

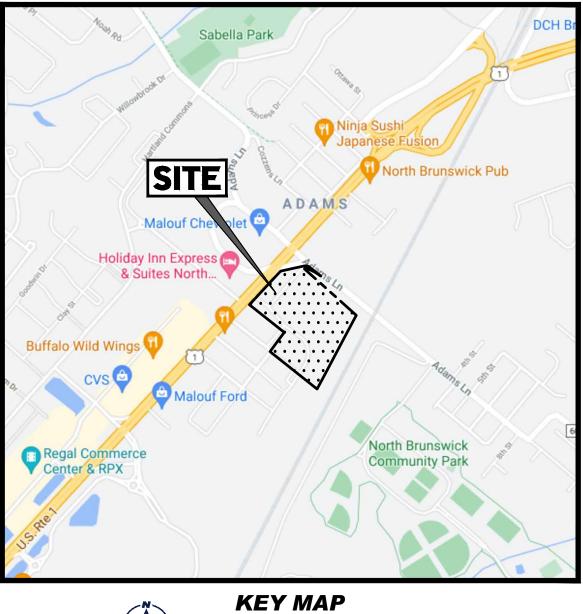
# PRELIMINARY & FINAL SITE PLAN

– FOR –

## 1980 US HWY 1, LLC

## PROPOSED WAREHOUSE FACILITY

**1980 US HIGHWAY ROUTE 1** BLOCK 148; LOTS 34, 35.01 & 36 **TOWNSHIP OF NORTH BRUNSWICK** MIDDLESEX COUNTY; NEW JERSEY I-2 ZONE; TAX MAP SHEET #32



SCALE: 1" = 1,000' SOURCE: GOOGLE MAPS

## DRAWING SHEET INDEX

SHEET TITLE	NUMBER
COVER SHEET	C-101
NOTES AND REFERENCES SHEET	C-102
DEMOLITION PLAN 'A' & 'B'	C-201 & C-202
OVERALL SITE LAYOUT PLAN	C-300
SITE LAYOUT PLAN 'A' & 'B'	C-301 & C-302
ALTERNATE SITE LAYOUT PLAN	C-303
GRADING PLAN 'A' & 'B'	C-401 & C-402
DRAINAGE PLAN 'A' & 'B'	C-501 & C-502
UTILITY PLAN 'A' & 'B'	C-503 & C-504
SOIL EROSION & SEDIMENT CONTROL PLAN 'A' & 'B'	C-601 & C-602
SOIL EROSION NOTES & DETAIL SHEET	C-603
OVERALL LANDSCAPE PLAN	C-700
LANDSCAPE PLAN 'A' & 'B'	C-701 & C-702
LANDSCAPE NOTES & DETAILS	C-703
TREE REPLACEMENT PLAN	C-704
OVERALL LIGHTING PLAN	C-705
LIGHTING PLAN 'A' & 'B'	C-706 & C-707
WATER PROFILE PLAN	C-801
DRAINAGE PROFILE PLAN	C-802 & C-803
SANITARY PROFILE PLAN	C-804
DETAIL SHEET	C-901 THRU C-908
ALTA/NSPS LAND TITLE SURVEY (BY OTHERS)	1 & 2 OF 2

### **APPROVAL BLOCK**

TOWNSHIP OF NORTH BRUNSWICK BOARD APP APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP BRUNSWICK, NEW JERSEY.	
CHAIRMAN	DATE
PLANNING BOARD SECRETARY	DATE
TOWNSHIP ENGINEER	DATE



980 US HWY 1 LLC

DATE

**REVISIONS** REV DATE COMMEN REV. PER TWP 08/25/2021 COMPLETENESS **REV. PER TOWNSHI** 10/27/2021 COMMENTS REV. PER TOWNSHIP 11/19/2021 COMMENTS Call before you d NEW JERSE YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND. 1-800-272-1000 www.nj1-call.org **ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVA** 'HIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENC' IEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCT **PROJECT No** DRAWN BY: CHECKED BY: AS/BAB DATE: 08/11/20 CAD I.D.: J200616-CDS-3 PROJECT: PRELIMINARY & FINAL SITE PLAN - FOR -1980 US HWY 1, LLC PROPOSED WAREHOUSE FACILITY **1980 US HIGHWAY ROUTE 1** BLOCK 148; LOTS 34, 35.01 & 36 TOWNSHIP OF NORTH BRUNSWICK MIDDLESEX COUNTY, NEW JERSEY I-2 ZONE; TAX MAP SHEET #32 В 30 INDEPENDENCE BLVD., SUITE 20 WARREN, NJ 07059 Phone: (908) 668-8300 Fax: (908) 754-4401 www.BohlerEngineering.com NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & MH0001



**C-101** 

**REVISION 3 - 11/19/2021** 

- **DEMOLITION NOTES**
- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS THE GENERAL NOTES ARE REFERENCED HEREIN AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES. THE CONTRACTOR
- COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY. THE CONTRACTOR MUST
- HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS.
- THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ONLY CONDITIONS REGARDING ITEMS TO BE DEMOLISHED. REMOVED. AND/OR TO REMAIN. A. THE CONTRACTOR MUST ALSO REVIEW ALL CONSTRUCTION DOCUMENTS AND INCLUDE WITHIN THE DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
- B. THIS PLAN IS NOT INTENDED TO AND DOES NOT PROVIDE DIRECTION REGARDING THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE EMPLOYED TO ACCOMPLISH THE WORK. ALL MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE AND CONFORMANCE WITH ALL STATE FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS, THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE FOR THE CONTRACTOR AND THE PUBLIC.
- 5. THE CONTRACTOR MUST PROVIDE ALL "METHODS AND MEANS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR, AT THE CONTRACTOR'S SOLE COST, MUST REPAIR ALL DAMAGE TO ALL ITEMS AND FEATURES THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIRS MUST INCLUDE THE
- PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE B. ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. THE CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, COMPLYING WITH ALL OSHA REQUIREMENTS, TO
- ENSURE PUBLIC AND CONTRACTOR SAFETY AND SAFETY TO ALL PROPERTY ON THE SITE OR ADJACENT OR NEAR TO THE SAME. THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY, WHICH MUST INCLUDE, BUT IS NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR
- ALL UNAUTHORIZED PERSONS AT ANY TIME, TO OR NEAR THE DEMOLITION AREA. PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY, THE CONTRACTOR MUST, IN WRITING, RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS AND/OR SPECIFICATIONS, ALL CONCERNS OR QUESTIONS REGARDING THE APPLICABLE SAFETY STANDARDS, AND/OR THE SAFETY OF THE CONTRACTOR AND/OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, ANY SUCH CONCERNS MUST BE CONVEYED TO THE ENGINEER OF RECORD AND BOHLER . IN WRITING AND MUST ADDRESS ALL ISSUES AND ITEMS RESPONDED TO. BY THE ENGINEER OF RECORD
- THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES. THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND/OR DISCONNECTION AS IDENTIFIED OR REQUIRED. FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES
- 0. PRIOR TO COMMENCING ANY DEMOLITION. THE CONTRACTOR MUST: A. OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND ALL PUBLIC
- LEAST 72 BUSINESS HOURS PRIOR TO THE COMMENCEMENT OF WORK.
- SAID CONTROLS UNTIL SITE IS STABILIZED D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT. IN ADVANCE OF ANY EXCAVATION.
- ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY
- NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES DEMOLITION ACTIVITIES G. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR
- OF ABANDONMENT, THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WITH IMMEDIATE WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS H. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK"
- IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN IMMEDIATELY CEASE ALL WORK IN THE AREA OF DISCOVERY. AND IMMEDIATELY NOTIFY, IN WRITING AND VERBALLY, THE OWNER AND ENGINEER OF RECORD AND BOHLER, THE DISCOVERY OF SUCH MATERIALS TO PURSUE PROPER AND COMPLIANT REMOVAL OF SAME.
- OOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE, UNLESS SAME IS IN STRICT ACCORDANCE AND STRUCTURAL OR GEOTECHNICAL ENGINEER.
- 2 DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE OR INCLUDE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE WITHOUT SPECIFIC WRITTEN PERMISSION AND AUTHORITY OF AND FROM THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION. . THE CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM. OR INCIDENTAL TO, DEMOLITION ACTIVITIES, BACKFILI MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT ALL NEW IMPROVEMENTS AND MUST BE PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE ARTICULATED IN THE GEOTECHNICAL REPORT BACKEILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES AND MUST BE
- PERFORMED SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR COMPACTION TESTING AND MUST SUBMIT SUCH REPORTS AND RESULTS TO THE ENGINEER OF RECORD AND THE OWNER. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE NECESSARY AND REQUIRED GOVERNMENTAL AUTHORITIES. PRIOR TO COMMENCING ANY EXPLOSIVE PROGRAM AND/OR ANY
- AND EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL. STATE, AND LOCAL GOVERNMENTS REQUIRE, THE CONTRACTOR IS ALSO RESPONSIBLE TO CONDUCT AND PERFORM ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES AND THE LIKE. TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR. AFTER THE DEMOLITION IS COMPLETE, THE CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS WHICH THE
- DEMOLITION OPERATIONS CAUSE. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION AT CONTRACTOR'S SOLE COST. . PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS OUTSIDE OF APPROVED AREAS WILL NOT BE PERMITTED, INCLUDING BUT NOT LIMITED TO. THE PUBLIC RIGHT-OF-WAY.
- 17 THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES, THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE
- WORK, ALL OF WHICH IS AT THE CONTRACTOR'S SOLE COST. 18. THE CONTRACTOR MUST EMPTY, CLEAN AND REMOVE FROM THE SITE ALL UNDERGROUND STORAGE TANKS, IF ENCOUNTERED, IN ACCORDANCE WITH FEDERAL, STATE, COUNTY AND LOCAL REQUIREMENTS, PRIOR TO CONTINUING CONSTRUCTION IN THE AREA AROUND THE TANK WHICH EMPTYING, CLEANING AND REMOVAL ARE AT THE CONTRACTOR'S SOLE COST.

## ACCESSIBILITY DESIGN GUIDELINES

- MORE STRINGENT OF: (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.); AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS O BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED. THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND CONSISTENCY WITH INDUSTRY GUIDELINES.
- THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA) COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, AND INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THE ACCESSIBLE GUIDELINES AND REQUIREMENTS WHICH INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING: ACCESSIBLE PARKING SPACES AND ACCESS AISLES SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCHES MINIMUM WIDTH (48-INCHES PREFERRED), OR AS
- SPECIFIED BY THE GOVERNING AGENCY, UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EXCEED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER THAN 1:20 (5.0%), AN ACCESSIBLE RAMP MUST BE PROVIDED. ALONG THE ACCESSIBLE PATH OF TRAVEL, OPENINGS MUST NOT EXCEED 1/2-INCH IN WIDTH. VERTICAL CHANGES OF UP TO 1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDES A 1/4-INCH BEVEL AT A SLOPE NOT STEEPER THAN 1'2 NO VERTICAL CHANGES OVER 1/4-INCH ARE PERMITTED ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES, LEVEL LANDINGS MUST BE PROVIDED AT EACH END OF ACCESSIBLE RAMPS, LANDING MUST PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES.
- AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CLEAR LANDING OF A MINIMUM OF 60-INCHES BY 60-INCHES. HAND RAILS ON BOTH SIDES OF THE RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES. ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%). WHERE FLARED SIDES ARE PROVIDED, THEY MUST NOT EXCEED 1:10 (10%) SLOPE. LEVEL LANDING MUST BE PROVIDED AT RAMPS TOP AT A MINIMUM OF 36-INCHES LONG
- (48-INCHES PREFERRED). IN ALTERATIONS, WHEN THERE IS NO LANDING AT THE TOP, FLARE SIDES SLOPES MUST NOT FXCEED A SLOPE OF 1:12 (8.3%). DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH F TRAVEL. THIS LANDING MUST BE SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO FEWER THAN 60-INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE CLEARLY PERMITTED BY ACCESSIBLE STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2009 AND OTHER
- REFERENCES INCORPORATED BY CODE). WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ACCESSIBLE COMPONENTS FROM EXISTING DOORWAYS OR SURFACES. THE CONTRACTOR MUST VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD. IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER
- FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES. THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE EXISTS OR IS OBSERVED OR DISCOVERED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD IN WRITING. PRIOR TO POURING CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL
- COSTS TO REMOVE. REPAIR AND/OR REPLACE NON-CONFORMING CONCRETE AND/OR PAVEMENT SURFACES. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE SAME IS CONSISTENT WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCING CONSTRUCTION ANY WORK PROPOSED IN THE STATE OF NEW JERSEY MUST CONFORM TO THE NJ UNIFORM CONSTRUCTION CODE SUBCHAPTER 7. BARRIER-FREE ACCESS.

