING LOT LIGHT SOURCE	LED	LED (COMPLIES)
PER SECTION: 205-108 K. LIGHTING AND ILLUMINATION		
MAXIMUM LIGHT SPILLAGE AT PROPERTY LINE	0.5 FC	1.6 FC (WAIVER)
MAXIMUM LIGHT SPILLAGE OCCURS AT THE ROUTE 1 AND ADAMS LANE INGRESS AND EGRESS DRIVEWAY.		

LUMINAIRE SCHEDULE

SYMBOL	QTY	LABEL	MTG. HT.	DESCRIPTION	ARRNGMNT.	LUMENS	LLF	COLOR TEMP.	IES FILENAME	CATALOG #
	5	A-1	25'	LSI INDUSTRIES MIRADA MEDIUM (MRM) SERIES LED AREA LIGHT	SINGLE	23,989	0.900	4000K	MRM-LED-24L-SIL-5W-40-70CRI-IES	MRM-LED-24L-SIL-5W-XXX-XXX-DIM-40-70CRI-BLK
	3	A-2 HSS	25'	LSI INDUSTRIES MIRADA MEDIUM (MRM) SERIES LED AREA LIGHT W/ INTEGRAL LOUVER HOUSE SIDE SHIELD	SINGLE	15,919	0.900	4000K	MRM-LED-24L-SIL-FT-40-70CRI-IL-IES	MRM-LED-24L-SIL-FT-XXX-XXX-DIM-40-70CRI-BLK-IL
	8	A-3 HSS	30'	LSI INDUSTRIES MIRADA MEDIUM (MRM) SERIES LED AREA LIGHT W/ INTEGRAL LOUVER HOUSE SIDE SHIELD	SINGLE	15,919	0.900	4000K	MRM-LED-24L-SIL-FT-40-70CRI-IL-IES	MRM-LED-24L-SIL-FT-XXX-XXX-DIM-40-70CRI-BLK-IL
	1	A-4 HSS	30'	LSI INDUSTRIES MIRADA MEDIUM (MRM) SERIES LED AREA LIGHT W/ INTEGRAL LOUVER HOUSE SIDE SHIELD	SINGLE	30,899	0.900	4000K	MRM-LED-48L-SIL-FT-40-70CRI-IL-IES	MRM-LED-48L-SIL-FT-XXX-XXX-DIM-40-70CRI-BLK-IL
	4	W-1	30'	LSI INDUSTRIES MIRADA MEDIUM (MRM) SERIES LED WALL MOUNTED AREA LIGHT	SINGLE	48,810	0.900	4000K	MRM-LED-48L-SIL-FT-40-70CRI-IES	MRM-LED-48L-SIL-FT-XXX-XXX-DIM-40-70CRI-PLP
	13	W-2	10'	LSI INDUSTRIES MIRADA (XWM) SERIES LED WALL SCONCE	SINGLE	3,105	0.900	4000K	XWM-FT-LED-03L-40-IES	XWM-FT-LED-03L-40-XXX-BLK-DIM-PLP
	9	W-3	20'	LSI INDUSTRIES MIRADA (XWM) SERIES LED WALL SCONCE	SINGLE	6,057	0.900	4000K	XWM-FT-LED-06L-40-IES	XWM-FT-LED-06L-40-XXX-BLK-DIM-PLP
	4	W-4	20'	LSI INDUSTRIES MIRADA (XWM) SERIES LED WALL SCONCE	SINGLE	6,025	0.900	4000K	XWM-2-LED-06L-40-IES	XWM-2-LED-06L-40-XXX-BLK-DIM-PLP

NOTES: 1. ANY EXISTING STREET OR AREA LIGHTS HAVE NOT BEEN MODELED FOR THIS DESIGN.
2. ANY PROPOSED ARCHITECTURAL BUILDING MOUNTED LIGHTS HAVE NOT BEEN MODELED FOR THIS DESIGN.

ALL PROPOSED SITE LIGHT FIXTURES ARE TO BE EQUIPPED WITH TIMERS AND WILL REMAIN ON FROM DUSK UNTIL DAWN.

REFER TO NOTES AND REFERENCES SHEET FOR ADDITIONAL NOTES, REFERENCES AND SPECIFICATIONS.

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY

REFER TO DETAIL SHEET FOR LIGHT POLE SPECIFICATION & LIGHT POLE FOUNDATION DETAIL

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REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	08/25/2021	REV. PER TWP. COMPLETENESS	AS	APR
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3	11/19/2021	REV. PER TOWNSHIP COMMENTS	BE	APR



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PROJECT No.: J200616
DRAWN BY: AS/BA
DATE: 08/11/2021
CAD ID: J200616-LGT-3A

PROJECT:

PRELIMINARY & FINAL SITE PLAN

FOR

1980 US HWY 1, LLC

PROPOSED
WAREHOUSE FACILITY

1980 US HIGHWAY ROUTE 1
BLOCK 148; LOTS 34, 35.01 & 36
TOWNSHIP OF NORTH BRUNSWICK
MIDDLESEX COUNTY, NEW JERSEY
I-2 ZONE; TAX MAP SHEET #32

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SHEET TITLE:

OVERALL
LIGHTING
PLAN

SHEET NUMBER:

C-705

REVISION 3 - 11/19/2021



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PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
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DRAWN BY: APR
CHECKED BY: AS/BAE
DATE: 08/11/2021
CAD ID: J200616-LGT-3A

PROJECT:

PRELIMINARY & FINAL SITE PLAN

FOR

1980 US HWY 1, LLC

PROPOSED WAREHOUSE FACILITY

1980 US HIGHWAY ROUTE 1
BLOCK 148; LOTS 34, 35.01 & 36
TOWNSHIP OF NORTH BRUNSWICK
MIDDLESEX COUNTY, NEW JERSEY
I-2 ZONE; TAX MAP SHEET #32

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DELAWARE LICENSE No. 17111
OHIO LICENSE No. 78297

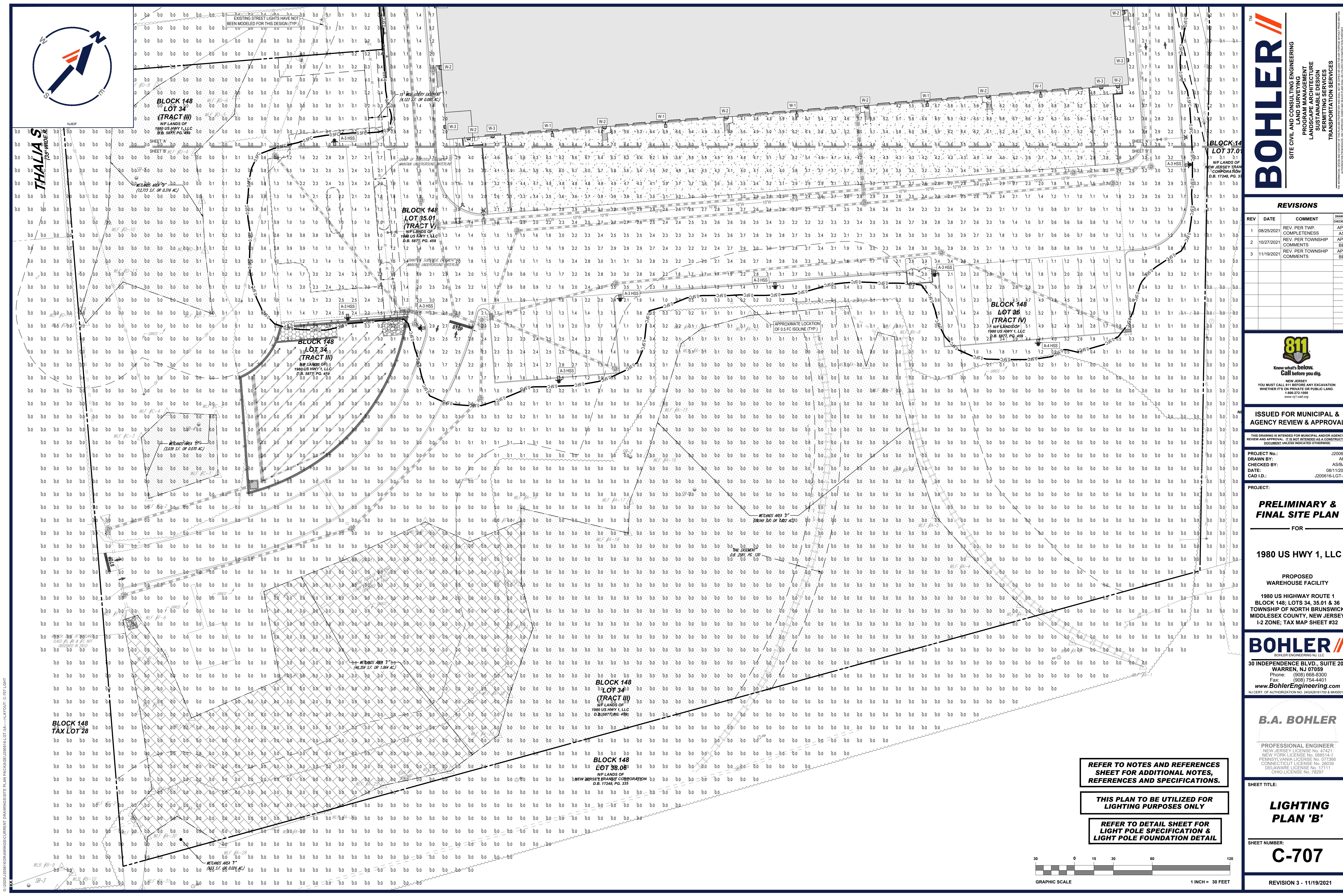
SHEET TITLE:

LIGHTING PLAN 'A'

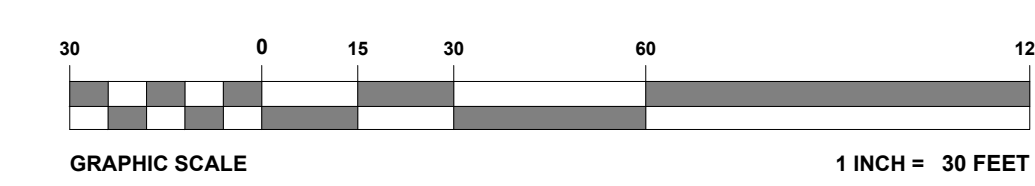
SHEET NUMBER:

C-706

REVISION 3 - 11/19/2021



G:\2020\200618\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\000618.LGT.3A.....LAYOUT: C-707 LIGHT



REFER TO NOTES AND REFERENCES
SHEET FOR ADDITIONAL NOTES,
REFERENCES AND SPECIFICATIONS.