- GENERAL NOTES (Rev. 2/2021) THESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO BOHLER ENGINEERING. NJ. LLC (HEREIN "BOHLER") PRIOR TO THE DATE ON WHICH THE ENGINEER OF RECORD AND BOHLER PREPARED THESE PLANS. THE CONTRACTOR MUST FIELD VERIFY ALL EXISTING CONDITIONS AND IMMEDIATELY NOTIFY BOHLER , IN WRITING, IF ANY ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THESE PLANS, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES. THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS, THESE NOTES, AND THE REQUIREMENTS ARTICULATED IN THE NOTES CONTAINED IN ALL THE OTHER DRAWINGS THAT COMPRISE THE PLAN SET OF DRAWINGS. ADDITIONAL NOTES AND SPECIFIC PLAN NOTES MAY BE FOUND ON THE INDIVIDUAL PLANS. THESE GENERAL NOTES APPLY TO THIS ENTIRE DOCUMENT PACKAGE IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE. PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CONFIRM WITH THE ENGINEER OF RECORD AND BOHLER THAT THE LATEST EDITION OF THE DOCUMENTS AND/OR REPORTS REFERENCED WITHIN THE PLAN REFERENCES ARE BEING USED FOR CONSTRUCTION. THIS IS THE CONTRACTOR'S SOLE AND COMPLETE RESPONSIBILITY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED, NO CONSTRUCTION OR FABRICATION IS TO BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE CONDITIONS OF APPROVAL TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND HAS ALSO CONFIRMED THAT ALL NECESSARY AND REQUIRED PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES. THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS. SPECIFICATIONS/REPORTS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS. RULES. REGULATIONS. STATUTORY REQUIREMENTS. CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT. AND ALL PROVISIONS IN AND CONDITIONS OF THE CONSTRUCTION CONTRACT WITH THE OWNER/DEVELOPER INCLUDING ALL EXHIBITS, ATTACHMENTS AND ADDENDA TO SAME PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFULLY REVIEWING THE MOST CURRENT ARCHITECTURAL, CIVIL AND STRUCTURAL CONSTRUCTION DOCUMENTS (INCLUDING, BUT NOT LIMITED TO, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLANS, WHERE APPLICABLE), THE CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND ENGINEER OF RECORD AND BOHLER. IN WRITING. OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST BETWEEN THESE PLANS AND ANY OTHER PLANS THAT COMPRISE THE CONSTRUCTION DOCUMENTS. CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL/BUILDING PLANS OF RECORD FOR EXACT OCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS. THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND MEASUREMENTS SHOWN ON THESE PLANS, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST IMMEDIATELY NOTIFY ENGINEER OF RECORD AND BOHLER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE RE-DONE OR REPAIRED DUE TO DIMENSIONS. MEASUREMENTS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO BOTH (A) THE CONTRACTOR GIVING ENGINEER OF RECORD AND BOHLER WRITTEN NOTIFICATION OF SAME AND (B) ENGINEER OF RECORD AND BOHLER, THEREAFTER, PROVIDING THE CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS HEREIN AND MUST NOT SCALE OFF THE DRAWINGS DUE TO POTENTIAL PRINTING INACCURACIES. ALL DIMENSIONS AND MEASUREMENTS ARE TO BE CHECKED AND CONFIRMED BY THE GENERAL CONTRACTOR PRIOR TO PREPARATION OF SHOP DRAWINGS. FABRICATION/ORDERING OF PARTS AND MATERIALS AND COMMENCEMENT OF SITE WORK. SITE PLAN DRAWINGS ARE NOT INTENDED AS SURVEY DOCUMENTS. DIMENSIONS SUPERSEDE GRAPHICAL REPRESENTATIONS. THE CONTRACTOR MUST MAKE CONTRACTOR'S OWN MEASUREMENTS FOR LAYOUT OF IMPROVEMENTS THE OWNER AND CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY WHEN INCLUDED AS ONE OF THE REFERENCED DOCUMENTS, THE GEOTECHNICAL REPORT, SPECIFICATIONS AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN: (A) THE PLANS; AND (B) THE GEOTECHNICAL REPORT AND RECOMMENDATIONS, MUST TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER OF RECORD AND BOHLER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORT AND PLANS AND SPECIFICATIONS, PRIOR TO PROCEEDING WITH ANY FURTHER WORK. IF A GEOTECHNICAL REPORT WAS NOT CREATED, THEN THE CONTRACTOR MUST FOLLOW AND COMPLY WITH ALL OF THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE SPECIFICATIONS WHICH HAVE JURISDICTION OVER THIS PROJECT. ENGINEER OF RECORD AND BOHLER ARE NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, HAS NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES. ALL OF THIS WORK IS TO BE PERFORMED AT CONTRACTOR'S SOLE COST AND EXPENSE. THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION AND CONSTRUCTION WASTES, UNSUITABLE EXCAVATED MATERIAL, EXCESS SOIL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL MUNICIPAL. COUNTY, STATE. AND FEDERAL LAWS AND APPLICABLE CODES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER THE CONTRACTOR. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST. THE CONTRACTOR MUST REPAIR, AT CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC, AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE. BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE CONTRACTOR MUST. PROMPTLY. DOCUMENT ALL EXISTING DAMAGE AND NOTIFY. IN WRITING, THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR AND HAVE NO CONTRACTUAL, LEGAL OR OTHER RESPONSIBILITIES FOR JOB SITE SAFETY JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME. THE ENGINEER OF RECORD AND BOHLER HAVE NOT BEEN RETAINED TO PERFORM OR TO BE RESPONSIBLE FOR JOB SITE SAFETY. SAME BEING WHOLLY OUTSIDE OF ENGINEER OF RECORD'S AND BOHLER SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES OR ANY JOB SITE CONDITIONS, AT ANY TIME. THE CONTRACTOR MUST IMMEDIATELY IDENTIFY IN WRITING, TO THE ENGINEER OF RECORD AND BOHLER , ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY. HEALTH OR GENERAL WELFARE, OR PROJECT COST, IF THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER WRITTEN NOTIFICATION AS DESCRIBED ABOVE, IT WILL BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, THE CONTRACTOR MUST INDEMNIFY, DEFEND AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER FOR ANY AND ALL DAMAGES, COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM OR ARE IN ANY WAY RELATED TO SAME INCLUDING, BUT NOT LIMITED TO, ANY THIRD PARTY AND FIRST PARTY CLAIMS. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM THE CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS, AND CURRENT CODES, RULES, STATUTES AND THE LIKE. IF THE CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, RULES, STATUTES, CODES AND THE LIKE, THE CONTRACTOR AND/OR OWNER AGREE TO AND MUST JOINTLY, INDEPENDENTLY, SEPARATELY, AND SEVERALLY INDEMNIFY AND HOLD THE ENGINEER OF RECORD AND BOHLER HARMLESS FOR AND FROM ALL INJURIES. CLAIMS AND DAMAGES THAT ENGINEER AND BOHLER SUFFER AND
- ANY AND ALL COSTS THAT ENGINEER AND BOHLER INCUR AS RELATED TO SAME. ALL CONTRACTORS MUST CARRY AT LEAST THE MINIMUM AMOUNT OF THE SPECIFIED AND COMMERCIALLY REASONABLE STATUTORY WORKER'S COMPENSATION INSURANCE. EMPLOYER'S LIABILITY INSURANCE AND COMMERCIAL GENERAL LIABILITY INSURANCE (CGL) INCLUDING ALSO ALL D TO NAME BOHLER , ESENT AND FUTURE DWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFEILIATES SUBSIDIARIES AND RELATED ENTITIES AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSUBEDS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE (DEFEND, JE APPLICABLE) AND HOLD HARMLESS AND INDEMNITY OBLIGATIONS. ASSUMED AND AGREED TO BY THE CONTRACTOR HEREIN, ALL CONTRACTORS MUST FURNISH BOHLER WITH CERTIFICATIONS OF INSURANCE OR CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE COVERAGES PRIOR TO COMMENCING ANY WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR TWO YEARS AFTER THE COMPLETION OF CONSTRUCTION AND AFTER ALL PERMITS ARE ISSUED, WHICHEVER DATE IS LATER. IN ADDITION, ALL CONTRACTORS AGREE THAT THEY WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW INDEMNIEY DEFEND AND HOLD HARMLESS BOHLER AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS PARTNERS SHAREHOLDERS MEMBERS PRINCIPALS COMMISSIONERS AGENTS SERVANTS EMPLOYEES AFEILIATES SUBSIDIARIES AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR(S), ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. THE CONTRACTOR MUST NOTIFY ENGINEER. IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION. SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS IN SCOPE AND REVISIONS THAT RESULT FROM SAME. THE CONTRACTOR IS FULLY AND SOLELY
- RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER, NOR THE PRESENCE OF BOHLER AND/OR ITS PAST, PRESENT AND FUTURE OWNERS. OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE (HEREIN "BOHLER PARTIES"), RELIEVES OR WILL RELIEVE THE CONTRACTOR OF AND FROM CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ALL HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER PARTIES HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER (OR ANY RESPONSIBILITY FOR) ANY CONSTRUCTION. THE CONTRACTOR OR ITS EMPLOYEES RELATING TO THEIR WORK AND ANY AND ALL HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR MUST INDEMNIFY DEFEND, PROTECT AND HOLD HARMLESS BOHLER PARTIES FOR AND FROM ANY LIABILITY TO BOHLER PARTIES RESULTING FROM THE CONTRACTOR'S WORK. SERVICES AND/OR VIOLATIONS OF THIS NOTE. THESE NOTES OR ANY NOTES IN THE PLAN SET AND, FURTHER, THE CONTRACTOR MUST NAME BOHLER AS AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE
- AS DESCRIBED ABOVE WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN BOHLER'S SCOPE OF SERVICES CONTRACT WITH THE OWNER/DEVELOPER. BOHLER WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS. SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF EVALUATING CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND METHODS AND/OF TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME, BOHLER WILL PERFORM ITS SHOP DRAWING REVIEW WITH REASONABLE PROMPTNESS AS CONDITIONS PERMIT, ANY DOCUMENT, DOCUMENTING BOHLER'S REVIEW OF A SPECIFIC ITEM OR LIMITED SCOPE, MUST NOT INDICATE THAT BOHLER HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT, BOHLER IS NOT
- RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR MUST, IN WRITING, PROMPTLY AND IMMEDIATELY BRING ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS TO BOHLER'S ATTENTION. BOHLER IS NOT REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED. 5. IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER OF RECORD AND BOHLER FOR ALL DEVIATIONS WITHIN ENGINEER'S SCOPE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK PERFORMED WHICH DEVIATES FROM THE PLANS. ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING HEREFROM AND, FURTHER, MUST DEFEND, INDEMNIFY, PROTECT, AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER PARTIES TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, CLAIMS, INJURIES,
- PENALTIES AND THE LIKE RELATED TO SAME. THE CONTRACTOR IS RESPONSIBLE FOR A MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND FLEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS, FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE AND IS THE CONTRACTOR'S SOLE RESPONSIBILITY OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS N STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN; AND, FURTHER, THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS. OWNER AGREES TO INDEMNIEY AND HOLD THE ENGINEER OF RECORD AND BOHLER PARTIES. HARMLESS FOR ALL INJURIES. DAMAGES AND COSTS THAT ENGINEER OF RECORD AND BOHLER INCUR AS A RESULT OF SAID FAILURE OR FAILURE TO PRESERVE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL RULES AND REGULATIONS, LAWS, ORDINANCES, AND CODES, AND ALL APPLICABLE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.) AS AMENDED, AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME THE CONTRACTOR MUST STRICTLY COMPLY WITH THE LATEST AND CURRENT OSHA STANDARDS AND REGULATIONS. AND/OR ANY OTHER AGENCY WITH JURISDICTION OVER EXCAVATION AND TRENCHING PROCEDURES. ENGINEER OF RECORD AND BOHLER HAS NO RESPONSIBILITY FOR OR AS
- RELATED TO EXCAVATION AND TRENCHING PROCEDURES AND WORK. THE CONTRACTOR AND THE OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF THE CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY, INDEPENDENTLY, SEPARATELY, COLLECTIVELY, AND SEVERALLY INDEMNIFY, DEFEND, PROTECT AND HOLD ENGINEER OF RECORD AND BOHLER PARTIES HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE
- ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY FOR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY CONSTRUCTION ACTIVITIES (UNLESS THE LOCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD). THE CONTRACTOR MUST ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF ALL SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES. AS APPROPRIATE AND FURTHER. THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR FAILING TO DO SO. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED DOCUMENTS PREPARED BY THE ENGINEER OF RECORD AND BOHLER, THE USE OF THE WORDS 'CERTIFY' OR 'CERTIFICATION' CONSTITUTE(S) AN EXPRESSION ONLY OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS
- THE SUBJECT OF THE ENGINEER OF RECORD'S AND BOHLER KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON AND ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE. AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY NATURE OR TYPE. EITHER EXPRESSED OR IMPLIED. UNDER ANY CIRCUMSTANCES

## (Rev. 2/2021) MUST OBTAIN ALL APPLICABLE PERMITS FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY(IES) PRIOR TO THE

PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL

RESTORATION OF ALL ITEMS AND FEATURES REPAIRED TO THEIR PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR MUST

MUST SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF

AND BY BOHLER, IN WRITING. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF

AND SERVICES HAVE BEEN TERMINATED, REMOVED AND/OR ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT. SITE WORK, AND DEMOLITION WORK B. NOTIFY, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION JURISDICTION, AT C. INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE, AND MAINTAIN

E. LOCATE AND PROTECT ALL UTILITIES AND SERVICES. INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER. TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC, WITHIN AND ADJACENT TO THE LIMITS OF PROJECT

PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ANY PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS REGARDING THE METHODS AND MEANS TO CONSTRUCT SAME. THESE ARE NOT THE ENGINEER OF RECORD'S RESPONSIBILITY. IN THE EVENT

HOURS OR ON WEEKENDS AS NECESSARY OR AS REQUIRED TO MINIMIZE THE IMPACT ON. OF, AND TO THE AFFECTED PARTIES. WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. THE PROJECT PLANS AND SPECIFICATIONS OR THE CONTRACT WITH THE OWNER/DEVELOPER, THE CONTRACTOR MUST

THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR PURSUANT TO THE WRITTEN DIRECTION OF THE OWNER'S

DEMOLITION ACTIVITIES. THE CONTRACTOR MUST ENSURE AND OVERSEE THE INSTALLATION OF ALL OF THE REQUIRED PERMIT.

(Rev. 1/2020)

ALL ACCESSIBLE (A K A ADA) COMPONENTS AND ACCESSIBLE BOUTES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE

#### SITE LAYOUT NOTES

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY, THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND

ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT OF WAY 3. ALL DIRECTIONAL/TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS. GUIDELINES, RULES, REGULATIONS, STANDARDS AND THE LIKE.

THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THEIR LOCATION. THE CONTRACTOR MUST COORDINATE THE RELOCATION OF TRAFFIC SIGNS WITH THE ENTITY WITH JURISDICTION OVER THE PROJECT ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT

ACCORDANCE WITH THE DETAILS UNLESS NOTED CLEARLY OTHERWISE WHEN APPLICABLE, OWNER/ OPERATOR MUST FILE THE NOI FOR NPDES PERMITS AT APPROPRIATE AND/OR REQUIRED TIMEFRAMES BASED UPON THE DESIRED START OF CONSTRUCTION. LAND DISTURBING ACTIVITIES MUST NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED FROM GOVERNING AUTHORITIES (INCLUDING STORMWATER POLLUTION PREVENTION PLAN, PER NJDEP REQUIREMENTS). THE CONTRACTOR MUST STRICTLY ADHERE TO THE APPROVED SWPPP PLAN DURING CONSTRUCTION OPERATIONS (IF PROVIDED). ALL WEATHERED CONCRETE MUST BE AIR ENTRAINED AND INCLUDE THE MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28

DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT THE CONTRACTOR MUST REPAIR OR REPLACE, AT THE CONTRACTOR'S SOLE COST AND EXPENSE, ALL SIDEWALKS, CURBS, AND PAVEMENT DAMAGED BY CONSTRUCTION ACTIVITIES WHETHER SPECIFIED ON THIS PLAN OR NOT

#### **GRADING NOTES**

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT. DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY, THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS
- SET FORTH IN THE GEOTECHNICAL REPORT AS REFERENCED IN THIS PLAN SET. IF NO GEOTECHNICAL REPORT HAS BEEN REFERENCED. THE CONTRACTOR MUST HAVE A GEOTECHNICAL ENGINEER PROVIDE WRITTEN SPECIFICATIONS AND RECOMMENDATIONS PRIOR TO THE CONTRACTOR COMMENCING THE GRADING WORK. THE CONTRACTOR MUST FOULOW THE REQUIREMENTS OF ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS, WHICH HAVE JURISDICTION OVER THIS PROJECT
- THE CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. THE CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO THE ENGINEER OF RECORD AND THE OWNER PRIOR TO THE CONTRACTOR COMMENCING ANY WORK. 4 THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT
- ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. SHOULD DISCREPANCIES BETWEEN THE PLANS AND INFORMATION OBTAINED THROUGH FIELD VERIFICATIONS BE IDENTIFIED OR EXIST, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD. IN WRITING. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING ALL UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR MUST COMPACT ALL EXCAVATED OR FILLED AREAS IN STRICT
- ACCORDANCE WITH THE GEOTECHNICAL REPORT'S GUIDANCE. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER. REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED. THIS REPORT MUST VERIFY THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES WHICH ARE IN EFFECT AND WHICH ARE APPLICABLE TO THE PROJECT, SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER LINSUITABLE MATERIALS, SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER. OR OWNER/DEVELOPER'S REPRESENTATIVE. SUBBASE MUST BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL, COMPACTED AS THE GEOTECHNICAL REPORT DIRECTS. EARTHWORK
- ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO. 6. IN THE EVENT OF A DISCREPANCY(IES) AND/OR A CONFLICT(S) BETWEEN PLANS. OR RELATIVE TO OTHER PLANS. THE GRADING
- PLAN TAKES PRECEDENCE AND CONTROLS. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCY(IES) AND/OR CONFLICT(S) THE CONTRACTOR IS RESPONSIBLE TO IMPORT FILL OR EXPORT EXCESS MATERIAL AS NECESSARY TO CONFORM TO THE PROPOSED GRADING, AND TO BACKFILL EXCAVATIONS FOR THE INSTALLATION OF UNDERGROUND IMPROVEMENTS. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE PAVEMENT GRADE UNLESS OTHERWISE NOTED. IT IS THE
- CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE ENGINEER OF RECORD APPROVES FINAL CURBING CUT SHEETS PRIOR D INSTALLING CURBING THE CONTRACTOR MUST CONFIRM AND ENSURE THAT AS CONSTRUCTED IMPROVEMENTS CREATE THE FOLLOWING MINIMUM SLOPES (EXCEPT WHERE ADA REQUIREMENTS LIMIT THEM): 1.0% ON ALL CONCRETE SURFACES, 1.5% ON ASPHALT SURFACES, 2% IN LANDSCAPED AREAS AND 0.75% SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS TO PROVIDE POSITIVE DRAINAGE WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON THE PLANS. TOP AND BOTTOM OF WALL ELEVATIONS (TW & BW) REPRESENT THE PROPOSED FINISHED GRADE AT THE FACE OF WALL AND
- DO NOT REPRESENT THE ELEVATION OF THE PROPOSED WALL (INCLUDING THE CAP UNIT OR FOOTING). WALL FOOTINGS/FOUNDATION ELEVATIONS WHICH ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR, MUST BE DETERMINED AND SET BASED UPON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS. THE CONTRACTOR MUST ENSURE THAT LICENSED STRUCTURAL ENGINEER DESIGNS ALL WALLS SHOWN HEREON AND THAT PRIOR TO CONSTRUCTION. THE MUNICIPALITY APPROVES ALL SIGNED AND SEALED SHOP DRAWINGS. FURTHER, THE CONTRACTOR MUST ENSURE THAT
- FENCING, GUIDERAIL, UTILITIES, AND OTHER SITE AMENITIES IN THE VICINITY OF THE RETAINING WALL(S), PROPOSED SCHEMATICALLY IN THESE PLANS, ARE MATERIALLY CONSIDERED AND INCORPORATED INTO THE RETAINING WALL DESIGN (BY THE CONTRACTOR MUST ENSURE THAT THERE ARE NO UTILITIES INSTALLED ON THE PASSIVE SIDE OF THE RETAINING WALL. NO EXCAVATION MAY BE PERFORMED ON THE PASSIVE SIDE OF THE RETAINING WALL WITHOUT APPROPRIATELY AND SAFELY SUPPORTING THE WALL IN ACCORDANCE WITH THE STANDARD OF CARE AND ALL APPLICABLE RULES, REGULATIONS, CODES,

### LIGHTING NOTES

ORDINANCES, LAWS AND STATUTES.

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS THE GENERAL NOTES ARE REFERENCED HEREIN AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. THE LIGHTING CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND
- GOVERNMENTAL REGULATIONS. 3 THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED II LUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER, ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES
- AND OTHER RELATED VARIABLE FIELD CONDITIONS. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDLES (FC). THE LUMINAIRES LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION. PROPERLY, THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND RE-LAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS, FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN
- IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNER'S. THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES. POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S. MECHANICAL ENGINEER'S AND/OR LIGHTING CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE LIGHTING CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND
- LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES. THE CONTRACTOR MUST BRING IMMEDIATELY. IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE. UTILITIES OR OTHER STRUCTURE(S) TO THE ENGINEER OF RECORD'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.
- THE ACTUAL LIGHTING LEVELS MUST BE VERIFIED IN THE FIELD AND FIXTURES ADJUSTED ACCORDINGLY, BY THE CONTRACTOR, TO ACHIEVE THE APPROVED LIGHT LEVELS. 10. ILLUMINATION LEVELS SHOWN ON THE PLAN HAVE BEEN CALCULATED FOR PROPOSED LIGHTS ONLY. ACTUAL ILLUMINATION LEVELS IN THE FIELD MAY DIFFER FROM THOSE DEPICTED ON THE PLAN DUE TO INTERFERENCE FROM EXISTING/AMBIENT
- LIGHTS WHOSE ILLUMINATION LEVELS ARE NOT REFLECTED ON THIS PLAN. NEW JERSEY ATM LIGHTING NOTE: BASED ON THE REGULATORY LIGHTING LEVELS INTENDED BY PUBLISHED STANDARDS FOR BANK ATM'S (N.J.S.A. 17:16K-10), A MINIMUM OF 10 FOOT-CANDLES AT 3 FEET ABOVE GRADE MUST BE PROVIDED AT THE FACE OF AN UNENCLOSED ATM AND EXTENDING IN AN UNOBSTRUCTED DIRECTION OUTWARD 5 FEET, A MINIMUM OF 2 FOOT-CANDLES AT 3 FEET ABOVE GRADE MUST BE PROVIDED WITHIN 50 FEET IN ALL UNOBSTRUCTED DIRECTIONS FROM THE FACE OF THE ATM OR THE ENTRANCE OF AN ATM FACILITY. IN THE EVENT ANY SUCH ATM OR ATM FACILITY IS LOCATED WITHIN 10 FEET OF THE CORNER OF THE BUILDING IN WHICH IT IS LOCATED AND THE ATM OR ATM FACILITY IS GENERALLY ACCESSIBLE FROM THE ADJACENT SIDE OF SUCH BUILDING,
- THERE MUST BE A MINIMUM OF 2 FOOT-CANDLES AT 3 FEET ABOVE GRADE ALONG THE FIRST 40 UNOBSTRUCTED FEET OF THE ADJACENT SIDE OF THE BUILDING, MEASURED FROM THE CORNER, A MINIMUM OF 2 FOOT-CANDLES AT 3 FEET ABOVE GRADE MUST BE PROVIDED IN THAT PORTION OF THE DEFINED PARKING AREA WITHIN 60 FEET OF AN ATM OR THE ENTRANCE TO AN ATM FACILITY 14. ILLUMINATION LEVELS SHOWN ON THE PLAN WERE CALCULATED WITH LIGHTING DESIGN SOFTWARE AGI32 BY LIGHTING ANALYST

#### WATER SERVICE NOTE

CONTRACTOR TO LOCATE AND UTILIZE EXISTING WATER SERVICE. CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING WATER ERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE W/ LOCAL WATER COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY LOCAL WATER COMPANY PRIOR TO COMPLETION. IF EXISTING WATER SERVICE CAN NOT BE UTILIZED THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION W/ WATER COMPANY, CONTRACTOR, MUST OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

### **BIORETENTION BASIN PERMEABILITY TESTING REQUIREMENTS** (Rev.

AFTER THE BIORETENTION BASIN SUBGRADE HAS BEEN ESTABLISHED AND AFTER THE FINISHED GRADE HAS BEEN ESTABLISHED IN THE BIORETENTION BASIN POST- CONSTRUCTION FIELD PERMEABILITY TESTS SHALL BE CONDUCTED. THE FIELD PERMEABILITY TESTS SHALL BE CONDUCTED ACCORDING TO THE METHODOLOGIES PROVIDED IN THIS NOTE. PERMEABILITY TESTS SHALL BE CONDUCTED BY THE GEOTECHNICAL ENGINEER OF RECORD OR HIS REPRESENTATIVE WITHIN THE FOOTPRINT OF THE PROPOSED INFILTRATION/ DETENTION BASIN TO DETERMINE THE SUITABILITY OF THE IN-PLACE SOIL AT THE SITE. SOIL PERMEABILITY TESTS SHALL BE CONDUCTED ON THE SUBSTRATUM TO BE LEFT IN PLACE BELOW THE BASIN WITHIN TWO FEET OF THE LOWES ELEVATION OF THE BASIN BOTTOM. WHERE SOIL REPLACEMENT IS PROPOSED. THE PERMEABILITY TESTS SHALL BE CONDUCTED WITHIN THE SOIL IMMEDIATELY BELOW THE DEPTH OF PROPOSED SOIL REPLACEMENT LAYER.

PRESCRIBED IN N. J.A.C. 7:9A-6.2 (TUBE PERMEAMETER TEST), 6.5 (PIT BAILING TEST) OR 6.6 (PIEZOMETER TEST). WHEN THE TUBE PERMEAMETER TEST IS USED, A MINIMUM OF TWO REPLICATE SAMPLES SHALL BE TAKEN AND TESTED. ALTERNATIVE PERMEABILITY TEST PROCEDURES MAY BE ACCEPTED BY THE APPROVING AUTHORITY PROVIDED THE TEST PROCEDURE ATTAINS SATURATION OF SURROLINDING SOILS, ACCOUNTS FOR HYDRAULIC HEAD FEFECTS ON INFILTRATION RATES. PROVIDES A PERMEABILITY RATE WITH UNITS EXPRESSED IN INCHES PER HOUR AND IS ACCOMPANIED BY A PUBLISHED SOURCE REFERENCE. EXAMPLES OF SUITABLE SOURCES INCLUDE HYDROGEOLOGY, GEOTECHNICAL OR ENGINEERING TEXT AND DESIGN MANUALS, PROCEEDINGS OF AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) SYMPOSIA, OR PEER-REVIEW JOURNALS. NEITHER A SOIL PERMEABILITY CLASS RATING TEST, AS DESCRIBED IN N.J.A.C. 7:9A-6.3 NOR A PERCOLATION TEST, AS DESCRIBED IN N.J.A.C. 7:9A-6.4, ARE ACCEPTABLE TESTS FOR ESTABLISHING PERMEABILITY VALUES FOR THE PURPOSE OF COMPLYING WITH THIS NOTE.