THIS PLAN TO BE UTILIZED FOR
LIGHTING PURPOSES ONLY

REFER TO DETAIL SHEET FOR
LIGHT POLE SPECIFICATION &
LIGHT POLE FOUNDATION DETAIL

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
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SUSTAINABLE DESIGN
PERMITTING SERVICES
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REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	08/25/2021	REV. PER TWP. COMPLETENESS	APR
2	10/27/2021	REV. PER TOWNSHIP COMMENTS	AS
3	11/19/2021	REV. PER TOWNSHIP COMMENTS	BE

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PROJECT No.: J200618
DRAWN BY: APR
CHECKED BY: AS/BAB
DATE: 08/11/2021
CAD ID: J200618-LGT-3A

PRELIMINARY & FINAL SITE PLAN

FOR

1980 US HWY 1, LLC

PROPOSED
WAREHOUSE FACILITY

1980 US HIGHWAY ROUTE 1
BLOCK 148; LOTS 34, 35.01 & 36
TOWNSHIP OF NORTH BRUNSWICK
MIDDLESEX COUNTY, NEW JERSEY
I-2 ZONE; TAX MAP SHEET #32

BOHLER
BOHLER ENGINEERING NJ, LLC

30 INDEPENDENCE BLVD., SUITE 200
WARREN, NJ 07059
Phone: (908) 665-5300
Fax: (908) 754-4401
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NJ CERT. OF AUTHORIZATION NO. 246A28161700 & M4000122

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SHEET TITLE:

**LIGHTING
PLAN 'B'**

SHEET NUMBER:

C-707

REVISION 3 - 11/19/2021

REVISIONS

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PROJECT No.:	J2006
DRAWN BY:	AS/B
CHECKED BY:	AS/B
DATE:	08/11/20
CAD I.D.:	J200616-LGT-

PRELIMINARY & FINAL SITE PLAN

- FOR

1980 US HWY 1, LLC

**PROPOSED
WAREHOUSE FACILITY**

1980 US HIGHWAY ROUTE 1
BLOCK 148; LOTS 34, 35.01 & 35.02
TOWNSHIP OF NORTH BRUNSWICK
MIDDLESEX COUNTY, NEW JERSEY
I-2 ZONE; TAX MAP SHEET #32

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SHEET TITLE

LIGHTING DETAILS

SHEET NUMBER

C-708

REVISION 3 - 11/19/20

	Project:	
Catalog #	Date:	Type:
Ordering By:		
<h1>Mirada Medium (MRM)</h1> <h2>Outdoor LED Area Light</h2>		
     		
OVERVIEW		
Lumen Package	7000 - 48000	
Cast Aluminum wiring access door		
Wattage Range	53 - 401	
Efficiency Range (LPW)	93 - 148	
Weight (lbs)	10-15.6	
FEATURES & SPECIFICATIONS		
Construction		
<ul style="list-style-type: none"> Rugged die-cast aluminum housing contains factory prewired driver and optical cast aluminum wiring access door Designed to mount to square or round poles Poles are finished with US Duralcrist® polyester powder coat finishing process. The Duralcrist finish withstands extreme weather change without cracking or peeling. Other standard LS finishes available. Consult factory. Shipping weight: 30 lbs in carton. 		
Optical System		
<ul style="list-style-type: none"> State-of-the-art one piece silicone optic shell delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 foot component Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES types 2, 3, 5W FTI, ATIA, and A1 Silicone optical material does not yellow or crack and provides a typical light transmission efficiency of 93%. Available in 1000K, 4000K, and 3000K color temperatures per ANSI C78.377 also Available in Phosphor Converter Amber with Peak intensity at 610nm. Bromine CRI of 70. Integral lower (L) and house-side shield (HS) options available for improved backlight control without sacrificing street side performance. See page 3 for more details. 		
QUICK LINKS		
Ordering Info	Performance	Photometrics
Dimensions		
Electrical		
<ul style="list-style-type: none"> High-performance programmable driver features over-voltage, under-voltage, short-circuit, over temperature protection Custom lumen and wattage packages available -10V dimming (0% - 100%) standard -Standard AC Input Voltage 120-277 VAC input 50/60 Hz or optional High Voltage (347-480 VAC) -UL Calculated Life: >100k Hours (See L80-LE80 Performance - Page 5) -Operating Temperature: -40°C to +50°C (+40°F to +122°F) 42L and 48L lumen packages rated to 40°C. -Power Factor > .90 -Input power stays constant over life. -Field replaceable UL94 V-0 surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.412) -High-Efficiency LEDs mounted to metal-core circuit board to handle heat dissipation -Components fully assembled in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed. 		
Controls		
<ul style="list-style-type: none"> Optional integral passive infrared (PIR) motion and photo eye controlled sensor (see page 9 for more details). Options operate independently and can be combinationed via IOS or Android configuration app - L5's Area-Lite™ wireless control system optimizes reduce energy and maintenance costs while optimizing light quality 24/7 (see page 9 for more details). 		
Installation		
<ul style="list-style-type: none"> A single fastener secures the hinged door underneath the housing and provides quick & easy access to the electrical components Included terminal block accepts up to 12 wires Utilizes L5's traditional "3" drill pattern B for easy fastening of L3 products. (See drawing on page 9) 		
Warranty		
<ul style="list-style-type: none"> LSI LED Fixtures carry a 5-year warranty 		
Listings		
<ul style="list-style-type: none"> Listed to UL 1598 and UL 8750. Meets Bay Area Green Act requirements. ADA compliant with 3000K color temperature selection. Title 24 Compliant: see local ordinance for qualification information. Suitable for wet Locations. IP66 rated Luminaire per IEC 60598. 3rd Class for ANSI LM79 light vibration applications are qualified. 		
<p>LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lsiinc.com ©2020 LSI Industries Inc. All rights reserved. Reproduction or unauthorized use is prohibited by copyright without notice. Page 1 of 76, Size: 34x44, 08/23/2024</p>		

[illegible]

Type:

Mirada Medium Outdoor LED Area Light

OPTICS ROTATION

Top View

The diagram illustrates three optical rotation configurations for the Mirada light fixture:

- Optics Rotated Left:** The left wing is wider than the right wing, and an arrow points leftward.
- Straight:** Both wings are symmetrical, and an arrow points straight forward.
- Optics Rotated Right:** The right wing is wider than the left wing, and an arrow points rightward.

Below these, a larger diagram shows the fixture mounted on a pole, labeled "EXAMPLE". It features two "Use Type R" fixtures on either side of the pole, both labeled "(Optics Rotated Right)". An upward arrow from the pole indicates the light beam's path.

ACCESSORIES/OPTIONS

Integral Louver (IL) and House-Shield Shield (IH)

Accessory louver and shield available for improved backlight control without sacrificing street side performance. LSI's Integral Louver (IL) and Integral House-Shield Shield (IH) options deliver backlight control that significantly reduces spill light behind the poles for applications with pole locations close to adjacent properties. The design maximizes forward reflected light while reducing glare, maintaining the optical distribution selected, and most importantly eliminating light trespass. Both options rotate with the optical distribution.

Luminaire Shown with Integral Louver (IL)

Luminaire Shown with IMSBT Option

7 Pin Photoelectric Control

7-pin ANSI C136.41-2013 control receptacle option available for twist lock photocontrols or wireless control modules. Control accessories sold separately. Dimming leads from the receptacle will be connected to the driver dimming leads (Consult factory for alternate wiring).

Luminaire Shown with PCP 7

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#MS-CPL-A-000

PERFORMANCE										Type	
Mirada Medium Outdoor LED Area Light										Back to Stock List	
Delivered Lumens*											
Lumens Package	Distribution	CRI	3000K CCT			4000K CCT			5000K CCT		
			Delivered Lumens	Efficiency	80% Rating	Delivered Lumens	Efficiency	80% Rating	Delivered Lumens	Efficiency	80% Rating
7L	70	90	2	6711	120	10-00-01	7208	137	82-00-02	7890	154
			3	6893	130	81-00-02	7100	140	81-00-02	7790	148
			SW	6503	127	81-00-01	7043	133	80-00-02	7422	141
			FT	6751	127	81-00-02	7187	136	81-00-02	7594	144
			FLA	6739	129	82-00-01	7203	135	82-00-01	7890	146
			AM	7233	136	81-00-01	7303	143	81-00-02	8290	155
9L	90	90	2	8479	131	82-00-02	8796	137	84-00-02	9194	154
			3	8834	139	82-00-02	9646	141	82-00-02	10044	147
			SW	8280	122	83-00-02	9181	134	83-00-02	9500	140
			FT	8843	125	83-00-02	9682	137	83-00-02	10750	145
			FLA	8689	127	82-00-02	9238	135	82-00-02	9913	142
			AM	9432	137	81-00-01	10342	140	81-00-02	11556	156
12L	120	90	2	11461	122	82-00-02	12056	134	81-00-02	13075	139
			3	11766	126	83-00-02	12390	137	83-00-02	13403	140
			SW	11159	115	84-00-02	11806	127	84-00-02	12775	135
			FT	11444	122	82-00-02	12708	133	82-00-03	13055	139
			FLA	11612	124	82-00-02	12322	135	82-00-02	13247	141
			AM	12502	136	82-00-02	13706	147	82-00-02	14548	153
15L	150	90	2	17168	115	83-00-03	18008	124	83-00-03	19546	131
			3	17625	118	84-00-03	18910	129	84-00-03	20107	134
			SW	16719	112	84-00-02	18319	123	84-00-02	19138	128
			FT	17142	115	83-00-03	18191	126	83-00-03	19607	131
			FLA	17266	116	83-00-03	18508	127	83-00-03	19844	133
			AM	18883	127	84-00-02	20683	140	84-00-02	21511	149
24L	240	90	2	27701	101	84-00-03	24276	103	84-00-03	24784	103
			3	28836	103	85-00-03	25176	105	85-00-03	25454	104
			SW	25532	93	85-00-03	23108	93	85-00-03	24490	93
			FT	24266	126	83-00-04	21266	134	83-00-04	23652	137
			FLA	23371	125	84-00-03	2				

Type:

PERFORMANCE (CONT.)

Mirda Medium Outdoor LED Area Light

Delivered Lumens*											
Lumen Package	Distribution	CRI	2000 CCT			4000 CCT			5000 CCT		
			Delivered Lumens	Efficiency	BMD Ratio	Delivered Lumens	Efficiency	BMD Ratio	Delivered Lumens	Efficiency	BMD Ratio
4CL	2	70	3994	102	85-04-04	42788	110	85-04-04	43603	112	85-04-04
	3		41640	107	84-04-05	44828	114	84-04-05	45460	117	84-04-05
	SW		36520	101	85-04-04	42911	106	85-04-04	43246	111	84-04-04
	FT		41395	106	84-04-05	42686	114	84-04-05	45192	116	84-04-05
	FTA		41174	106	84-04-05	42630	113	84-04-04	44811	115	84-04-04
	AM		40821	106	84-04-05	40821	111	84-04-05	40821	114	84-04-05
	FT		40795	102	84-04-05	40795	102	84-04-05	40795	102	84-04-05
	3		40156	103	84-04-05	40156	123	84-04-05	40156	123	84-04-05
	SW		47906	117	85-04-05	47866	117	85-04-04	47906	117	85-04-05
	FT		46829	112	84-04-05	46829	122	84-04-05	46829	122	84-04-05
4CL	FTA	70	46821	120	84-04-05	46821	120	84-04-05	46821	120	84-04-05
	AM		46615	124	84-04-05	46615	124	84-04-05	46615	124	84-04-05
	FT		46615	124	84-04-05	46615	124	84-04-05	46615	124	84-04-05
DELIVERED LUMENS*											
Lumen Package	Distribution	CRI	Phosphor Coated Ambient (Psi) Effect			Efficiency	BMD Ratio				
			Delivered Lumens	Efficiency	BMD Ratio						
5L	2	70	3446	95	85-04-02						
	2+L		3644	90	86-04-01						
	3		3619	82	85-04-01						
	3+L		4468	81	87-04-01						
	SW		3471	74	85-04-01						
	FT		4801	79	85-04-01						
	FT-L		3469	50	86-04-01						
	FT-L		4804	74	87-04-01						
	FT-L		4243	58	87-04-01						
	2		7320	74	86-04-02						
5L	2+L	70	6802	46	86-04-01						
	3		7148	37	87-04-01						
	3+L		7203	57	88-04-01						
5L	SW	70	7148	89	86-04-01						
	FT		7410	75	86-04-01						
	FT-L		7428	75	87-04-01						
	FT-L	70	5464	54	86-04-01						

*LEDs are frequently updated therefore values are nominal.

1. Lumen maintenance values at 25C are calculated per TM-210 based on 94-80 82% and 94-80 82%
 2. In 6000K, with LEDS TM-210, 100000 Hours (100,000 Hrs) are claimed. Suppliers subject to change without notice.
 3. In 6

Type:

Mirada Medium Outdoor LED Area Light

[Back to Quick Link](#)

PHOTOMETRICS

Luminaire photometry has been conducted by a NVLAP accredited testing laboratory in accordance with IESNA LM-79-08. As specified by IESNA LM-79-08 the entire luminaire is tested as the source resulting in a luminaire efficiency of 100%.

See <http://www.lilcorp.com/products/test-lighting-solutions.aspx> for detailed photometric data.

MRM-LED-30L-SIL-2-40-70CRI

LUMINAIRE DATA

Type 2 Distribution		
Description	4000 Kelvins, 70 CRI	
Delivered Lumens	30,955	
Watts	247	
Efficacy	125	
IES Type	Type II - Short	
BUG Rating	84-U0-G3	

Zonal Luminaire Summary

Zone	Lumens	%Luminaire
Low (0-30")	4392	14%
Medium (30-60")	18894	61%
High (60-80")	7359	24%
Very High (80-90")	260	1%
Uplight (90-180")	0	0%
Total Flux	30955	100%

ISO FOOTCANDLE

25' Mounting Height/ 25' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

POLAR CURVE

MRM-LED-30L-SIL-3-40-70CRI

LUMINAIRE DATA

Type 3 Distribution		
Description	4000 Kelvins, 70 CRI	
Delivered Lumens	32,176	
Watts	247	
Efficacy	130	
IES Type	Type III - Short	
BUG Rating	83-U0-G4	

Zonal Luminaire Summary

Zone	Lumens	%Luminaire
Low (0-30")	5970	9%
Medium (30-60")	16137	50%
High (60-80")	12779	40%
Very High (80-90")	301	1%
Uplight (90-180")	0	0%
Total Flux	32176	100%

ISO FOOTCANDLE

25' Mounting Height/ 25' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

POLAR CURVE

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63907-004-01

PHOTOMETRICS (CONT.)