A MINIMUM OF TWO (2) PERMEABILITY TESTS SHALL BE PERFORMED, AND THE SOIL PERMEABILITY RATE SHALL BE DETERMINED USING TEST METHODOLOGY AS

IF THE AVERAGE TEST RESULTS OF THE POST-DEVELOPMENT FIELD PERMEABILITY TESTS FAIL TO ACHIEVE THE MINIMUM REQUIRED DESIGN PERMEABILITY RATES, THE STORMWATER BIORETENTION BASIN BOTTOM SOILS SHALL BE RENOVATED BY THE CONTRACTOR BY THE GEOTECHNICAL ENGINEER OF RECORD AND RE-TESTED UNTIL SUCH MINIMUM REQUIRED DESIGN PERMEABILITY RATES ARE ACHIEVED.

#### DRAINAGE AND UTILITY NOTES

WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE, AND THE CONTRACTOR MUST INDEPENDENTLY ERIFY AND CONFIRM THOSE LOCATIONS AND SERVICES WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCING AN

(Rev. 1/2020)

(Rev. 2/2021)

(Rev. 1/2020)

(Rev. 1/2020)

- STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF SAME BASED UPON FINAL ARCHITECTURAL PLANS.
- CONSTRUCTION, MUST RESOLVE SAME.

- AGENCY WITH JURISDICTION OVER SAME RESPECTIVE UTILITY COMPANY, REGARDLESS OF WHAT THIS PLAN DEPICTS. TO COMMENCING CONSTRUCTION.
- STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. 13. THE CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE
- UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE.
- SUPPORT FOR THE SEWER MUST BE PROVIDED. EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO STORM, SANITARY, UTILITIES, AND IRRIGATION LINES, TO A POINT AT LEAST
- OF WORK MANHOLES STRUCTURE TO CENTER OF STRUCTURE.
- CONTRACTOR'S SOLE COST AND EXPENSE
- . SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS
- SILT/SOIL TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM ASTM F477
- 1. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL EFFECT AT THE TIME OF APPLICATION 22. GAS METERS MUST BE PROTECTED BY BOLLARDS AND FENCES IF INSTALLED WITHIN THE EXTERIOR OF THE BUILDING AS REQUIRED BY THE JURISDICTIONAL GAS PURVEYOR

### REFERENCES

- REFERENCES ALTA/NSPS LAND TITLE SURVEY: CONTROL POINT ASSOCIATES, INC 30 INDEPENDENCE BLVD SUITE 100
- WARREN, NJ 07059 DATED: 05/04/2021 (REV. 3) JOB # 01-200146-00 ELEVATIONS: NAVD 1988 N.J.D.O.T. LOCATION PLAN: CONTROL POINT ASSOCIATES, INC
- 30 INDEPENDENCE BLVD., SUITE 100 WARREN, NJ 07059 DATED: 12/18/202 JOB # 01-200146-00 PRELIMINARY GEOTECHNICAL
- **INVESTIGATION REPORT & STORMWATER** AREA EVALUATION: WHITESTONE ASSOCIATES, INC. 30 INDEPENDENCE BLVD., SUITE 250 WARREN, NJ 07059 DATED: 06/09/2021
- ◆TRAFFIC IMPACT STATEMENT: DOLAN & DEAN CONSULTING ENGINEERS, LLC 181 WEST HIGH STREET SOMERVILLE, NJ 08876 DATED: 08/06/2021
- ARCHITECTURAL PLAN: ENVIRONETICS GROUP ARCHITECTS, P.C. 180 SYLVAN AVENUE, SUITE 3 ENGLEWOOD CLIFFS, NJ 07632 DATED: 11/12/2021
- STORMWATER MANAGEMENT REPORT: BOHLER ENGINEERING NJ, LLC 30 INDEPENDENCE BLVD., SUITE 200 WARREN, NJ 07059 DATED: AUGUST 2021, LAST REVISED NOVEMBER 2021
- OPERATION & MAINTENANCE MANUAL: BOHLER ENGINEERING NJ. LLC 30 INDEPENDENCE BLVD.. SUITE 200 WARREN, NJ 07059 DATED: AUGUST 2021

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER. BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS, THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY

(Rev. 2/2021)

CONSTRUCTION OR EXCAVATION. THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM ALL SANITARY CONNECTION POINTS AND ALL OTHER UTILITY SERVICE CONNECTION POINTS IN THE FIELD. PRIOR TO COMMENCING ANY CONSTRUCTION. THE CONTRACTOR MUST REPORT ALL DISCREPANCIES. ERRORS AND OMISSIONS IN WRITING. TO THE ENGINEER OF RECORD. THE CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING. BUT NOT LIMITED O, GAS, WATER, ELECTRIC, SANITARY AND STORM, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL OF THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES WHICH OCCUR DURING CONSTRUCTION, AT NO COST TO THE OWNER AND AT CONTRACTOR'S SOLE COST AND EXPENSE. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES WHICH OCCURS DURING CONSTRUCTION THE CONTRACTOR MUST FIELD VERIFY THE PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO CONFIRM EXACT DEPTH, PRIOR TO COMMENCEMENT OF CONSTRUCTION.

THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING SITE PLAN DOCUMENTS AND ARCHITECTURAL PLANS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS: GREASE TRAP REQUIREMENTS: AND DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITY SERVICES WITH THE INDIVIDUAL COMPANIES TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS OF THE APPLICABLE JURISDICTION AND REGULATORY AGENCIES AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE DOCUMENTS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, AND PRIOR TO

ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE EXACTLY AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND THE CONTRACTOR MUST COORDINATE SAME WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS FILL AND COMPACTION MUST COMPLY WITH APPLICABLE REQUIREMENTS AND SPECIFICATIONS. ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR DESIGN OF TRENCH BACKFILL OR FOR COMPACTION REQUIREMENTS DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE. IN ANY RESPECT. FROM THE INFORMATION CONTAINED IN THESE PLANS, THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE APPROPRIATE PLAN(S). WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION OF WORK. THE CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SANITARY WATER AND STORM SYSTEMS, ARE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND OR STATE DOT DETAILS AS APPLICABLE. THE CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE 10. FINAL LOCATIONS OF PROPOSED UTILITY POLES, AND/ OR POLES TO BE RELOCATED ARE AT THE SOLE DISCRETION OF THE

WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY THE CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR 12 THE TOPS OF EXISTING MANHOLES. INLET STRUCTURES AND SANITARY CLEANOUT MUST BE ADJUSTED AS NECESSARY. TO MATCH PROPOSED FINISHED GRADES WITH NO TRIPPING OR SAFETY HAZARD IN ACCORDANCE WITH ALL APPLICABLE

14. SEWERS CONVEYING SANITARY FLOW, COMBINED SANITARY AND STORMWATER FLOW, OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE. THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENTAL AGENCY WITH JURISDICTION OVER SAME. WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL 5. WHEN THESE PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST

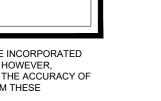
FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. THE CONTRACTOR MUST CAP ENDS AS APPROPRIATE MARK LOCATIONS WITH A 2X4 STAKE, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE PLAN, WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION 16. STORM AND SANITARY PIPE LENGTHS INDICATED ARE NOMINAL AND ARE MEASURED FROM CENTER OF INLET AND/OR

THE CONTRACTOR MUST NOTIFY, IN WRITING, THE TOWNSHIP ENGINEER AT LEAST THREE (3) BUSINESS DAYS PRIOR TO INSTALLATION OF SANITARY COMPONENTS. FAILURE TO HAVE SANITARY INSTALLATION AND TESTING OBSERVED BY THE DESIGNATED ENGINEER MAY REQUIRE RE-EXCAVATION OF SANITARY LINE, AND RE-TESTING, WHICH WILL BE DONE AT THE

SO INDICATE, MUST BE CONSTRUCTED OF REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL. SANITARY PIPE MUST BE POLYVINYL CHLORIDE (PVC) SDR 35 EXCEPT WHERE CLEARLY INDICATED OTHERWISE FOR PIPES LESS THAN 12 FEET DEEP: POLYVINYL CHLORIDE (PVC) SDR 35 PER ASTM D3034. FOR PIPES GREATER THAN 12 FEET DEEP: POLYVINYL CHLORIDE (PVC) SDR 26 PER ASTM D3034. SANITARY LATERAL MUST BE PVC SCHEDULE 40 OR PVC SDR 26 UNLESS CLEARLY INDICATED OTHERWISE 19. UNLESS CLEARLY INDICATED OTHERWISE, ALL STORM PIPES MUST BE REINFORCED CONCRETE PIPES (RCP) CLASS III WITH

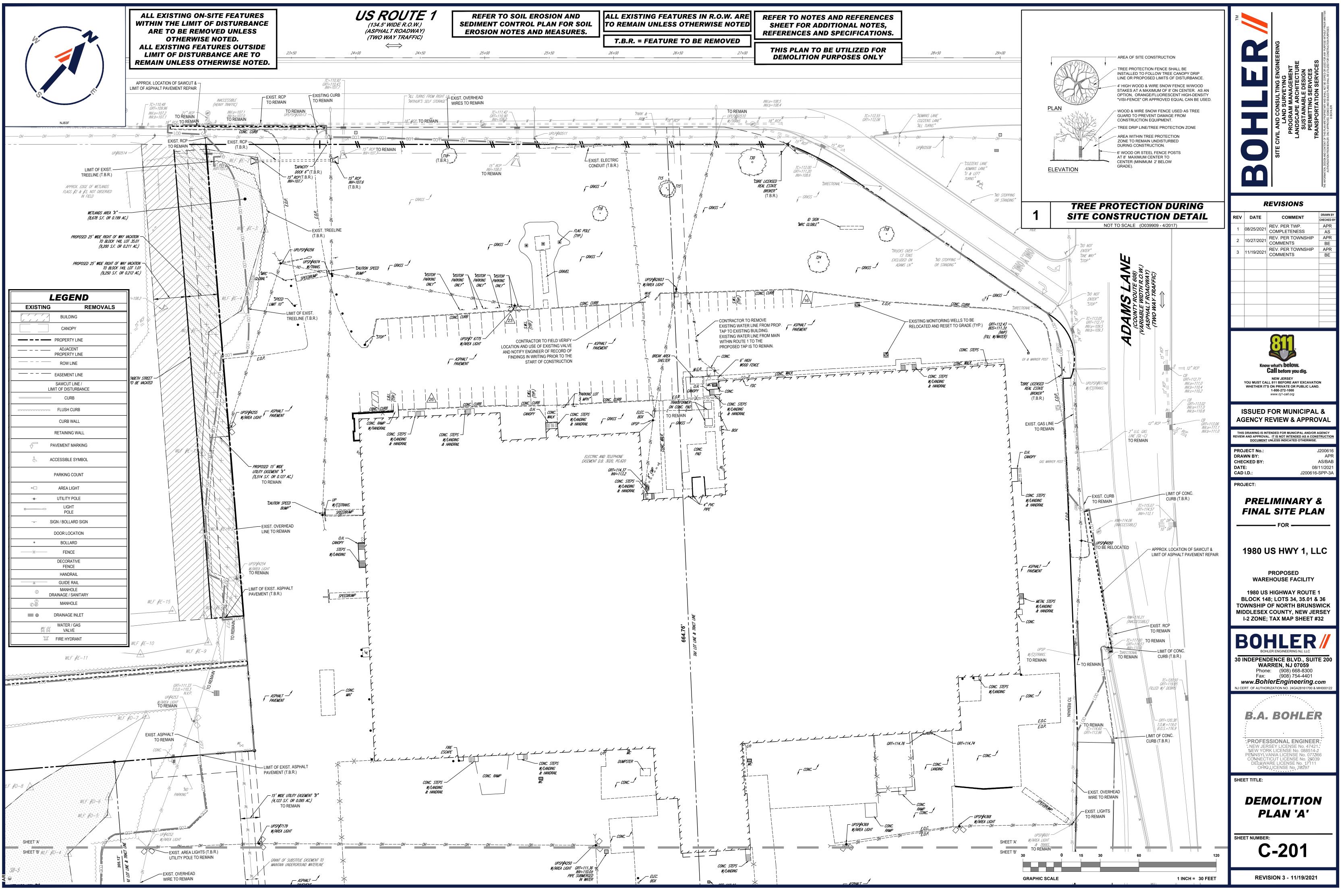
TO AASHTO M252 FOR PIPES 4" TO 10" AND TO AASHTO M294 FOR PIPES 12" TO 60" AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT/SOIL TIGHT JOINT. PIPE FOR ROOF DRAIN CONNECTION MUST BE HDPE SDR 26 OR PVC SCHEDULE 40 UNLESS INDICATED OTHERWISE. HDPE PIPE JOINT GASKETS MUST BE PROVIDED AND CONFORM TO