MRM-LED-30L-SIL-FT-40-70CRI

LUMINAIRE DATA

Type FT Distribution

Description	4000 Kelvin, 70 CRI
Delivered Lumens	31,987
Watts	247
Efficacy	130
IES Type	Type IV - Short
BUG Rating	85-UG-D4

Zonal Lumen Summary

Zone	Lumens	%Luminaire
Low (0-30°)	4126	13%
Medium (30-60°)	13479	42%
High (60-80°)	13708	43%
Very High (80-90°)	614	2%
Uplight (90-180°)	0	0%
Total Flux	31987	100%

ISO FOOTCANDLE

25° Mounting Height/ 25' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

POLAR CURVE

MRM-LED-30L-SIL-5W-40-70CRI

LUMINAIRE DATA

Type SW Distribution

Description	4000 Kelvin, 70 CRI
Delivered Lumens	36,538
Watts	247
Efficacy	124
IES Type	Type VS - Short
BUG Rating	85-UG-D4

Zonal Lumen Summary

Zone	Lumens	%Luminaire
Low (0-30°)	2862	9%
Medium (30-60°)	12032	39%
High (60-80°)	15329	50%
Very High (80-90°)	315	1%
Uplight (90-180°)	0	0%
Total Flux	36538	100%

ISO FOOTCANDLE

25° Mounting Height/ 25' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC


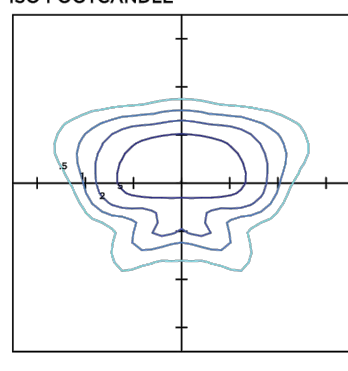
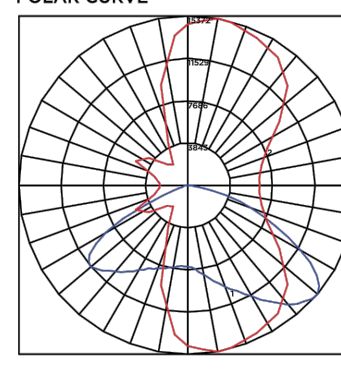
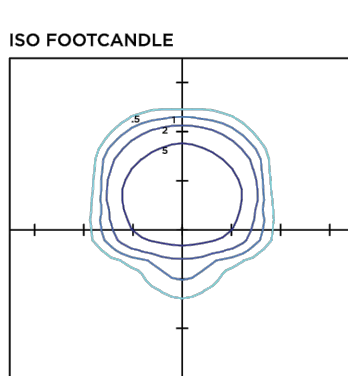
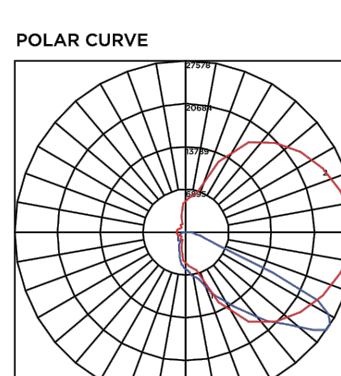
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4000° Kelvin A60

 <p>PHOTOMETRICS (CONT)</p>	<p>Type: Mirada Medium Outdoor LED Area Light</p>																																				
<p>LUMINAIRE DATA</p> <table border="1"> <thead> <tr> <th colspan="2">Type FTA Distribution</th> </tr> </thead> <tbody> <tr> <td>Description</td> <td>4000 Kelvin, 70 CRI</td> </tr> <tr> <td>Delivered Lumens</td> <td>31,816</td> </tr> <tr> <td>Watts</td> <td>247</td> </tr> <tr> <td>Efficacy</td> <td>129</td> </tr> <tr> <td>IES Type</td> <td>Type II - Short</td> </tr> <tr> <td>BUG Rating</td> <td>B4-U0-G3</td> </tr> </tbody> </table> <p>Zonal Lumen Summary</p> <table border="1"> <thead> <tr> <th>Zone</th> <th>Lumens</th> <th>%Luminaire</th> </tr> </thead> <tbody> <tr> <td>Low (0-30°)</td> <td>6758</td> <td>21%</td> </tr> <tr> <td>Medium (30-60°)</td> <td>18845</td> <td>59%</td> </tr> <tr> <td>High (60-90°)</td> <td>5872</td> <td>18%</td> </tr> <tr> <td>Very High (90-90°)</td> <td>341</td> <td>1%</td> </tr> <tr> <td>Uplight (90-180°)</td> <td>0</td> <td>0%</td> </tr> <tr> <td>Total Flux</td> <td>31816</td> <td>100%</td> </tr> </tbody> </table>	Type FTA Distribution		Description	4000 Kelvin, 70 CRI	Delivered Lumens	31,816	Watts	247	Efficacy	129	IES Type	Type II - Short	BUG Rating	B4-U0-G3	Zone	Lumens	%Luminaire	Low (0-30°)	6758	21%	Medium (30-60°)	18845	59%	High (60-90°)	5872	18%	Very High (90-90°)	341	1%	Uplight (90-180°)	0	0%	Total Flux	31816	100%	<p>ISO FOOTCANDLE</p>  <p>25' Mounting Height/ 25' Grid Spacing</p> <p>■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC</p>	<p>POLAR CURVE</p> 
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<p>MRM-LED-30°-SIL-AM-40-70CRI</p> <p>LUMINAIRE DATA</p> <table border="1"> <thead> <tr> <th colspan="2">Type AM Distribution</th> </tr> </thead> <tbody> <tr> <td>Description</td> <td>4000 Kelvin, 70 CRI</td> </tr> <tr> <td>Delivered Lumens</td> <td>33,221</td> </tr> <tr> <td>Watts</td> <td>247</td> </tr> <tr> <td>Efficacy</td> <td>134</td> </tr> <tr> <td>IES Type</td> <td>Type III - Very Short</td> </tr> <tr> <td>BUG Rating</td> <td>B4-U0-G3</td> </tr> </tbody> </table> <p>Zonal Lumen Summary</p> <table border="1"> <thead> <tr> <th>Zone</th> <th>Lumens</th> <th>%Luminaire</th> </tr> </thead> <tbody> <tr> <td>Low (0-30°)</td> <td>5550</td> <td>17%</td> </tr> <tr> <td>Medium (30-60°)</td> <td>21354</td> <td>64%</td> </tr> <tr> <td>High (60-90°)</td> <td>5881</td> <td>18%</td> </tr> <tr> <td>Very High (90-90°)</td> <td>435</td> <td>1%</td> </tr> <tr> <td>Uplight (90-180°)</td> <td>0</td> <td>0%</td> </tr> <tr> <td>Total Flux</td> <td>33221</td> <td>100%</td> </tr> </tbody> </table>	Type AM Distribution		Description	4000 Kelvin, 70 CRI	Delivered Lumens	33,221	Watts	247	Efficacy	134	IES Type	Type III - Very Short	BUG Rating	B4-U0-G3	Zone	Lumens	%Luminaire	Low (0-30°)	5550	17%	Medium (30-60°)	21354	64%	High (60-90°)	5881	18%	Very High (90-90°)	435	1%	Uplight (90-180°)	0	0%	Total Flux	33221	100%	<p>ISO FOOTCANDLE</p>  <p>25' Mounting Height/ 25' Grid Spacing</p> <p>■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC</p>	<p>POLAR CURVE</p> 
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<p>LBI Industries Inc. 10000 Alliance Road, Cincinnati, OH 45242 • www.lbi.com <small>© 2015 LBI INDUSTRIES INC. © 2015/2016 LBI. All Rights Reserved. Specifications subject to change without notice. Page 6/39 Rev. 12/16/2015 4000K (5000K & 6000K)</small></p>																																					

PRODUCT DIMENSIONS

Mirada Medium Outdoor LED Area Light

[Back to Quick Links](#)

LUMINAIRE EPA CHART - MIRM

Type I (High Bay)				Type II (Medium Bay)			
W	H	Beam	FCI	W	H	Beam	FCI
10'	10'	10'	1.0	10'	10'	10'	1.0
15'	15'	15'	1.5	15'	15'	15'	1.5
20'	20'	20'	2.0	20'	20'	20'	2.0
25'	25'	25'	2.5	25'	25'	25'	2.5
30'	30'	30'	3.0	30'	30'	30'	3.0
35'	35'	35'	3.5	35'	35'	35'	3.5
40'	40'	40'	4.0	40'	40'	40'	4.0
45'	45'	45'	4.5	45'	45'	45'	4.5
50'	50'	50'	5.0	50'	50'	50'	5.0
55'	55'	55'	5.5	55'	55'	55'	5.5
60'	60'	60'	6.0	60'	60'	60'	6.0
65'	65'	65'	6.5	65'	65'	65'	6.5
70'	70'	70'	7.0	70'	70'	70'	7.0
75'	75'	75'	7.5	75'	75'	75'	7.5
80'	80'	80'	8.0	80'	80'	80'	8.0
85'	85'	85'	8.5	85'	85'	85'	8.5
90'	90'	90'	9.0	90'	90'	90'	9.0
95'	95'	95'	9.5	95'	95'	95'	9.5
100'	100'	100'	10.0	100'	100'	100'	10.0
105'	105'	105'	10.5	105'	105'	105'	10.5
110'	110'	110'	11.0	110'	110'	110'	11.0
115'	115'	115'	11.5	115'	115'	115'	11.5
120'	120'	120'	12.0	120'	120'	120'	12.0
125'	125'	125'	12.5	125'	125'	125'	12.5
130'	130'	130'	13.0	130'	130'	130'	13.0
135'	135'	135'	13.5	135'	135'	135'	13.5
140'	140'	140'	14.0	140'	140'	140'	14.0
145'	145'	145'	14.5	145'	145'	145'	14.5
150'	150'	150'	15.0	150'	150'	150'	15.0
155'	155'	155'	15.5	155'	155'	155'	15.5
160'	160'	160'	16.0	160'	160'	160'	16.0
165'	165'	165'	16.5	165'	165'	165'	16.5
170'	170'	170'	17.0	170'	170'	170'	17.0
175'	175'	175'	17.5	175'	175'	175'	17.5
180'	180'	180'	18.0	180'	180'	180'	18.0
185'	185'	185'	18.5	185'	185'	185'	18.5
190'	190'	190'	19.0	190'	190'	190'	19.0
195'	195'	195'	19.5	195'	195'	195'	19.5
200'	200'	200'	20.0	200'	200'	200'	20.0
205'	205'	205'	20.5	205'	205'	205'	20.5
210'	210'	210'	21.0	210'	210'	210'	21.0
215'	215'	215'	21.5	215'	215'	215'	21.5
220'	220'	220'	22.0	220'	220'	220'	22.0
225'	225'	225'	22.5	225'	225'	225'	22.5
230'	230'	230'	23.0	230'	230'	230'	23.0
235'	235'	235'	23.5	235'	235'	235'	23.5
240'	240'	240'	24.0	240'	240'	240'	24.0
245'	245'	245'	24.5	245'	245'	245'	24.5
250'	250'	250'	25.0	250'	250'	250'	25.0
255'	255'	255'	25.5	255'	255'	255'	25.5
260'	260'	260'	26.0	260'	260'	260'	26.0
265'	265'	265'	26.5	265'	265'	265'	26.5
270'	270'	270'	27.0	270'	270'	270'	27.0
275'	275'	275'	27.5	275'	275'	275'	27.5
280'	280'	280'	28.0</				

POLES & BRACKETS

LSI offers a full line of poles and mounting accessories to complete your lighting assembly. Aluminum and steel in both square and round shafts. In addition, LSI offers round tapered, fluted and hinge based poles. Designed and engineered for durability and protected with our own baked DuraGrip Protection System. Also available with our DuraGrip® Protection system for unmatched corrosion resistance and an extended warranty. American made in our Ohio facility with industry leading lead times.