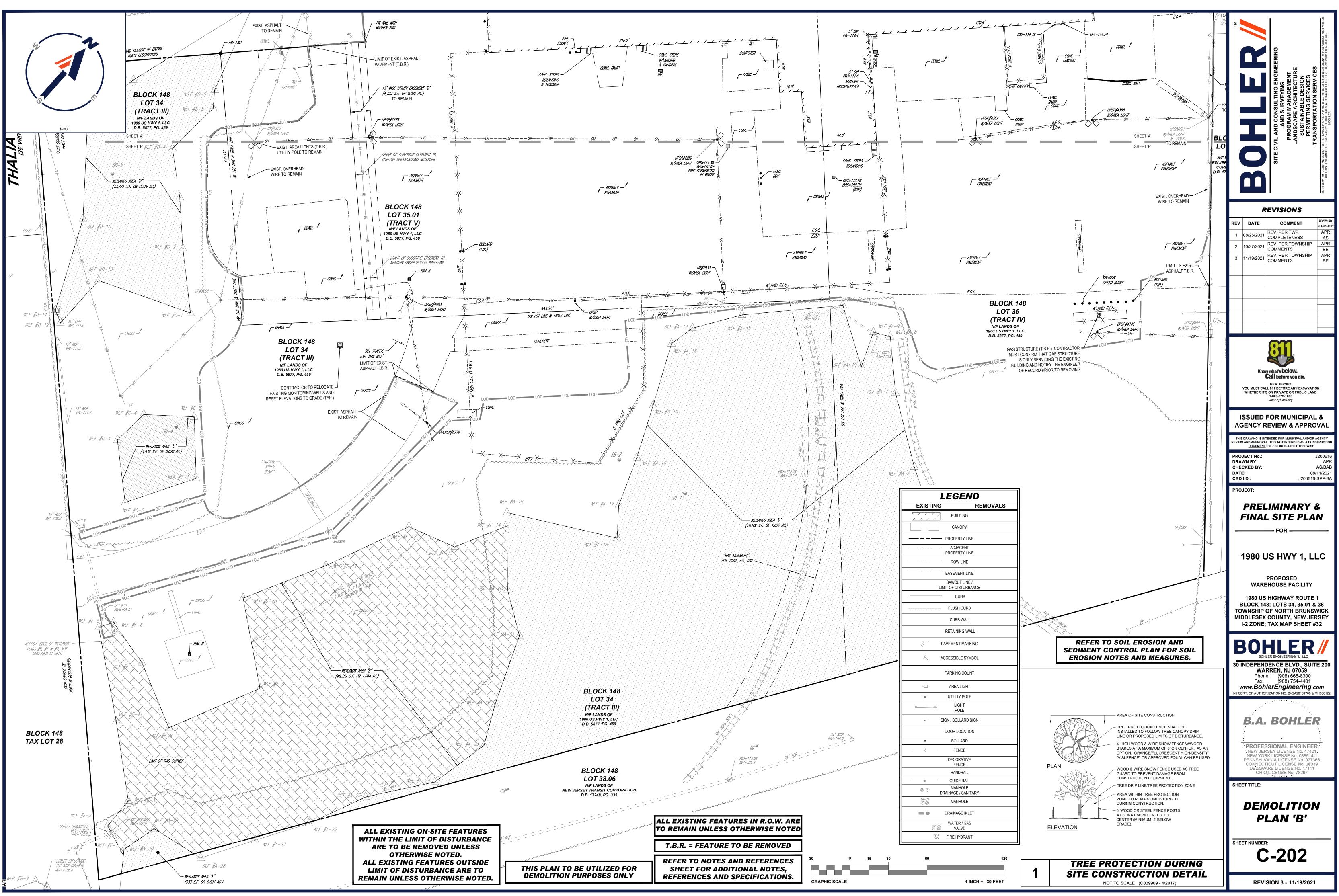
WATER COMPANY. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN



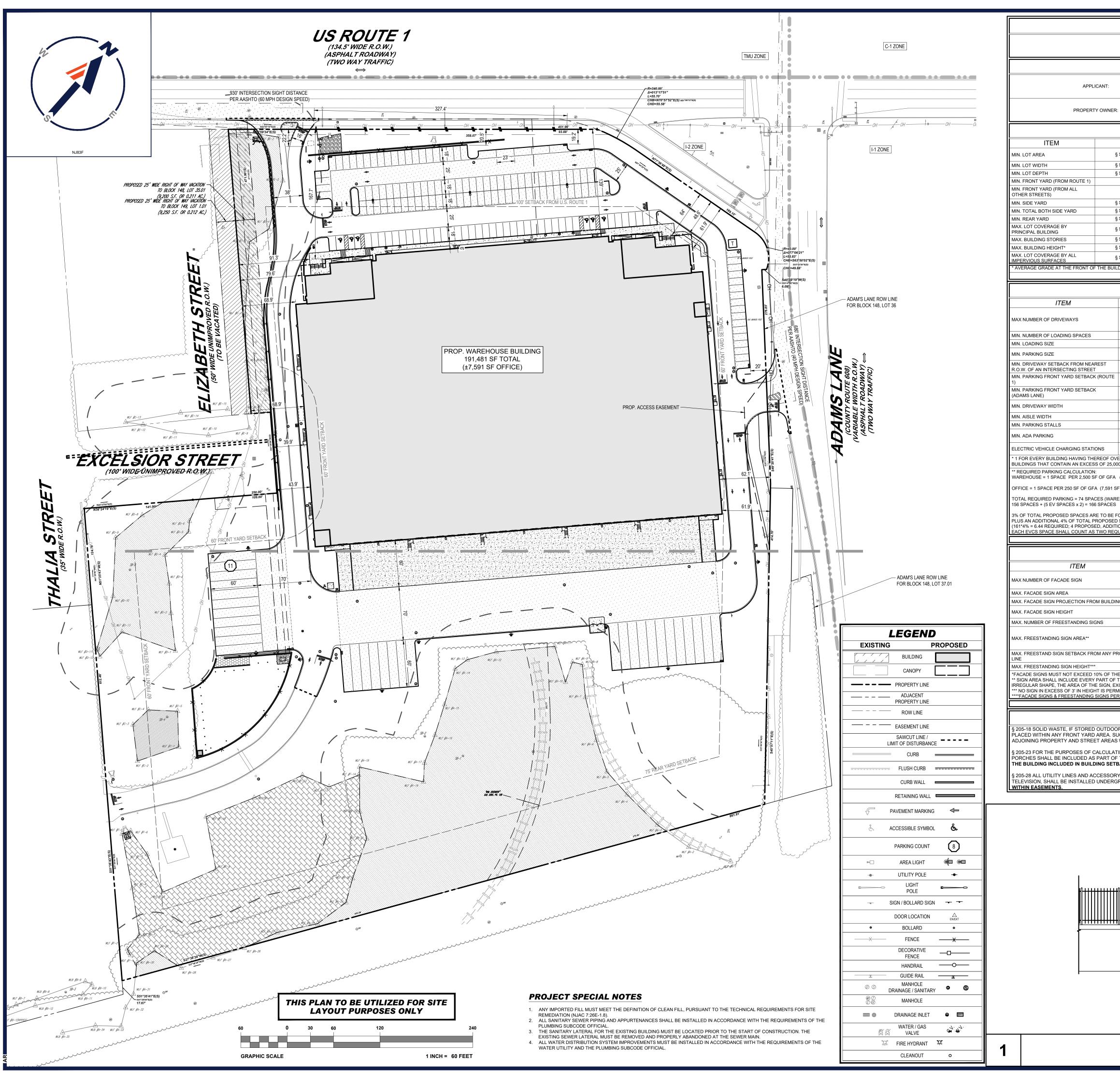
	MT		SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE	SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES	THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES © BOHLER.
		R	EVISION	S	22410121
	<b>REV</b>	<b>DATE</b> 08/25/2021	COMMEI REV. PER TWF	» <u> </u>	DRAWN BY CHECKED BY APR
	2	10/27/2021	COMPLETENE REV. PER TOW COMMENTS	SS VNSHIP	AS APR BE
	3	11/19/2021	REV. PER TOW COMMENTS	VNSHIP	APR BE
	<u> </u>				
		YOU MUST CA WHETHER IT	New Jersey New Jersey LL 811 BEFORE ANY S ON PRIVATE OR PR 1-800-272-1000 www.nj1-call.org	<b>dig.</b> EXCAVATIOI UBLIC LAND.	
			REVIEW & A		
		AND APPROVA	TENDED FOR MUNICIP I.L. <u>IT IS NOT INTENDE</u> UNLESS INDICATED C	D AS A CONST	
	DRA	JECT No.: WN BY:			200616 APR
	CHE DATI CAD				AS/BAB 1/2021 2DS-3A
	-	FINAI	LIMINA LSITE FOR JS HWY	PLAI	<b>v</b>
			PROPOSED		
			EHOUSE FAC		
	TO MI	BLOCK 14 WNSHIP DDLESEX	HIGHWAY F 8; LOTS 34, OF NORTH E COUNTY, N TAX MAP S	35.01 & BRUNSW EW JER	36 /ICK SEY
	<u>зо I</u> и	BOH NDEPENI WA Phon Fax: www. <b>Boh</b>	LER ENGINEERING N DENCE BLVD RREN, NJ 07 e: (908) 668 (908) 754 JerEnginee RIZATION NO. 24G2	NJ, LLC <b>D., SUITE</b> <b>059</b> 3-8300 1-4401 <b>Pring.co</b>	= 200 om
		B.A.	ВОН	LER	
		NEW JEF NEW YOF PENNSYL\ CONNEC DELAW	SSIONAL EN RSEY LICENSE IO RK LICENSE NO (ANIA LICENSE FICUT LICENSE N ARE LICENSE NO. 7	No. 47421 . 088514-1 No. 07736 No. 26039 Io. 17111	
	SHE	ET TITLE:			
_					