Click the link below to learn more details about poles & brackets.

<https://www.lsi.com/products/poles-brackets/>

IKA UMB CLR

The 30° retract UMB allows for seamless integration of LSI luminaires onto existing round or new construction poles. The UMB was designed for square or round tapered or straight poles with two mounting hole spacings between 3.5" - 9".

IKA ASF CLR

The adjustable Flip Filter is a 35° rotated hinged die cast Aluminum adaptor to mount LSI luminaires onto a 2" or 3" pole size. 2° 28° 50° rotation. The Adjustable Flip Filter can be rotated 90° allowing for fitting LSI luminaires up to 45° and 90° when using a vertical lantern.

BKS POMS CLR

The Pole Quick Mount Bracket allows for pre-set 19° angle of LSI luminaires for greater throw of light and increased vertical illumination as well as fast installation onto poles with L215 3" or 3.5" bolt pattern.

BKS POMS CLR

The Pole Quick Mount Bracket allows for lightning fast installation of LSI luminaires onto existing and new construction poles with L215 3" or 3.5" tapered pole bolt pattern.

Square Pole
14"-39"

Round Pole
10"-30"

Tapered Pole
20"-30"

Type:

Mirada Medium Outdoor LED Area Lig

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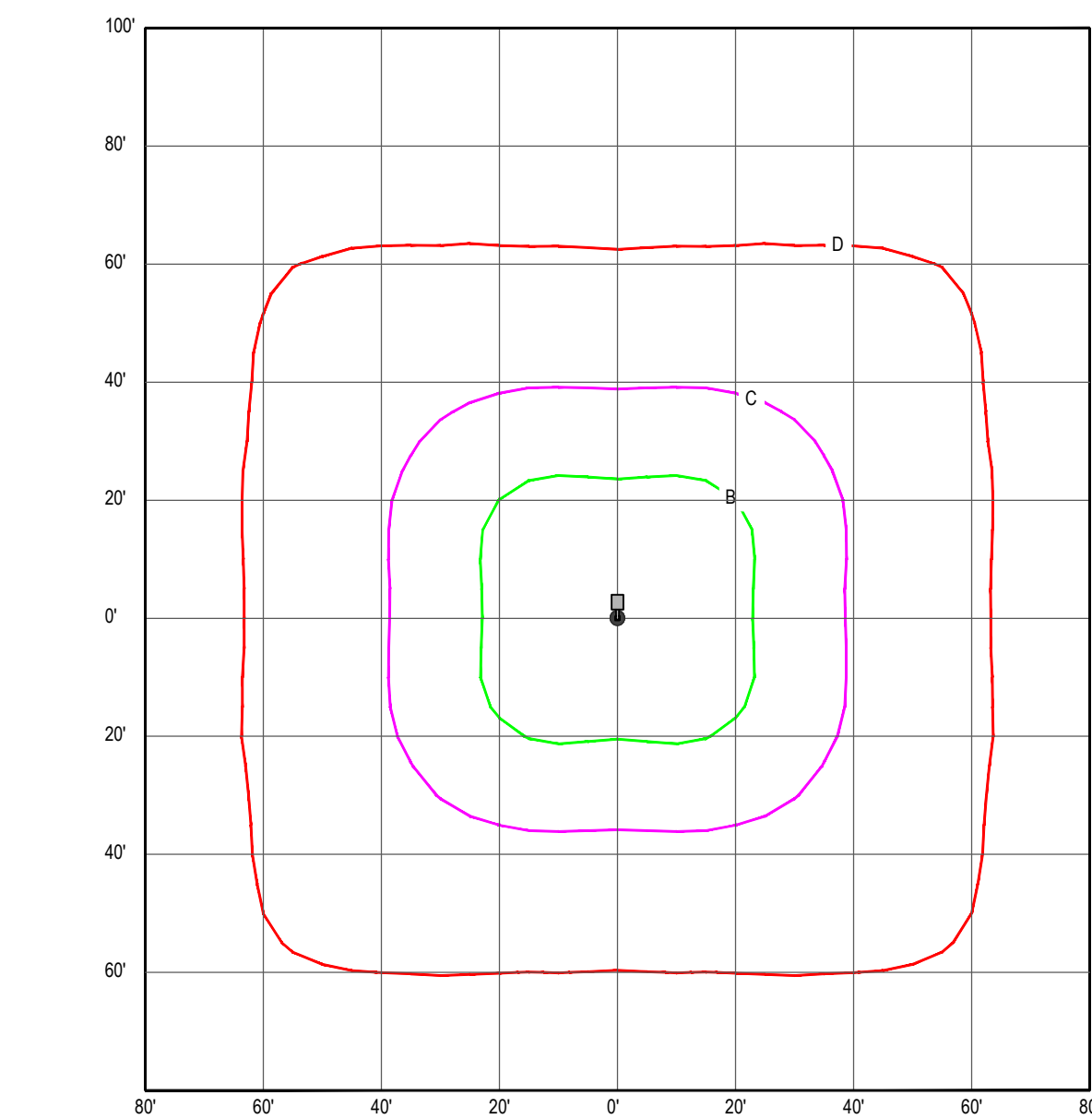
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AREA & WALL MOUNTED AREA LIGHT SPECIFICATION

NOT TO SCALE SOURCE: ILS INDUSTRIES INC.

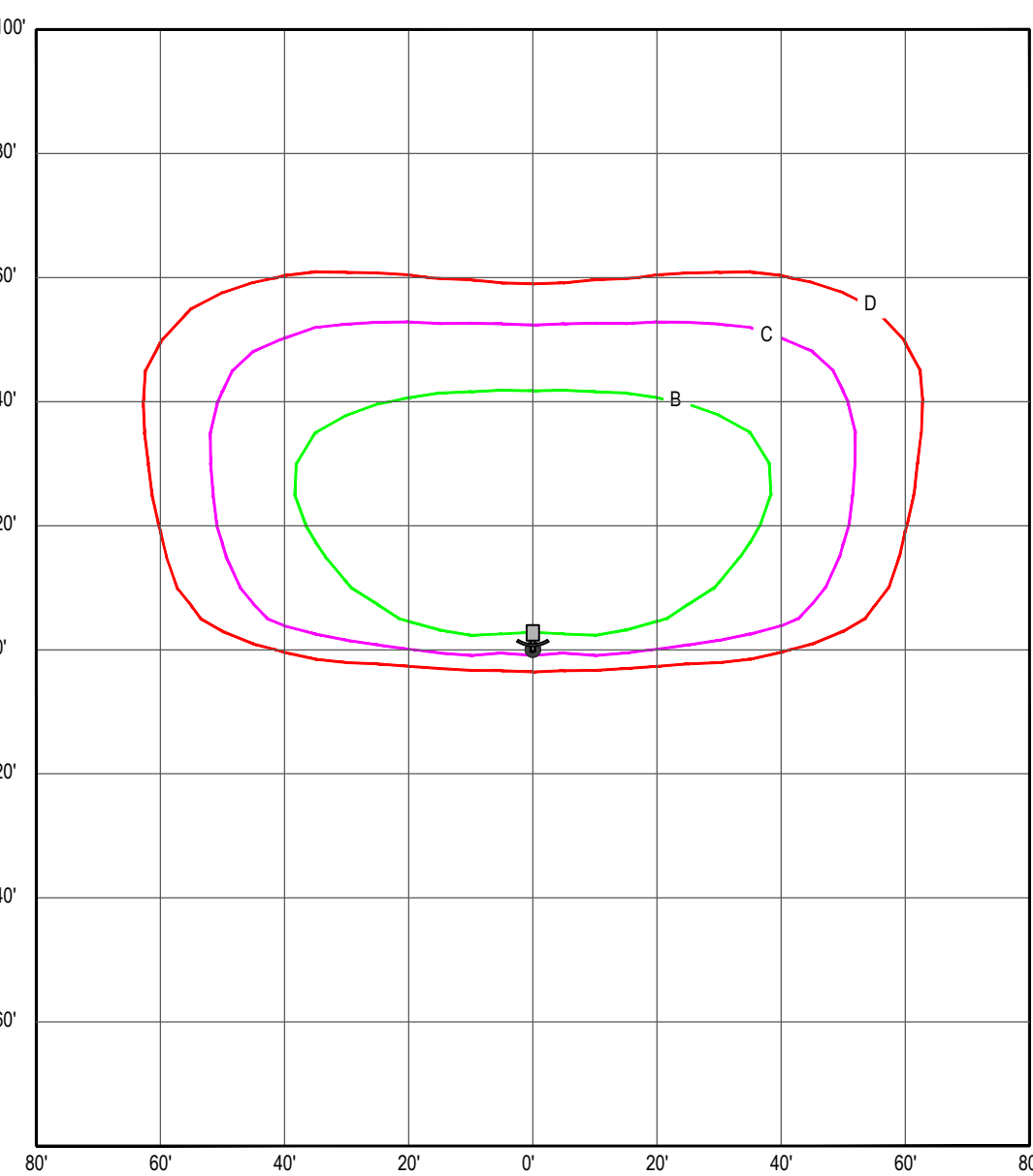
G:\0320\200616\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\000616-LGT-3A-----LAYOUT: C-710 LIGHT



MTG. HTS.	INITIAL HORIZONTAL FOOTCANDLES			
	A	B	C	D
25'	5.0	2.0	1.0	0.5

AIMING ANGLE: 0 DEG. FROM NADIR

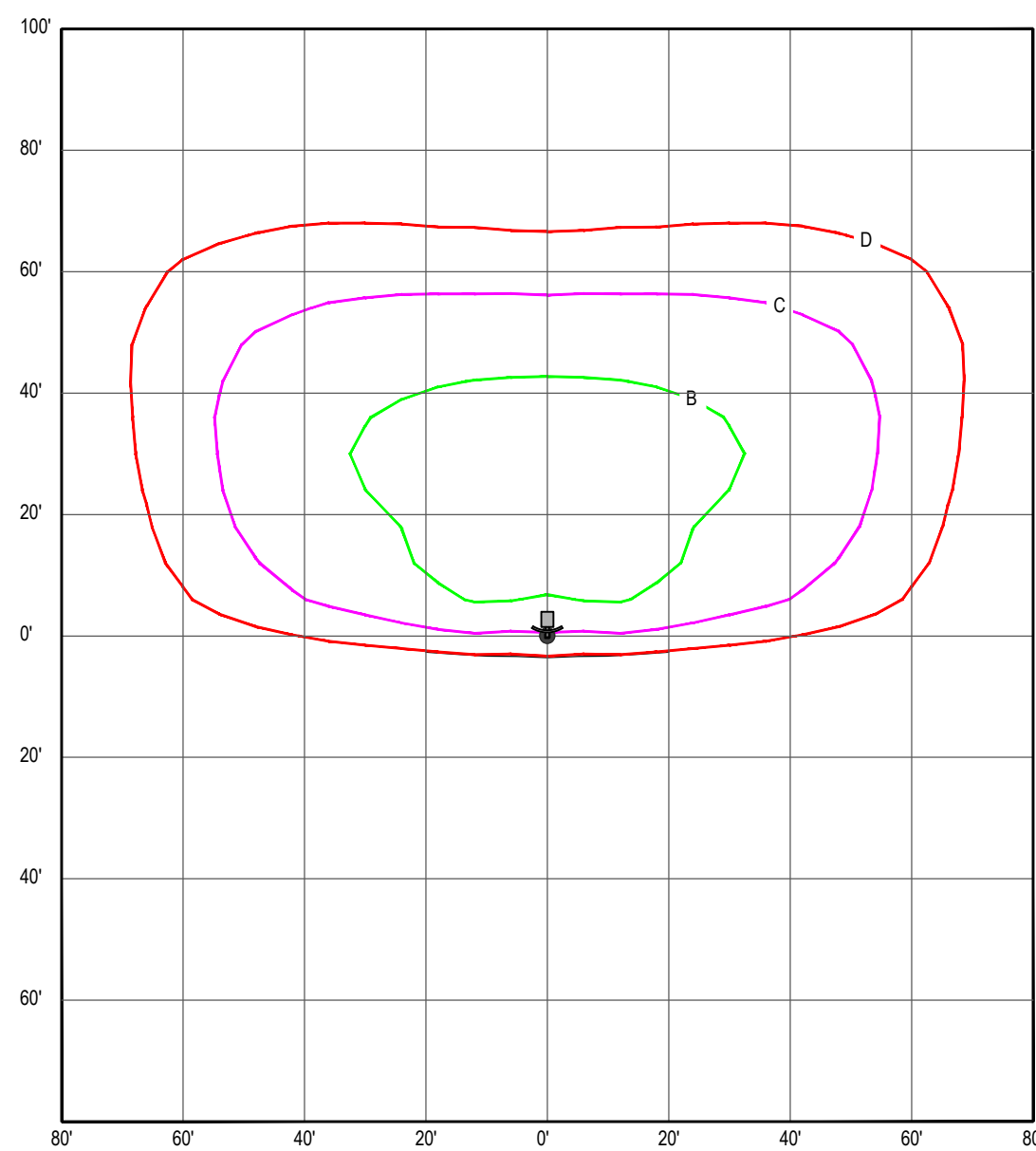
**LSI INDUSTRIES MIRADA MEDIUM
(MRM) SERIES LED AREA LIGHT
(A-1)**