**REVISION 3 - 11/19/2021** 



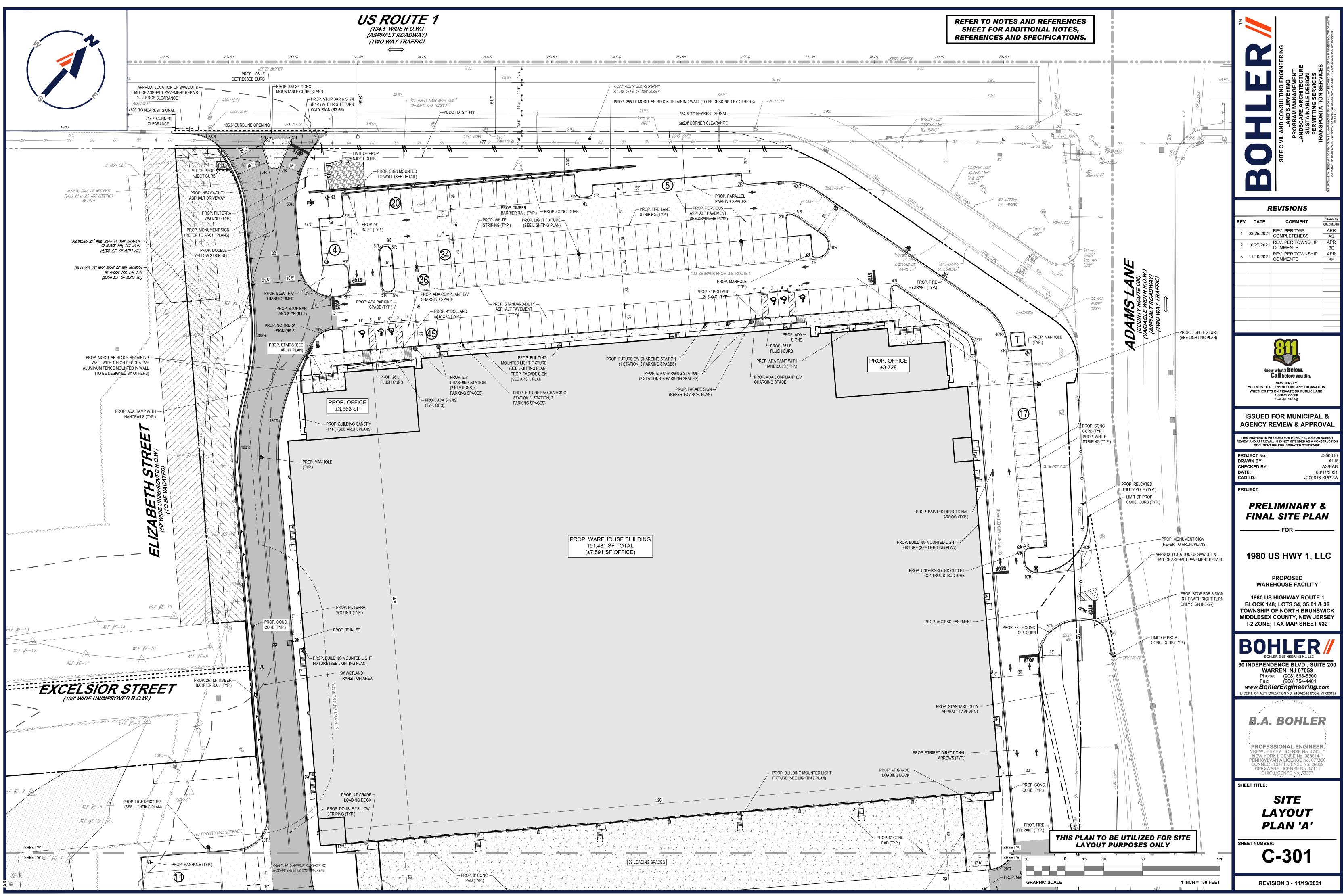


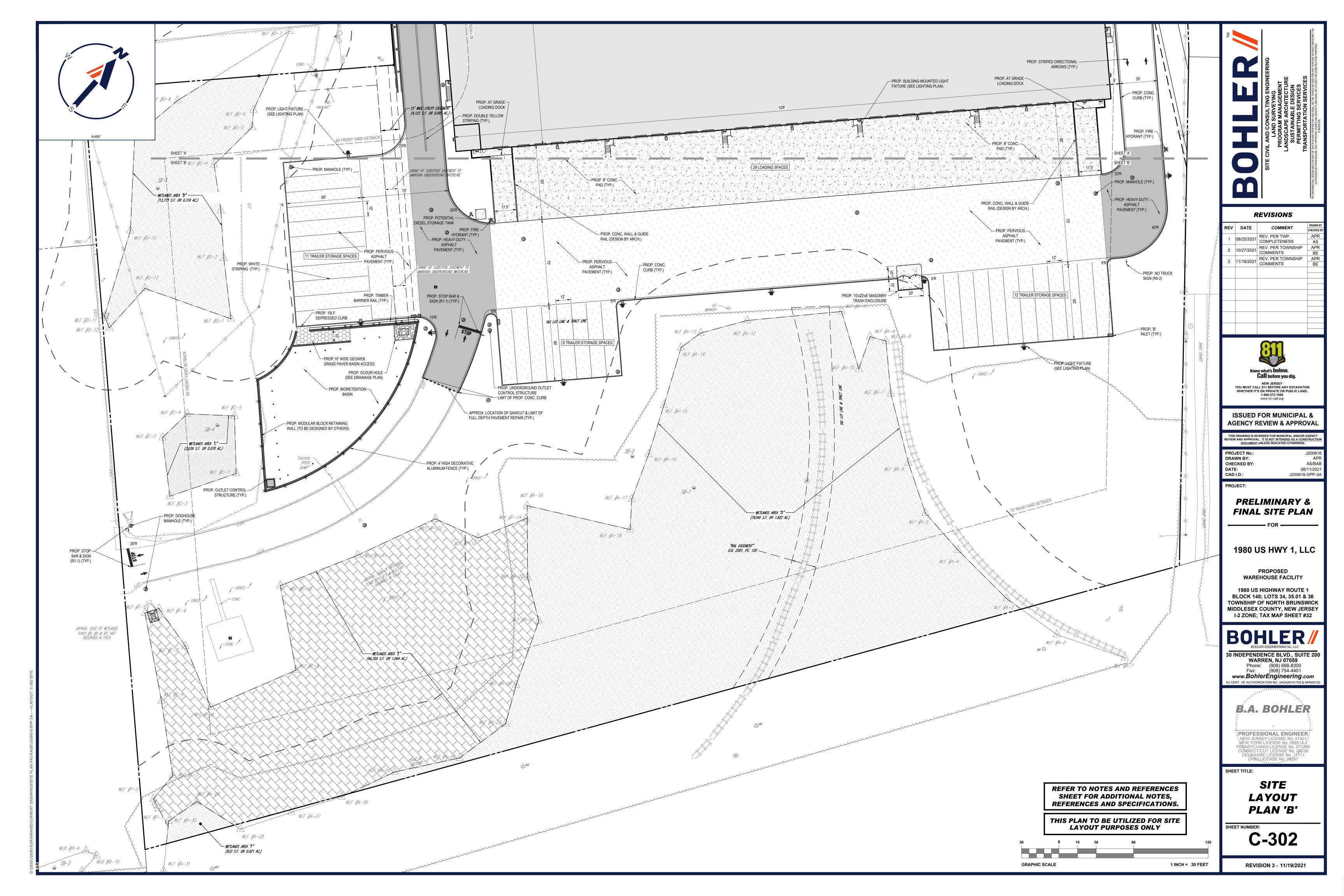
20\J200616\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\J200616-SPP-3A----->LAYOUT: C-202 D

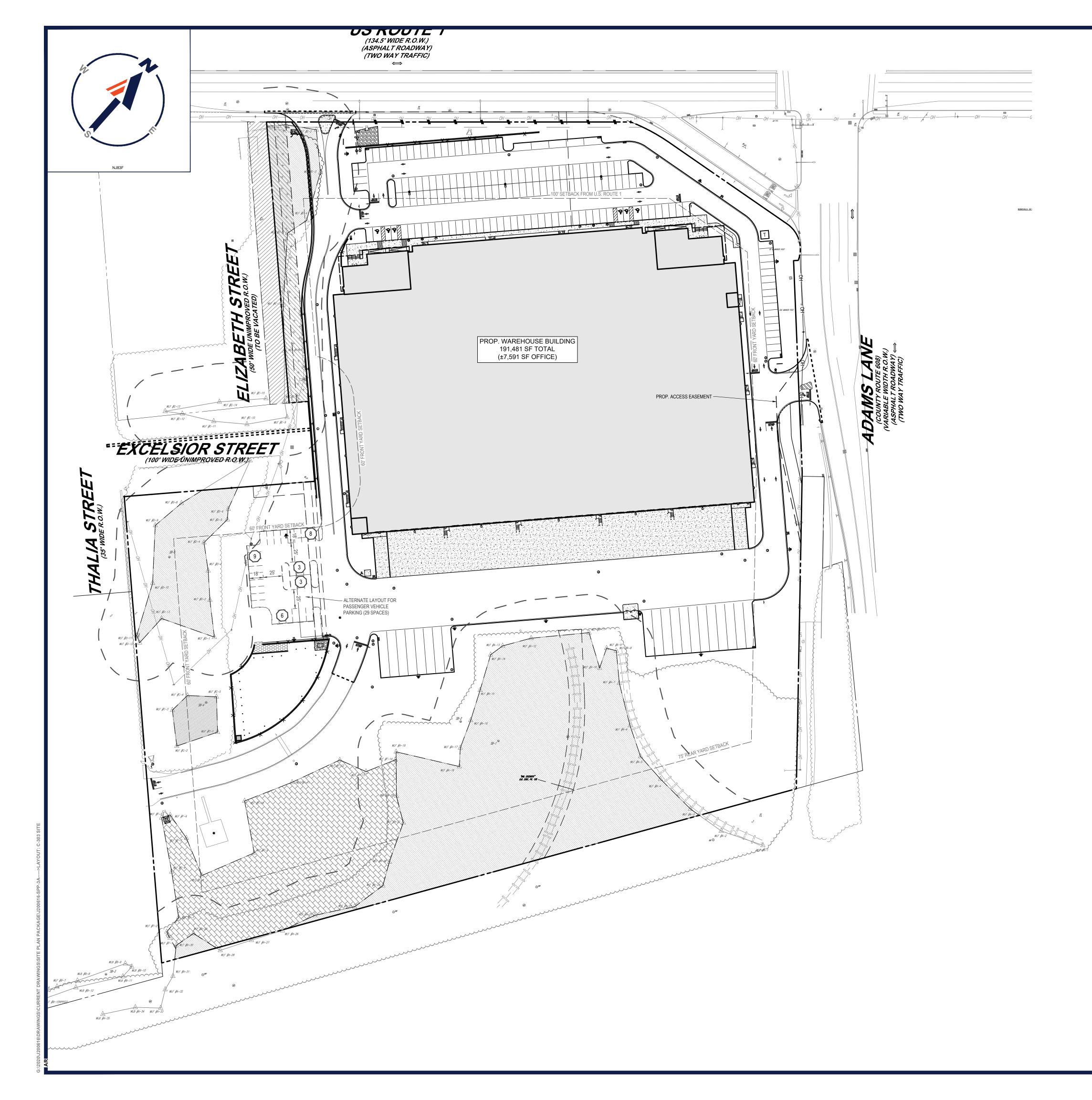


	ZONING TA	ABLE			IOR WRITTEN
OFF-STREET F	ZONE: I-2 ZONE USE: WAREHOUSE (PERMITTED F PARKING, LOADING, AND SIGNS P BLOCK: 148  LOT(S): 34, 3	ERMITTED ACCESSORY USES			E ARCHITECTURE ABLE DESIGN ING SERVICES ATION SERVICES RAND SHALL NOT EE UTILZE FOR CONSTRUCTION PURPOSES AND SHALL NOT EE UTILZE FOR CONSTRUCTION PURPOSES RAND SHALL NOT EE UTILZE FOR CONSTRUCTION PURPOSES R
APPLICA		INFORMATION			ANY PURPOSE
		1980 US HWY 1, LLC C/O: KEVIN STUE 801 GRAND AVENUE DES MOINES, IA 50392-1370	BBS, AIA		
ER:		(515) 235-1727 1980 US HWY 1, LLC C/O: KEVIN STUE 801 GRAND AVENUE	BBS, AIA		CHITECTURE CHITECTURE E DESIGN SERVICES ON SERVICES
		DES MOINES, IA 50392-1370 (515) 235-1727			ARCH ARCH ABLE I ABLE I VG SEI ATION D SEALED FLA
CODE	DLK REQUIRI	EXISTING	PROPOSED		
§ SCHEDULE TABLE 2 § SCHEDULE TABLE 2	3 AC. (130,680 SF)	16.895 AC. (735,942 SF)	17.11 AC. (745,142 SF)		
§ SCHEDULE TABLE 2 § SCHEDULE TABLE 2 § 205-75-A	350' 350' 100'	600.1' 994.3' 180.5'	625.2' 994.3' 139.0'		TT TA
§ 205-75-A	60'	42.4' (E)	39.9' (EXCELSIOR ST.) (V)		SSIGN AND CO
§ SCHEDULE TABLE 2 § SCHEDULE TABLE 2 § SCHEDULE TABLE 2	40' 80' 75'	N/A N/A 379.5'	61.9' N/A 379.1'		LANDSC LANDSC SUST PERV TRANSP HE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROVED AUTHORIZATION FROM BOHLER, ONLY APPROVED 0
§ SCHEDULE TABLE 2	40%	18.17% (133,693 SF)	25.70% (191,481 SF)		비
§ SCHEDULE TABLE 2 § SCHEDULE TABLE 2 § SCHEDULE TABLE 2	3 STORIES 40' 80%	2 STORIES 27.5' 49.85% (366,901 SF)	1 STORY 43.75' (V) 53.59% (399,337 SF)	REVISIO	ons
UILDING = (122.50 + 122.50) / 2 = 1			(V) = VARIANCE REQUIRED	REV DATE CON	IMENT DRAWN BY CHECKED BY TWP. APR
PAR	RKING REQUI			1 08/25/2021 COMPLET	ENESS AS TOWNSHIP APR
CODE	2 DRIVEWA	REQUIRED YS PER 300 FEET OF FRONTAGE	PROPOSED	COMMENT	TOWNSHIP APR
§ 205-97-B	US ROL ADAMS I	JTE 1: 358.07' = 2 DRIVEWAYS LANE: 276.85' = 1 DRIVEWAYS .IA: 737.24' = 4 DRIVEWAYS	US ROUTE 1: 1 DRIVEWAY ADAMS LANE: 1 DRIVEWAY THALIA: 1 DRIVEWAY		
§ 205-97-H § 205-97-H		1 MINIMUM * 12' W X 35' L X 14' H PARALLEL SPACES: 9' X 18'	29 SPACES 12' W X 60' L X >14' H NONLPARALLEL SPACES: 9' X 18'		
§ 205-98-A § 205-98-B(3)	PA	PARALLEL SPACES: 9' X 18' RALLEL SPACES: 9' X 23' ' (PER ZONING OFFICER)	NON-PARALLEL SPACES: 9' X 18' PARALLEL SPACES: 9' X 23' 138.9'		
Е § 205-96-Е		100'	19.2' (V)		
§ 205-96-E § 205-98-B(4)		60'	20' (V) ONE-WAY: 16'		
§ 205-98-B(4) § 205-98-B(5) § 205-100-A		TWO-WAY: 25' 25' 105 SPACES **	TWO-WAY: 25' 25' 166 SPACES **		
2010 ADA STANDAR	DS	6 ADA SPACES (1 VAN)	6 ADA SPACES (2 VAN)	Know what's be	ow.
§ 205-32 OVER 5,000 SF OF GFA		5 E/V SPACES 7 BANKED E/V SPACES ET LOADING AS DETERMINED BY THE PLANNI	8 E/V SPACES & 4 BANKED E/V SPACES	LINE Call before NEW JERSE YOU MUST CALL 811 BEFORE	e <b>you dig.</b> EY
EQUIRED PARKING SPACES FOR	FOR EV RECHARGE	(V	DF 7% EV RECHARGE PARKING. ) VARIANCE REQUIRED PROPOSED	AGENCY REVIEW	JNICIPAL AND/OR AGENCY ENDED AS A CONSTRUCTION
§ 205-105-	G HAVE ONE OR MORE EX	XCEEDING TWO STORIES IN HEIGHT MAY (TERIOR SIGNS IDENTIFYING THE NAMES USES OCCUPYING THE BUILDING.	2 FACADE SIGNS	CAD I.D.:	J200616-SPP-3A
§ 205-105- DING FACE § 205-102-	G	2,261 SF TOTAL 12"	600 SF TOTAL (2 x 300 SF SIGNS) <12"		
§ 205-102- § 205-105-	Б	OVE THE HEIGHT OF THE VERTICAL WALL OR CORNICE REESTANDING SIGNS	SIGN DOES NOT EXTEND ABOVE THE VERTICAL WALL OR CORNICE 3 FREESTANDING SIGNS (V)	PRELIMIN	
§ 205-105-	H 150 SF	TOTAL (75 SF PER SIGN)	150 SF TOTAL ROUTE 1 SIGN: 75 SF WALL SIGN: 36 SF	FOR	
PROPERTY § 205-102-		20'	ADAMS LANE SIGN: 39 SF 20'		
	HE BUILDING. 22,618 SF FRONT FA	20' ACADE AREA X 10% = 2,261 SF ALLOWABLE SI DTHER SUPPORTING MEMBERS. WHERE THE		1980 US HW	/Y 1, LLC
ERMITTED WITHIN THE SIGHT TRI				PROPOS WAREHOUSE	
	ZONING NO		V) VARIANCE REQUIRED	 1980 US HIGHWA	Y ROUTE 1
SUCH RECEPTACLES MAY BE	ETAL OR PLASTIC RECEPTACL STORED IN EITHER THE REAR	ES WITH TIGHT-FITTING COVERS. SUCH R	ECEPTACLES SHALL NOT NE STORED OR E COMPLETELY SCREENED FROM VIEW OF	BLOCK 148; LOTS TOWNSHIP OF NORT MIDDLESEX COUNTY	H BRUNSWICK
ATING THE AVERAGE SETBAC	K OF A BUILDING, OVERHANG	EAVES AND CORNICES SHALL ALWAYS BE	EXCLUDED, BUT PORTICOS AND CLOSED OF THE BUILDING. <b>STEPS ON THE SIDE OF</b>	I-2 ZONE; TAX MA	·
		CTRIC DISTRIBUTION , COMMUNICATIONS		BOHL	FR//
RGROUND WITHIN EASEMENT	S OR DEDICATED PUBLIC RIGH	TS-OF-WAY. COMPLIES, ALL PROPOSED I	JTILITY LINES ARE UNDERGROUND AND	BOHLER ENGINEER	RING NJ, LLC
				WARREN, N. Phone: (908)	
				www.BohlerEngi	neering.com
				B.A. BO	HLER
╋	21	// /		PROFESSIONAL	FNGINEER
<u>+</u>	Crocs	rcade <sup>3</sup>		NEW JERSEY LICEN NEW YORK LICENSE PENNSYLVANIA LICEN	ISE No. 47421 E No. 088514-1 NSE No. 077366
╋				CONNECTICUT LICEI DELAWARE LICENS OHIO LICENSE I	SE No. 17111 No. 78297
				SHEET TITLE: OVERAL LAYO PLA	UT
				SHEET NUMBER:	
		SIGN DETAU			
WAL	<b>.L MOUNTED</b> SCALE: 1" = 5'	SIGN DETAIL		REVISION 3 -	