MTG. HTS.	INITIAL HORIZONTAL FOOTCANDLES			
	A	B	C	D
25'	5.0	2.0	1.0	0.5

AIMING ANGLE: 0 DEG. FROM NADIR

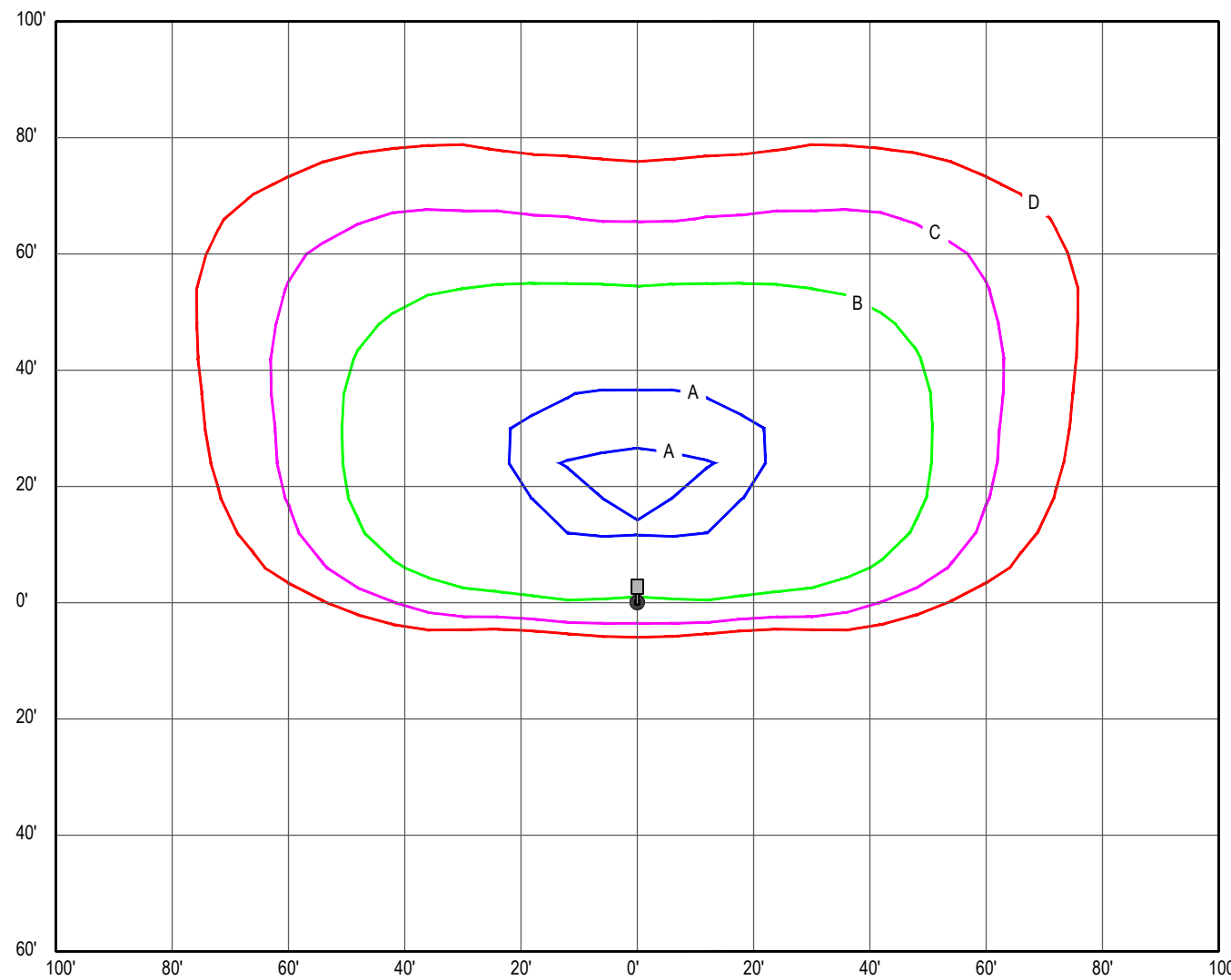
**LSI INDUSTRIES MIRADA MEDIUM
(MRM) SERIES LED AREA LIGHT W/
HOUSE SIDE SHIELD
(A-2 HSS)**



MTG. HTS.	INITIAL HORIZONTAL FOOTCANDLES			
	A	B	C	D
30'	5.0	2.0	1.0	0.5

AIMING ANGLE: 0 DEG. FROM NADIR

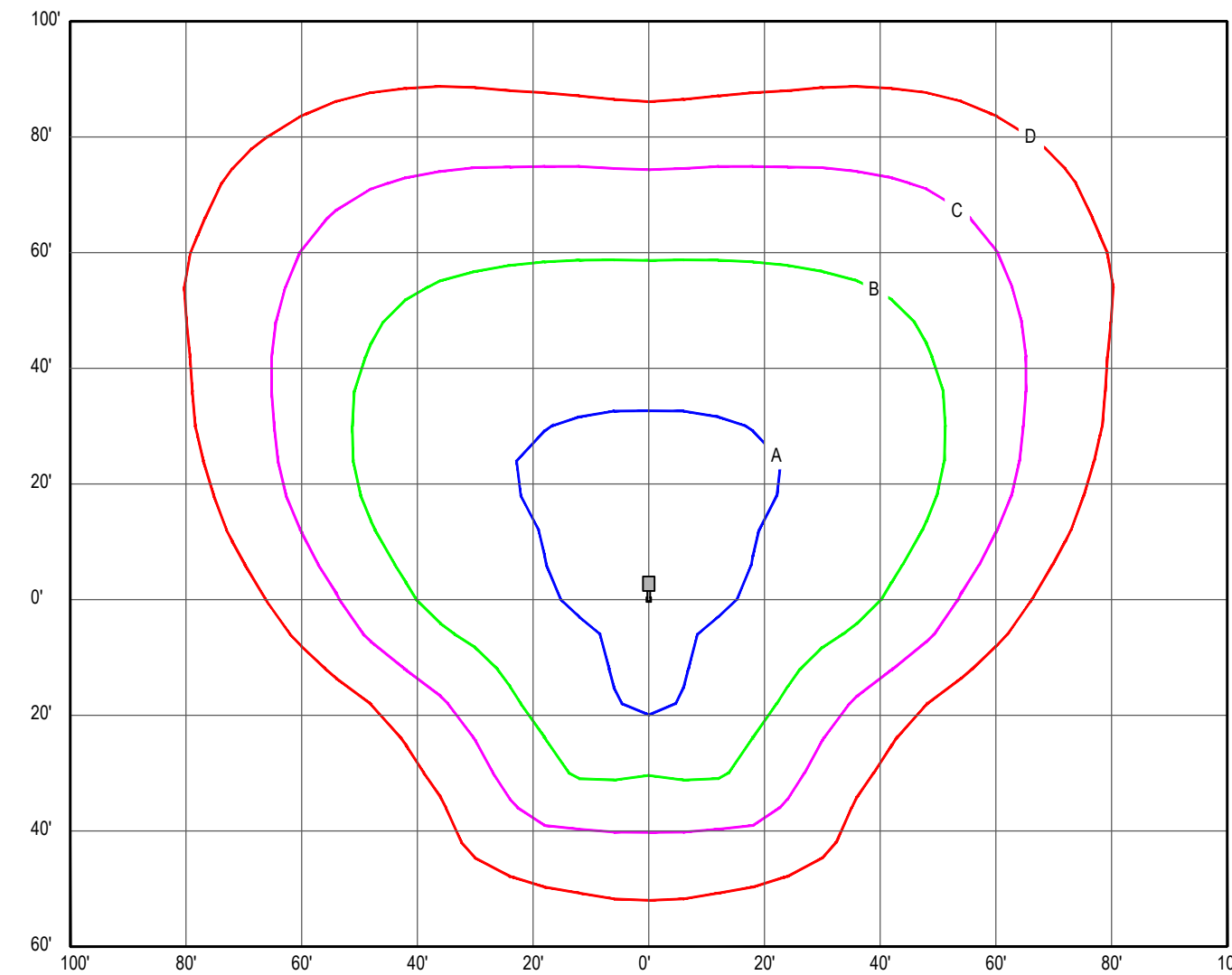
**LSI INDUSTRIES MIRADA MEDIUM
(MRM) SERIES LED AREA LIGHT W/
HOUSE SIDE SHIELD
(A-3 HSS)**



MTG. HTS.	INITIAL HORIZONTAL FOOTCANDLES			
	A	B	C	D
30'	5.0	2.0	1.0	0.5

AIMING ANGLE: 0 DEG. FROM NADIR

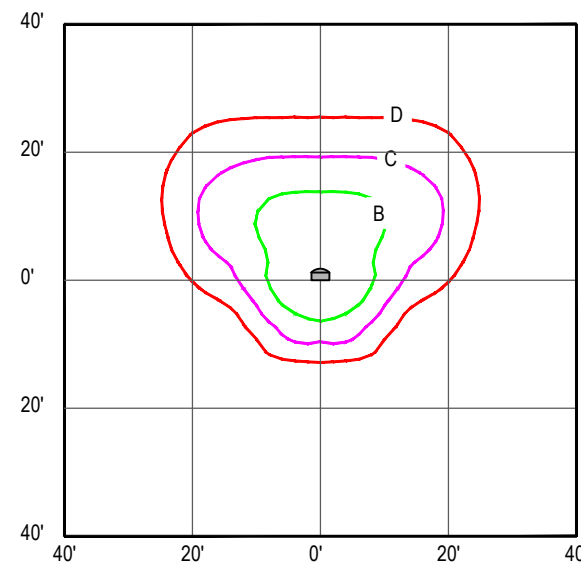
**LSI INDUSTRIES MIRADA MEDIUM
(MRM) SERIES LED AREA LIGHT
(A-4 HSS)**