APPLICANT:

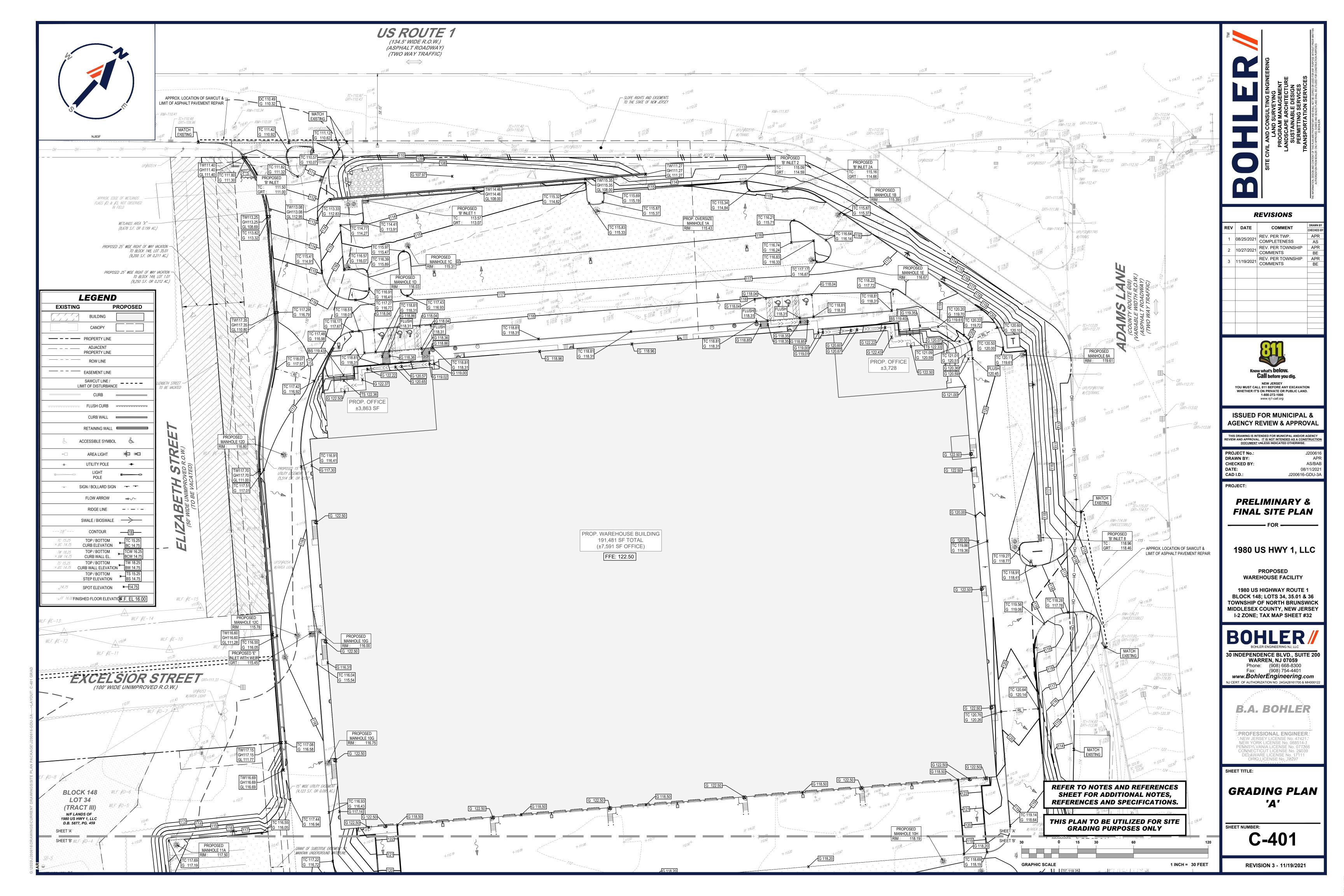


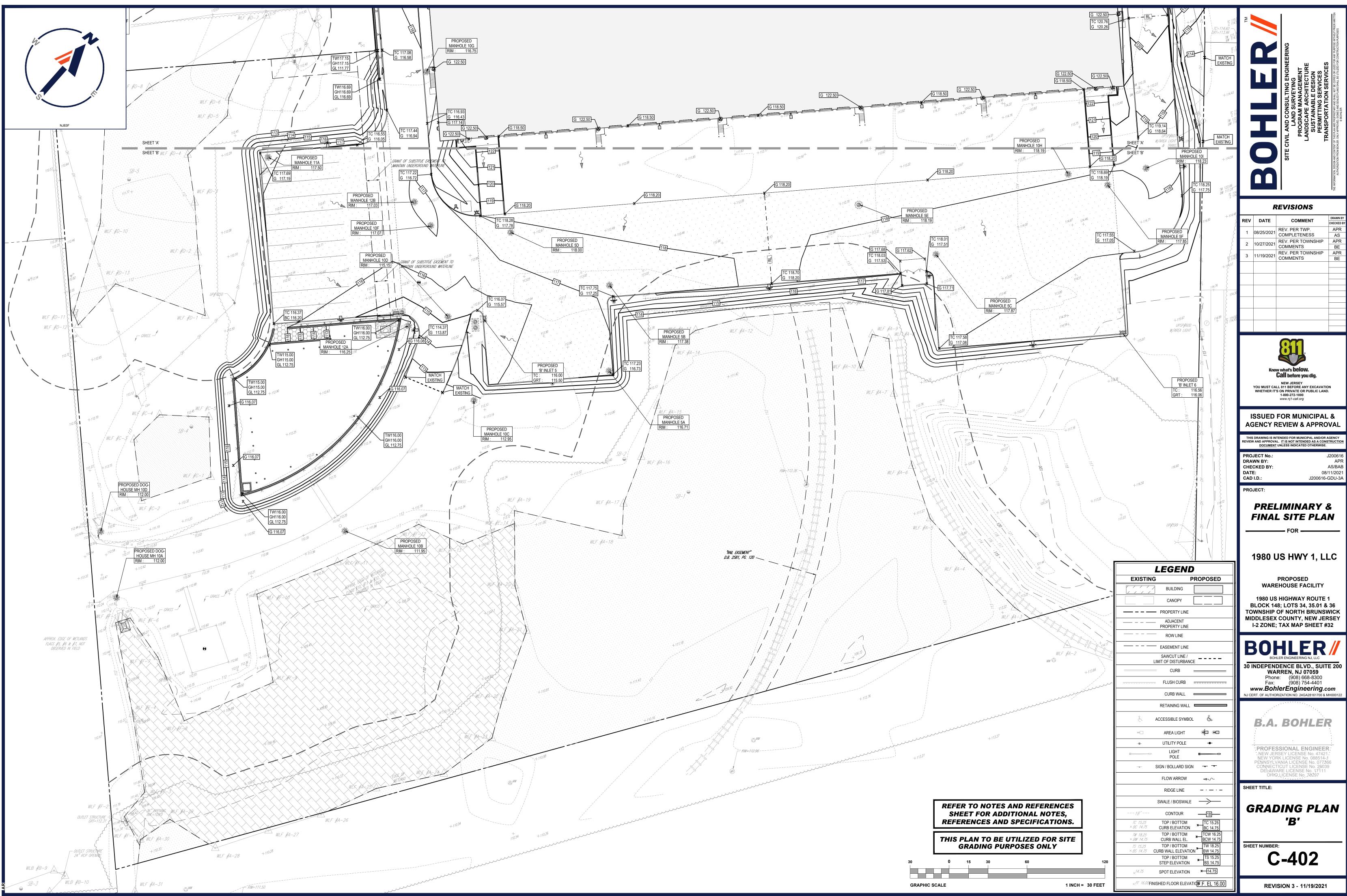


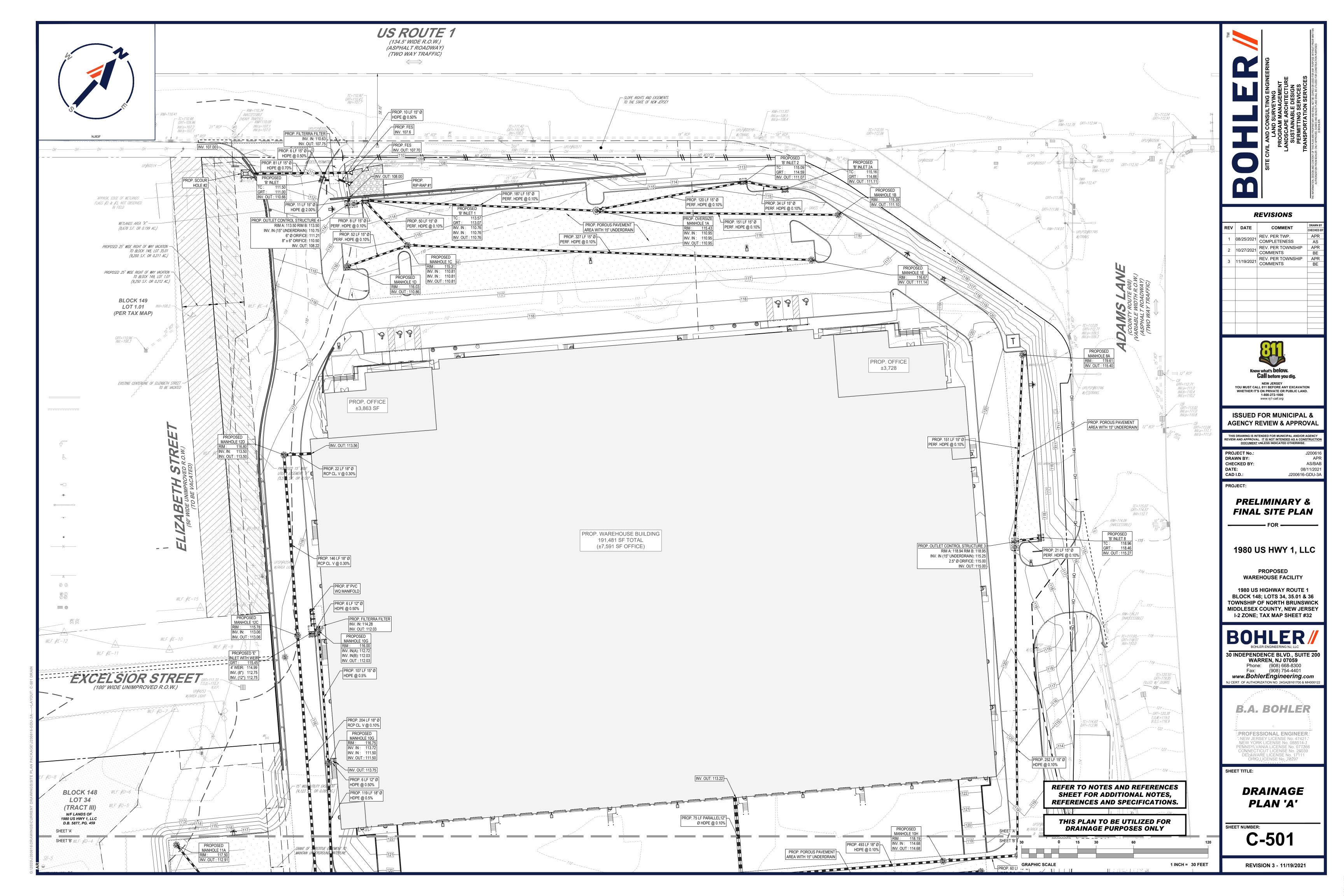


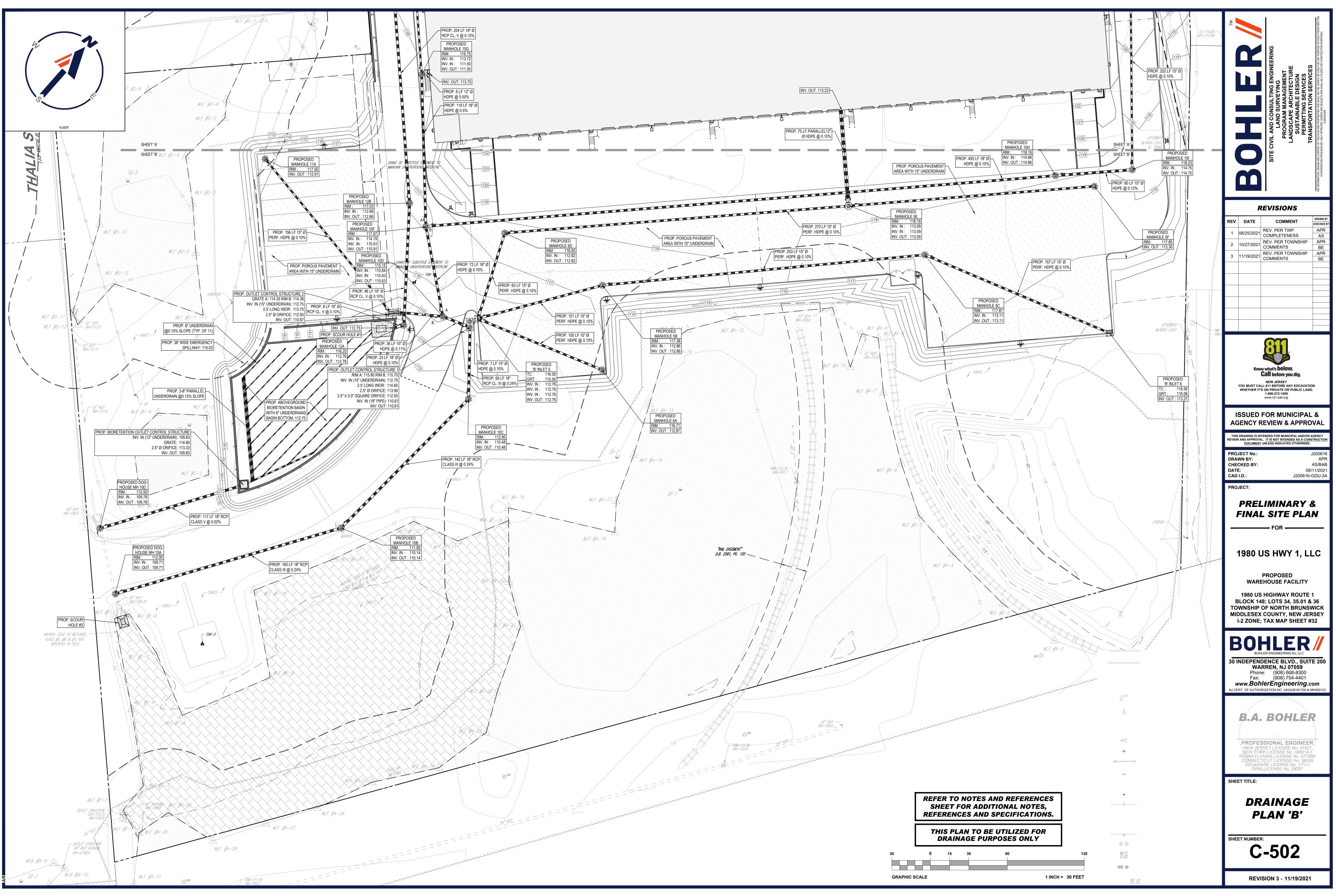
	<text><text><text><text></text></text></text></text>
	REVISIONS
	REVISIONSREVDATECOMMENTDRAWN BY CHECKED BY108/25/2021REV. PER TWP. COMPLETENESSAPR COMPLETENESS210/27/2021REV. PER TOWNSHIP COMMENTSAPR BE311/19/2021REV. PER TOWNSHIP COMMENTSAPR BE
	Know what's below. Know what's below. Call before you dig. NEW JERSEY YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND. 1-800-272-1000 WWW.nj1-call.org
	ISSUED FOR MUNICIPAL &
	AGENCY REVIEW & APPROVAL
	THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION
	DOCUMENT UNLESS INDICATED OTHERWISE.PROJECT No.:J200616DRAWN BY:APRCHECKED BY:AS/BABDATE:08/11/2021CAD I.D.:J200616-SPP-3A
	PROJECT: PRELIMINARY & FINAL SITE PLAN FOR