MTG. HTS.	INITIAL HORIZONTAL FOOTCANDLES			
	A	B	C	D
30'	5.0	2.0	1.0	0.5

AIMING ANGLE: 0 DEG. FROM NADIR

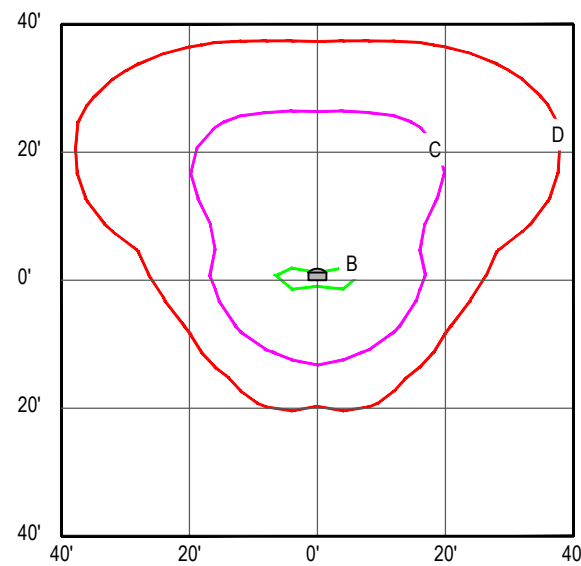
**LSI INDUSTRIES MIRADA MEDIUM
(MRM) SERIES LED WALL MOUNTED
AREA LIGHT
(W-1)**



MTG. HTS.	INITIAL HORIZONTAL FOOTCANDLES			
	A	B	C	D
10'	5.0	2.0	1.0	0.5

AIMING ANGLE: 0 DEG. FROM NADIR

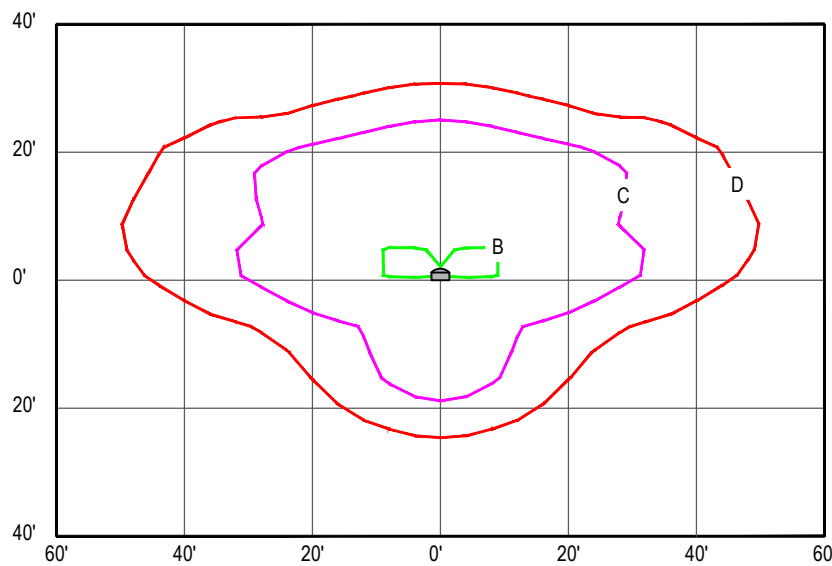
**LSI INDUSTRIES MIRADA (XWM)
SERIES LED WALL SCNCE
(W-2)**



MTG. HTS.	INITIAL HORIZONTAL FOOTCANDLES			
	A	B	C	D
20'	5.0	2.0	1.0	0.5

AIMING ANGLE: 0 DEG. FROM NADIR

**LSI INDUSTRIES MIRADA (XWM)
SERIES LED WALL SCNCE
(W-3)**



MTG. HTS.	INITIAL HORIZONTAL FOOTCANDLES			
	A	B	C	D
20'	5.0	2.0	1.0	0.5

AIMING ANGLE: 0 DEG. FROM NADIR

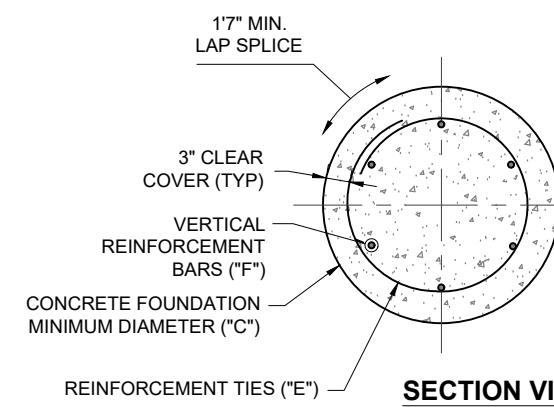
**LSI INDUSTRIES MIRADA (XWM)
SERIES LED WALL SCNCE
(W-4)**

PHOTOMETRIC DIAGRAMS

SCALE: 1" = 30' SOURCE: LSI INDUSTRIES INC.

LIGHT POLE FOUNDATION NOTES

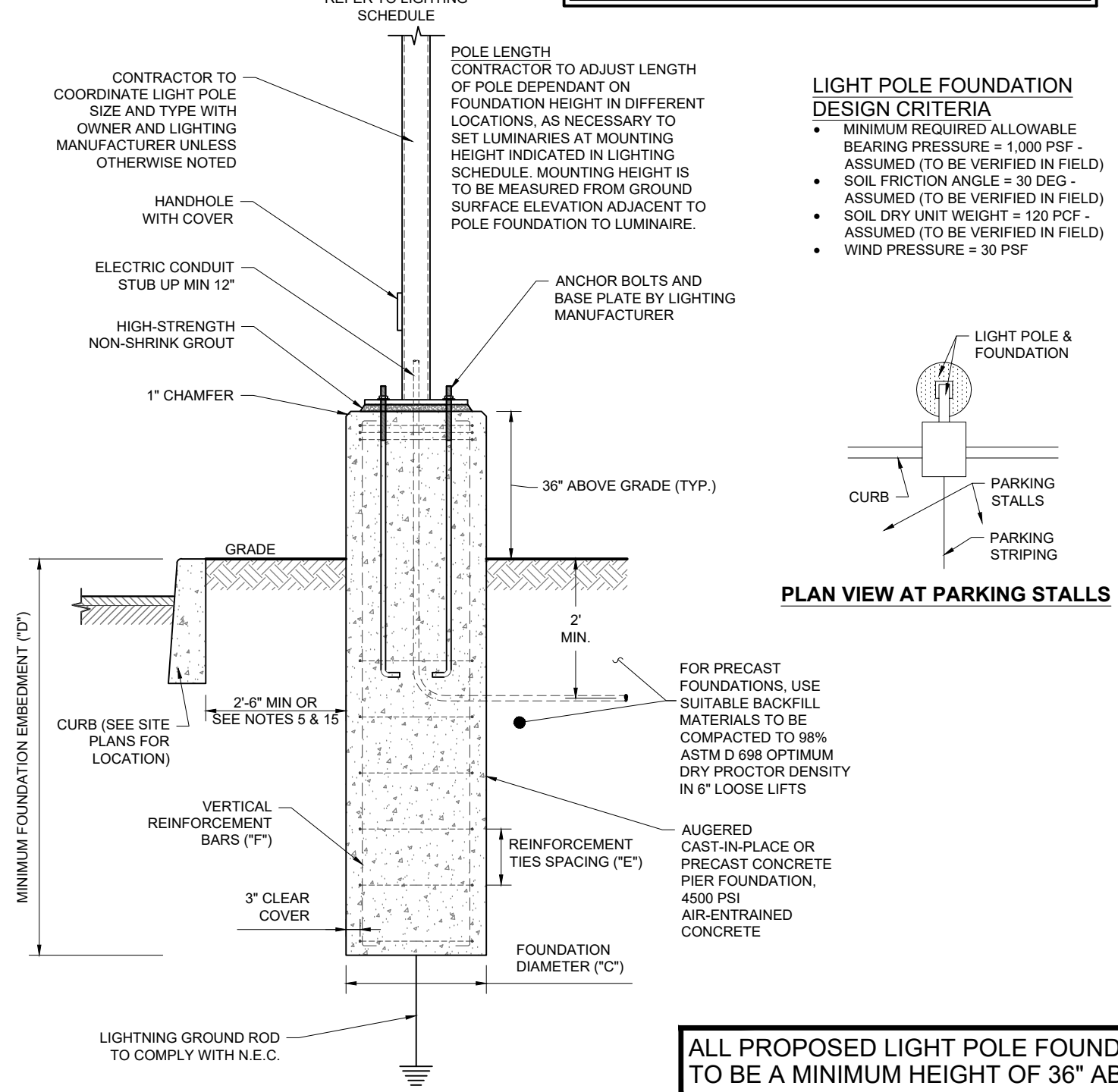
1. THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND CONDITIONS. COORDINATE WITH ALL CONTRACT DRAWINGS, PROJECT SHOP DRAWINGS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR MUST ENSURE NO CONFLICTS ARISE BETWEEN LIGHT POLE FOUNDATIONS, STRUCTURES, AND UTILITIES. IF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DESIGN PLANS ARISE, THE ENGINEER MUST BE NOTIFIED IMMEDIATELY IN WRITING.
2. THE CONTRACTOR IS TO HAVE A GEOTECHNICAL ENGINEER, LICENSED IN THE PROJECTS STATE, ON SITE TO INSPECT FILL, MONITOR FILL COMPACTION AND TO VERIFY SUBGRADE ALLOWABLE BEARING CAPACITY AND SOIL DESIGN CRITERIA PRIOR TO CONSTRUCTION IN ACCORDANCE TO THE DESIGN ASSUMPTIONS STATED. UNSUITABLE MATERIALS FOUND MUST BE REMOVED OR BE REMEDIATED AS PER THE DIRECTION OF THE ON SITE GEOTECHNICAL ENGINEER.
3. IF CONDITIONS IN THE FIELD ARE DIFFERENT THAN THOSE INDICATED, THE CONTRACTOR IS TO IMMEDIATELY NOTIFY THE ENGINEER IN WRITING.
4. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT APPROPRIATE SELECT BACKFILL IS USED, AND THOROUGHLY COMPACTED TO 98% MAX. DENSITY ASTM D 698.
5. STRUCTURAL CONCRETE AND CONCRETING PRACTICES SHALL CONFORM WITH ACI-318, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE"; DETAILS ARE TO BE IN ACCORDANCE WITH ACI-315, "MANUAL OF STANDARD PRACTICE: DETAILS AND DETAILING OF CONCRETE REINFORCEMENT"; FORM WORK SHALL CONFORM ACI-307 "GUIDE TO FORM WORK FOR CONCRETE", UNLESS OTHERWISE NOTED ON THE CONTRACT DOCUMENTS.
6. CONCRETE MUST BE NORMAL WEIGHT STONE AGGREGATE WITH THE STATED MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS. HISTORICAL DATA OR LABORATORY TESTS FOR THE PRELIMINARY DESIGN MIX IS TO BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION. THE WATER-CEMENT RATIO FOR THE PROPOSED MIX DESIGN MUST ACHIEVE AN AVERAGE 28-DAY STRENGTH OF 1,200 PSI GREATER THAN THE REQUIRED STRENGTH ON LABORATORY TEST RESULTS.
7. CONCRETE IS TO HAVE A SLUMP NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1".
8. EXPOSED CONCRETE IS TO BE AIR ENTRAINED, 6% (WITHIN 1% TOLERANCE), CONFORMING TO ASTM C269.
9. CONCRETE IS TO BE CONSOLIDATED IN PLACE USING AN INTERNAL VIBRATOR.
10. REINFORCING STEEL BARS SHALL BILLET STEEL ASTM A615, GRADE 60. ALL REINFORCEMENT TO BE SECURELY HELD IN PLACE WHILE PLACING CONCRETE. IF REQUIRED, ADDITIONAL BARS OR STIRRUPS TO BE PROVIDED BY THE CONTRACTOR TO FURNISH SUPPORT FOR ALL BARS. BAR SUPPORTS IN CONTACT WITH EXPOSED SURFACES TO BE PLASTIC TIPPED. ALL ACCESSORIES MUST BE GALVANIZED.
11. ALL SPLICES OF REINFORCING BARS NOT INDICATED ARE TO BE LTS AS PER THE REINFORCING SPLICE SCHEDULE OR 40 BAR DIAMETERS. DISCONTINUOUS ENDS OF CONTINUOUS BARS ARE TO BE STANDARD HOOKS.
12. IF CAVING OF DRILLED HOLES ARE ENCOUNTERED, CONTRACTOR SHALL PROVIDE BENTONITE SLURRY IN PERMANENT CASINGS FOR DRILLED CONCRETE PIER FOUNDATIONS.
13. CONCRETE MUST ATTAIN 80% OF THE DESIGN STRENGTH OR CURE FOR A MINIMUM OF 7-DAYS PRIOR TO THE INSTALLATION OF THE LIGHT POLES OR ALL LIGHT POLES ARE TO BE SUITABLY BRACED AGAINST WIND LOADS DURING THE ABOVE MENTIONED TIMEFRAME.
14. ALL ELECTRICAL COMPONENTS TO COMPLY WITH N.E.C.
15. VERIFY WITH LOCATIONS SHOWN ON LIGHTING PLAN.
16. CONTRACTOR IS TO RECORD ON A CLEAN COPY OF THE LIGHTING PLANS, THE LOCATION OF CONDUIT SUPPLYING POWER TO LIGHTS. A COMPLETED COPY OF THIS RECORD PLAN IS TO BE PROVIDED TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE WORK.
17. UPON ACCEPTANCE OF THE COMPLETED WORK BY THE OWNER, THE OWNER IS RESPONSIBLE FOR APPROPRIATE MAINTENANCE OF THE LIGHTING SYSTEM.



SECTION VIEW

LIGHT POLE FOUNDATION SCHEDULE	
MAXIMUM HEIGHT ABOVE GRADE "A" **	25'-0" & 30'-0"
ASSUMED AVERAGE POLE DIAMETER "B"	8"
# OF FIXTURES	SINGLE
MINIMUM FOUNDATION DIAMETER "C"	30"
MINIMUM FOUNDATION DEPTH "D"	6'-6"
REINFORCING TIES "E" *	#4 TIES @ 12" C-C
VERTICAL HOOKED REINFORCEMENT "F"	(8) #5 BARS EQUALLY SPACED

* = ADD 3 TIES, 4" C-C, AT TOP OF THE FOUNDATION
** = THIS MAY NOT BE ACTUAL MOUNTING HEIGHT, SEE LIGHTING SCHEDULE



PLAN VIEW AT PARKING STALLS

ALL PROPOSED LIGHT POLE FOUNDATIONS ARE TO BE A MINIMUM HEIGHT OF 36" ABOVE GRADE

36" HIGH EXPOSED BASE LIGHT POLE FOUNDATION DETAIL

NOT TO SCALE. (1020102-04/2019)(MODIFIED)

REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	09/25/2021	REV. PER TWP. COMPLETENESS	APR
2	10/27/2021	REV. PER TOWNSHIP COMMENTS	APR
3	11/19/2021	REV. PER TOWNSHIP COMMENTS	BE



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PROJECT No.: J200616
DRAWN BY: APR
CHECKED BY: AS/BAE
DATE: 09/11/2021
CAD ID: J200616-LGT-3A

PROJECT:

**PRELIMINARY &
FINAL SITE PLAN**

FOR

1980 US HWY 1, LLC

**PROPOSED
WAREHOUSE FACILITY**

1980 US HIGHWAY ROUTE 1
BLOCK 148; LOTS 34, 35.01 & 36
TOWNSHIP OF NORTH BRUNSWICK
MIDDLESEX COUNTY, NEW JERSEY
I-2 ZONE; TAX MAP SHEET #32

30 INDEPENDENCE BLVD., SUITE 200
WARREN, NJ 07059
Phone: (908) 665-5300
Fax: (908) 724-4401
www.BohlerEngineering.com
NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & M4000122

B.A. BOHLER

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 47421
NEW YORK LICENSE No. 088514-1
PENNSYLVANIA LICENSE No. 077366
CONNECTICUT LICENSE No. 26039
DELAWARE LICENSE No. 17111
OHIO LICENSE No. 78297

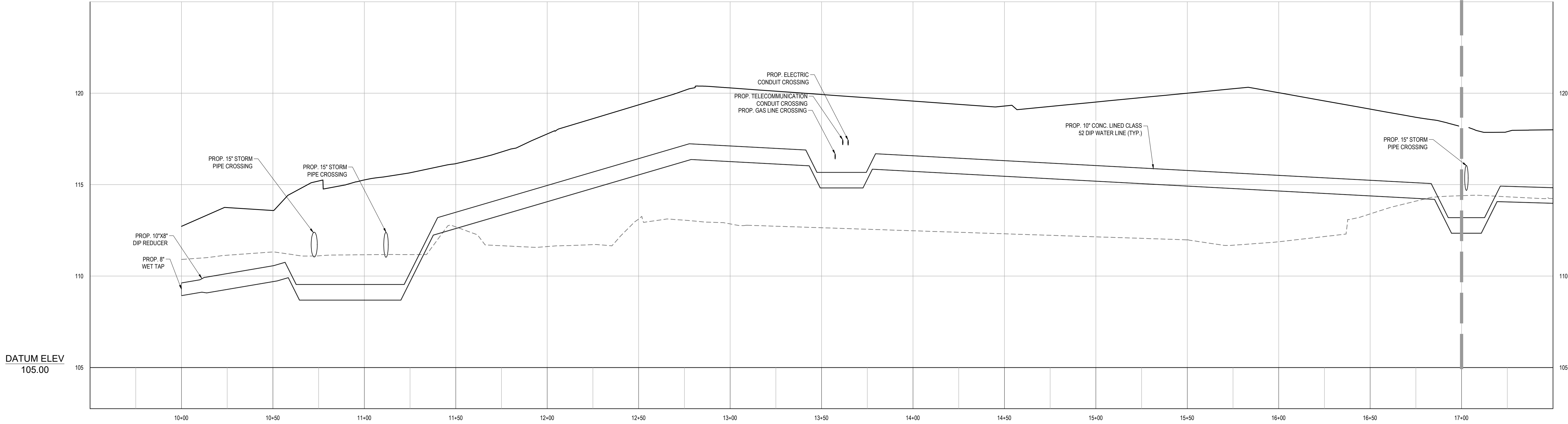
SHEET TITLE:

**LIGHTING
DETAILS**

SHEET NUMBER:

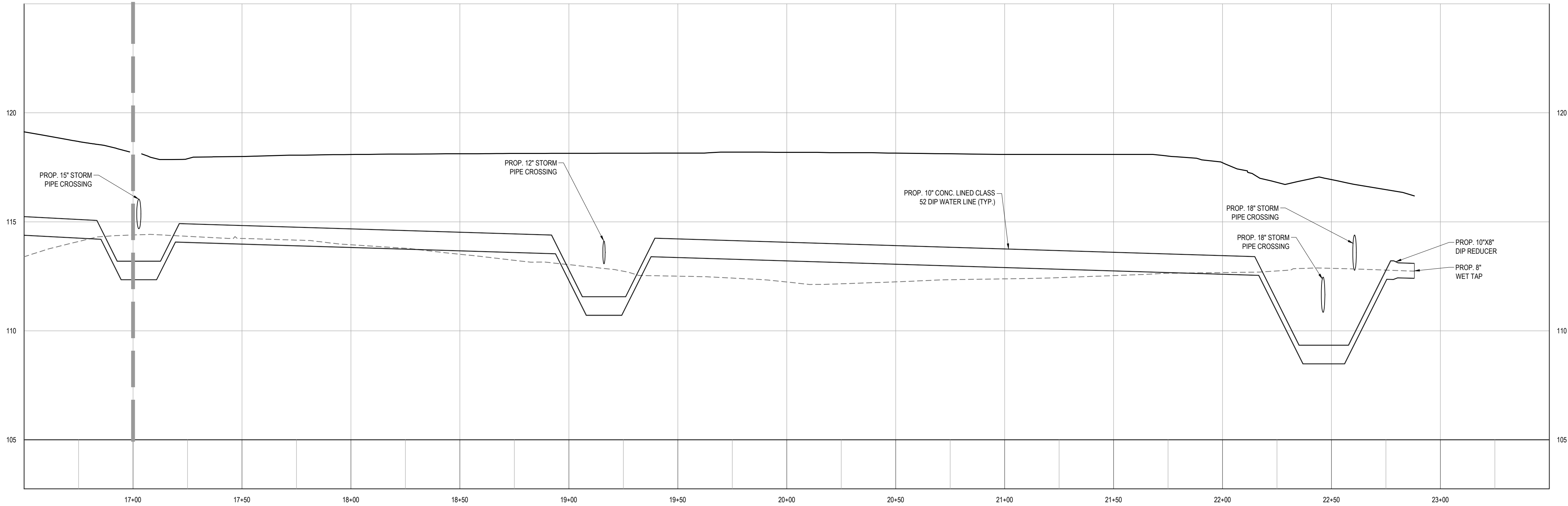
C-710

REVISION 3 - 11/19/2021



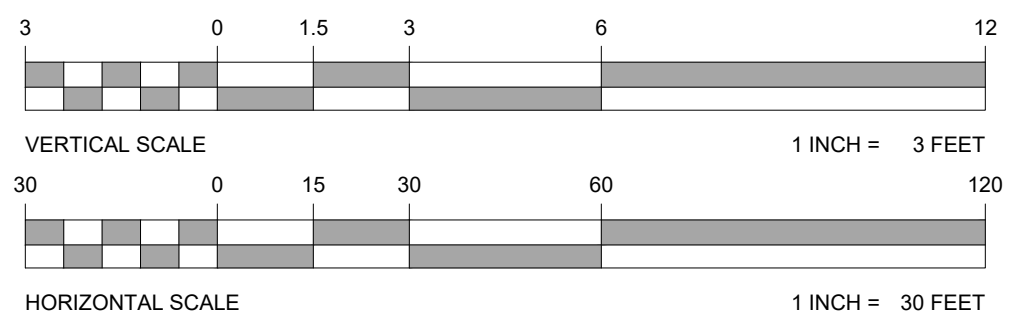
WATER MAIN (10+00 - 17+00)

SCALE: 1"= 30' HORIZONTAL
1"= 3' VERTICAL



WATER MAIN (17+00 - 22+88)

SCALE: 1"= 30' HORIZONTAL
1"= 3' VERTICAL



BOHLER TM

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PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
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PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	08/25/2021	REV. PER TWP. COMPLETENESS	APR
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3	11/19/2021	REV. PER TOWNSHIP COMMENTS	APR



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DRAWN BY: APR
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DATE: 08/11/2021
CAD ID: J200616-PRV-3A

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PRELIMINARY & FINAL SITE PLAN

FOR

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PROPOSED WAREHOUSE FACILITY

1980 US HIGHWAY ROUTE 1
BLOCK 148; LOTS 34, 35.01 & 36
TOWNSHIP OF NORTH BRUNSWICK
MIDDLESEX COUNTY, NEW JERSEY
I-2 ZONE; TAX MAP SHEET #32

BOHLER BOHLER ENGINEERING NJ, LLC

30 INDEPENDENCE BLVD., SUITE 200
WARREN, NJ 07059
Phone: (908) 665-5300
Fax: (908) 754-4401
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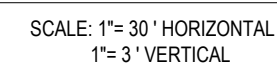
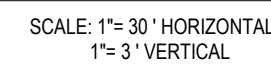
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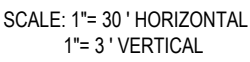
WATER PROFILE PLAN

SHEET NUMBER:

C-801

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PROJECT No.: J200616
DRAWN BY: APR
CHECKED BY: AS/BAB
DATE: 08/11/2021
CAD I.D.: J200616-PRD-3A

PROJECT:

FOR -

**PROPOSED
WAREHOUSE FACILITY**

1980 US HIGHWAY ROUTE 1
BLOCK 148; LOTS 34, 35.01 & 36
TOWNSHIP OF NORTH BRUNSWICK
MIDDLESEX COUNTY, NEW JERSEY
I-2 ZONE; TAX MAP SHEET #32

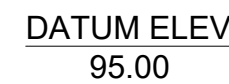
30 INDEPENDENCE BLVD., SUITE 200
WARREN, NJ 07059
 Phone: (908) 666-8300
 Fax: (908) 754-4401
www.BohlerEngineering.com
 NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & MH000122

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SCALE: 1"= 30' HORIZONTAL
1"= 3' VERTICAL

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REV	DATE	COMMENT	DRAWN CHECKED
1	08/25/2021	REV. PER TWP. COMPLETENESS	AP AC
2	10/27/2021	REV. PER TOWNSHIP COMMENTS	AP BE
3	11/19/2021	REV. PER TOWNSHIP COMMENTS	AP BE



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PROJECT No.:	J2006
DRAWN BY:	AS
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DATE:	08/11/20
CAD I.D.:	J200616-PRS-


PROJECT:

- FOR -

1980 US HWY 1, LLC

**PROPOSED
WAREHOUSE FACILITY**

1980 US HIGHWAY ROUTE 1
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TOWNSHIP OF NORTH BRUNSWICK
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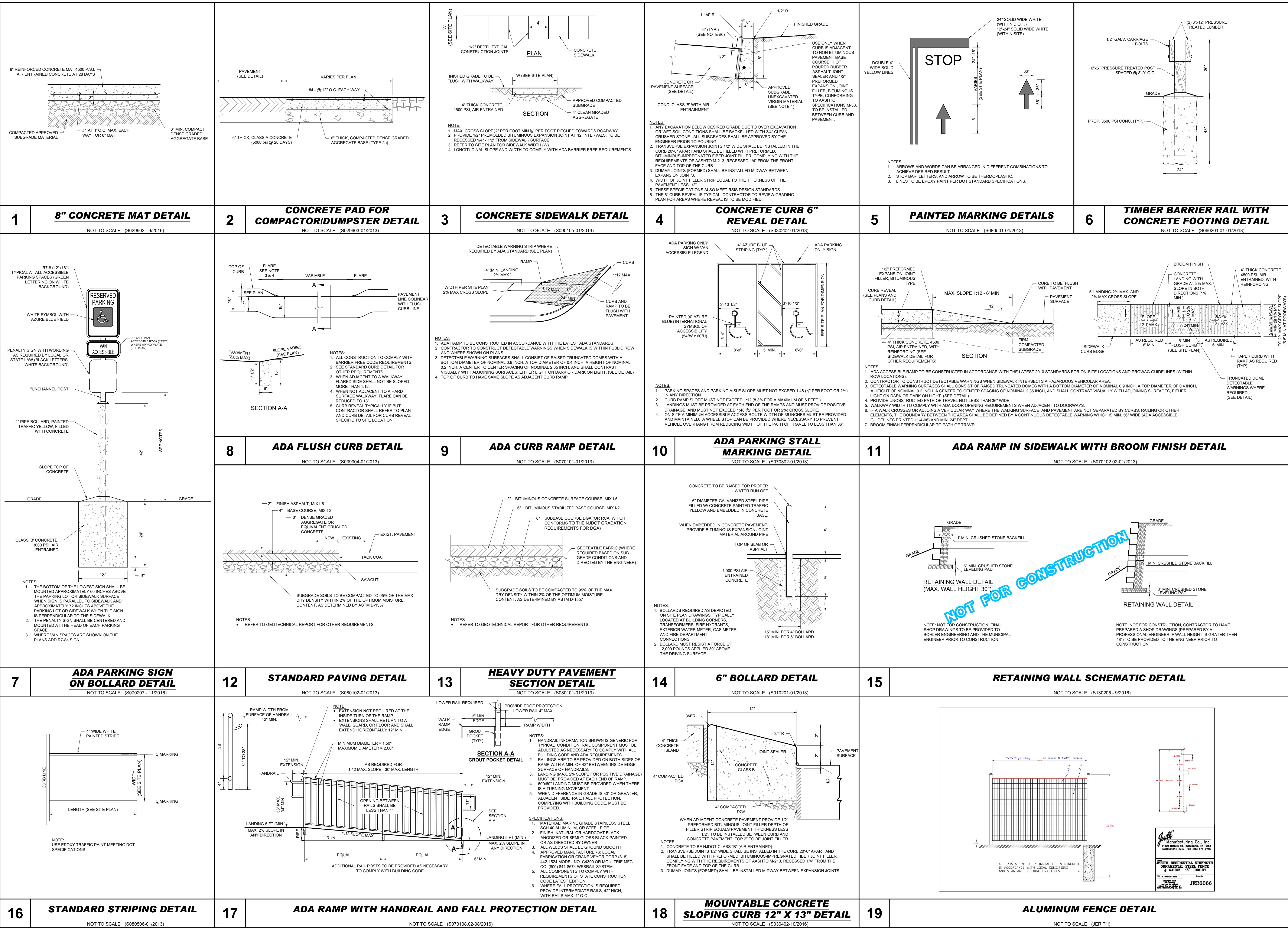
SHEET TITLE:

SHEET NUMBER:

C-804

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G:\2024\2024\16\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\000016-CDS-3A-LAYOUT: C-901.DETL



BOHLER SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGER
LANDSCAPE ARCHITECT
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	BY	CHECKED BY
1	09/25/2021	REV. PER TWP. COMPLETENESS	APR	AS
2	10/27/2021	REV. PER TOWNSHIP COMMENTS	APR	BE
3	11/19/2021	REV. PER TOWNSHIP COMMENTS	APR	BE

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PROJECT No.: J200616
DRAWN BY: APR
CHECKED BY: AS/BA
DATE: 08/11/2021
CAD ID: J200616-CDS-3A

PRELIMINARY & FINAL SITE PLAN

FOR

1980 US HWY 1, LLC

PROPOSED WAREHOUSE FACILITY

1980 US HIGHWAY ROUTE 1
BLOCK 148; LOTS 34, 35.01 & 36
TOWNSHIP OF NORTH BRUNSWICK
MIDDLESEX COUNTY, NEW JERSEY
I-2 ZONE; TAX MAP SHEET #32

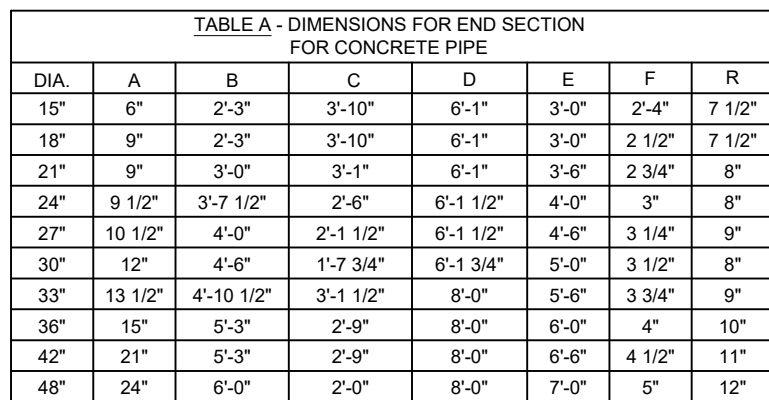
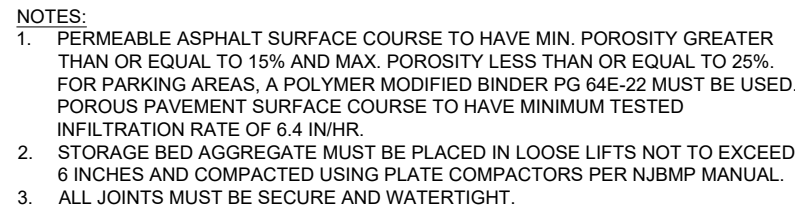
BOHLER BOHLER ENGINEERING NJ, LLC
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WARREN, NJ 07059
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Fax: (908) 734-4401
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CONNECTICUT LICENSE NO. 26039
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OKLAHOMA LICENSE NO. 78297

DETAIL SHEET

SHEET NUMBER: **C-901**

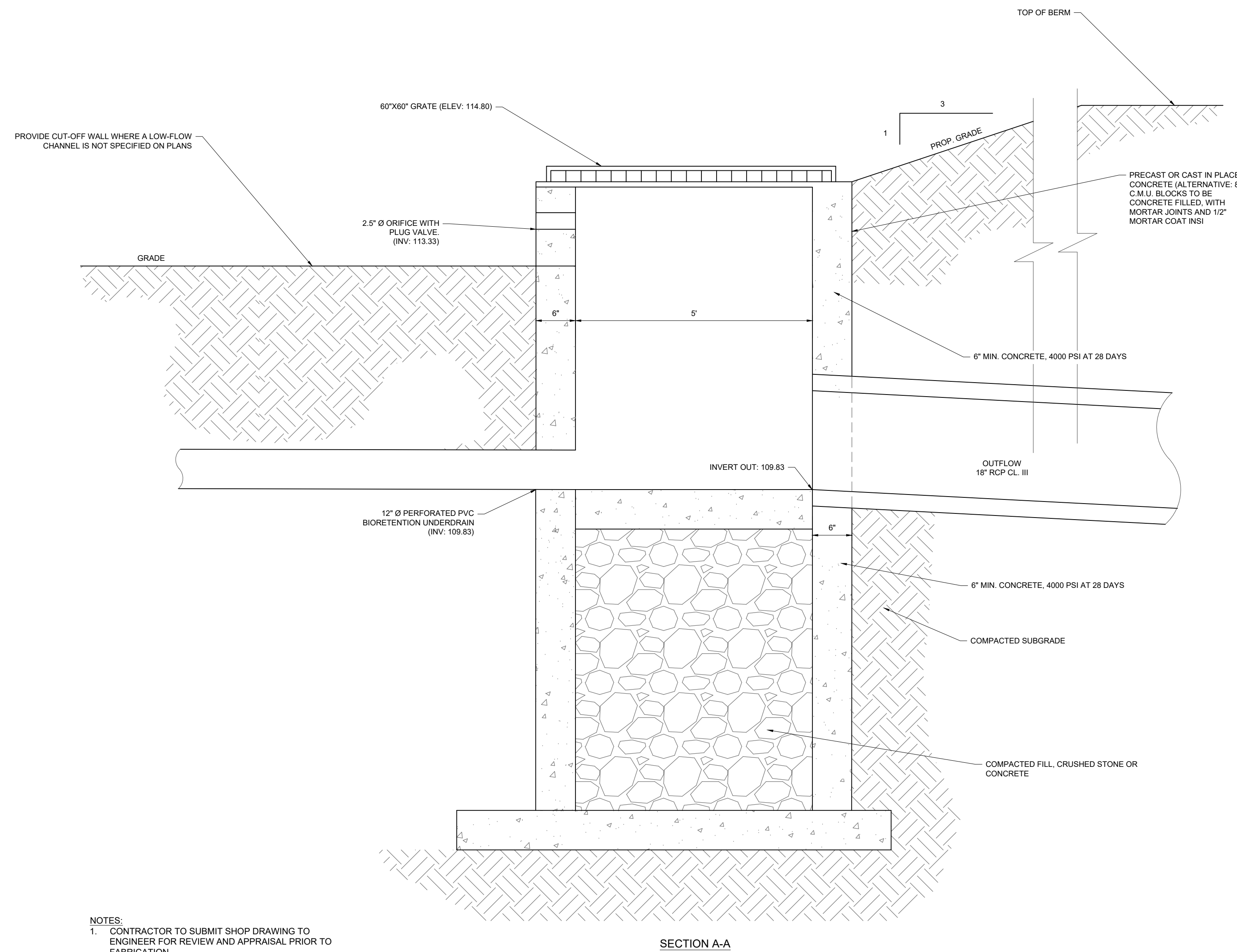
REVISION 3 - 11/19/2021

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S:\2020

PLAN VIEW

A FRONT ELEVATION



- NOTES:**
1. CONTRACTOR TO SUBMIT SHOP DRAWING TO ENGINEER FOR REVIEW AND APPRAISAL PRIOR TO FABRICATION.
 2. CONCRETE TO BE MINIMUM 4000 PSI @ 28 DAYS.
 3. PROVIDE LADDER RUNGS FOR STRUCTURES GREATER THAN 3 FT DEEP FROM TOP TO OUTLET INVERT.
 4. IF COMPONENTS ARE PRECAST AND ATTACHED IN THE FIELD ALL JOINTS TO BE FILLED WITH NON-SHRINK GROUT. ANY BOLTS AND/OR STRAPS SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED.

NOT TO SCALE

REVISIONS

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PROJECT No.:	J200616
DRAWN BY:	APR
CHECKED BY:	AS/BAB
DATE:	08/11/2021
CAD I.D.:	J200616-CDS-3A

PROJECT:

PRELIMINARY & FINAL SITE PLAN

OR —

1980 US HWY 1, LLC

PROPOSED WAREHOUSE FACILITY

1980 US HIGHWAY ROUTE 1
BLOCK 148; LOTS 34, 35.01 & 36
TOWNSHIP OF NORTH BRUNSWICK
MIDDLESEX COUNTY, NEW JERSEY
I-2 ZONE; TAX MAP SHEET #32

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PENNSYLVANIA LICENSE No. 077366
CONNECTICUT LICENSE No. 26039
DELAWARE LICENSE No. 17111
OHIO LICENSE No. 73297

SHEET TITLE:

DETAIL SHEET

HEET NUMBER:

C-907

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1	08/25/2021	REV. PER TWP. COMPLETENESS	APR AS
2	10/27/2021	REV. PER TOWNSHIP COMMENTS	APR BE
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PROJECT No.:	J200616
DRAWN BY:	APR
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DATE:	08/11/202
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PROJECT:

- FOR :

1980 US HWY 1, LLC

**PROPOSED
WAREHOUSE FACILITY**

**1980 US HIGHWAY ROUTE 1
BLOCK 148; LOTS 34, 35.01 & 36
TOWNSHIP OF NORTH BRUNSWICK
MIDDLESEX COUNTY, NEW JERSEY
I-2 ZONE; TAX MAP SHEET #32**

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SHEET TITLE:

SHEET NUMBER:

C-908

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