	<b>1980 US HWY 1, LLC</b> PROPOSED WAREHOUSE FACILITY
	1980 US HIGHWAY ROUTE 1 BLOCK 148; LOTS 34, 35.01 & 36 TOWNSHIP OF NORTH BRUNSWICK MIDDLESEX COUNTY, NEW JERSEY I-2 ZONE; TAX MAP SHEET #32
	BOHLER ENGINEERING NJ, LLC DHLER ENGINEERING NJ, LLC SO INDEPENDENCE BLVD., SUITE 200 WARREN, NJ 07059 Phone: (908) 668-8300 Fax: (908) 754-4401 WW.BohlerEngineering.com NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & MH000122
	<b>B.A. BOHLER</b> <b>PROFESSIONAL ENGINEER</b> NEW JERSEY LICENSE No. 47421 NEW YORK LICENSE No. 088514-1
	PENNSYLVANIA LICENSE No. 077366 CONNECTICUT LICENSE No. 26039 DELAWARE LICENSE No. 17111 OHIO LICENSE No. 78297 SHEET TITLE:
	SITE LAYOUT PLAN SHEET NUMBER: C-303
0	<b>C-JUJ</b> REVISION 3 - 11/19/2021

		ТН			E UTILIZED FO URPOSES ONL		
)		0	30	60	120		2
GRAP	HIC SC/					1 INCH =	60 FEET

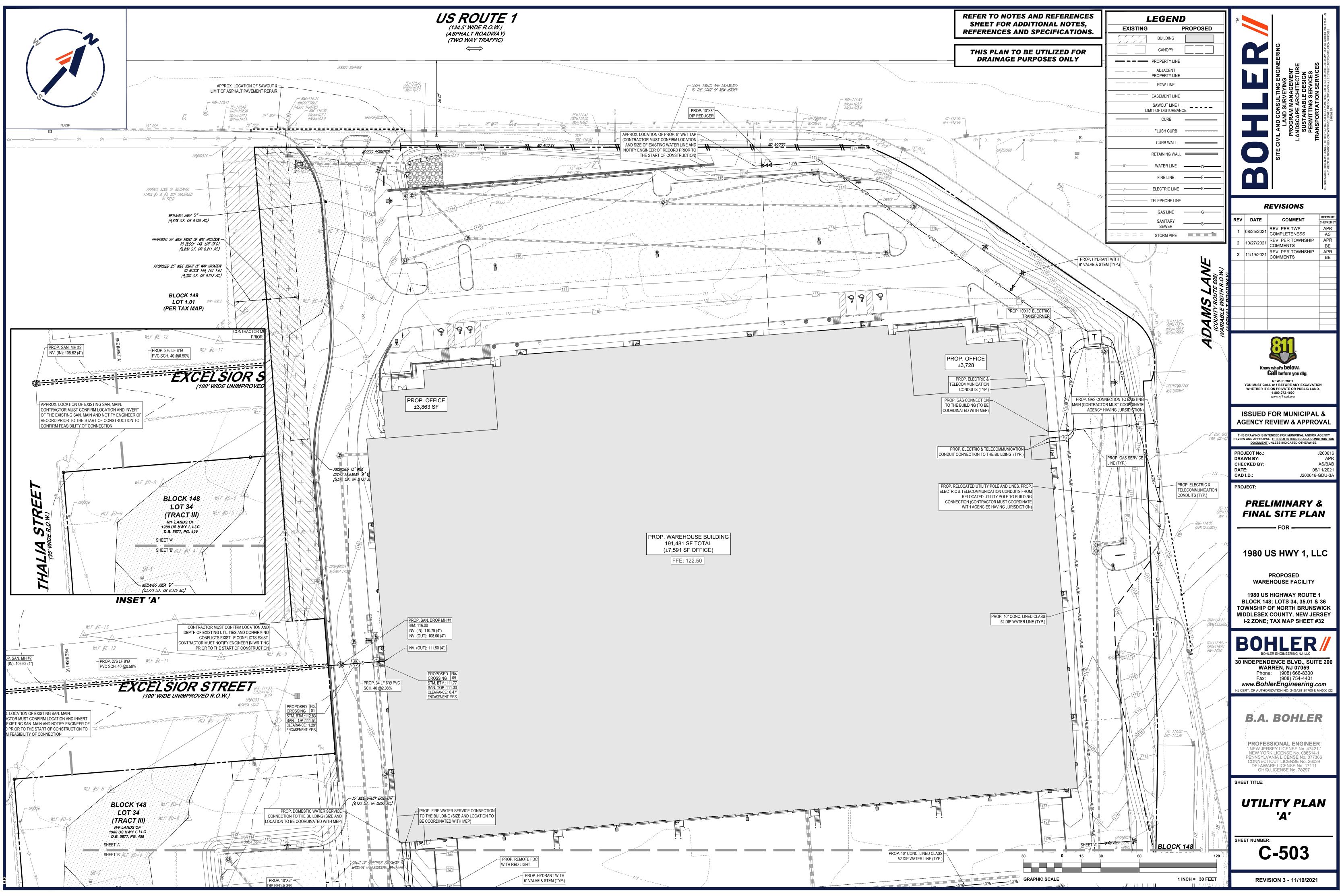




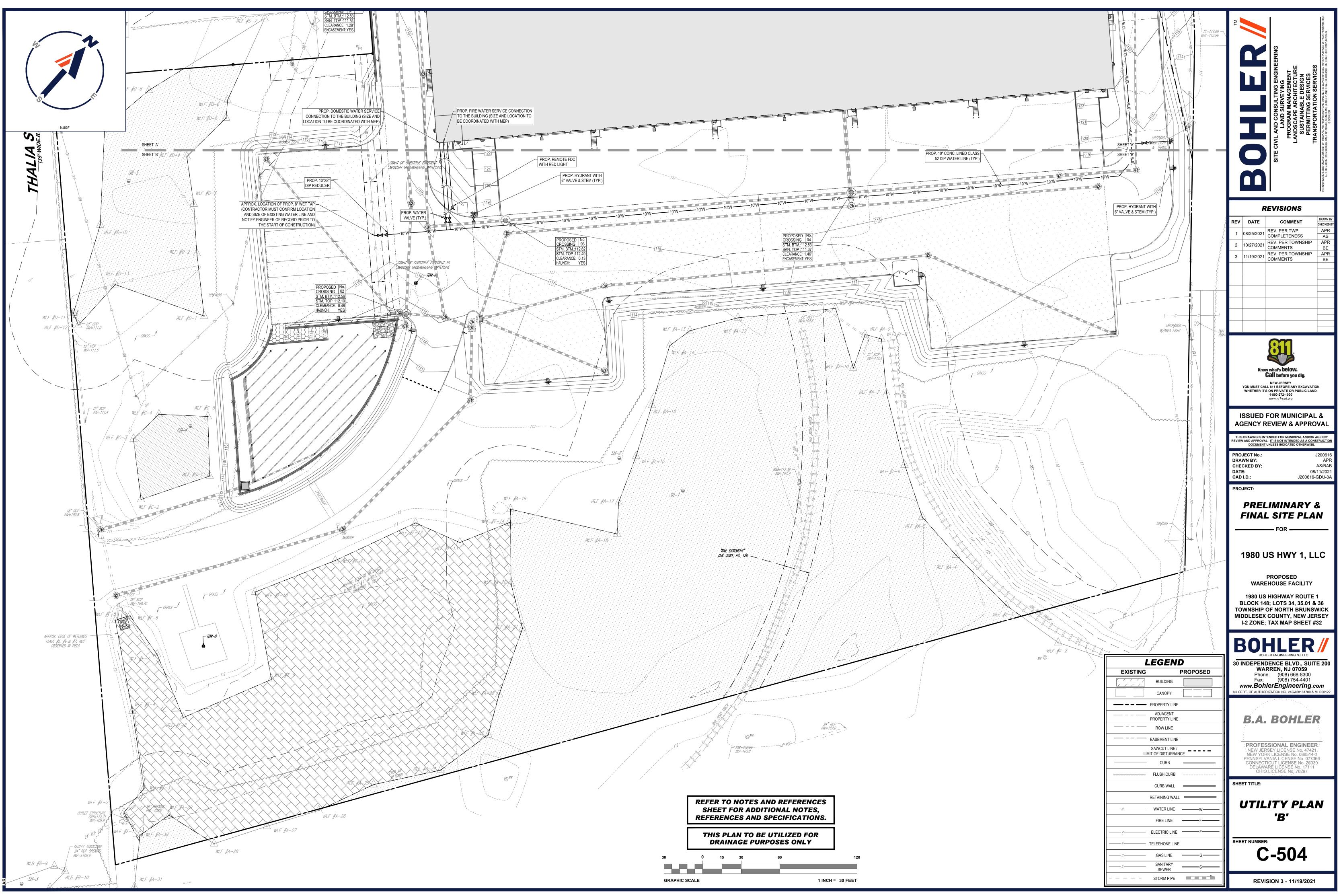




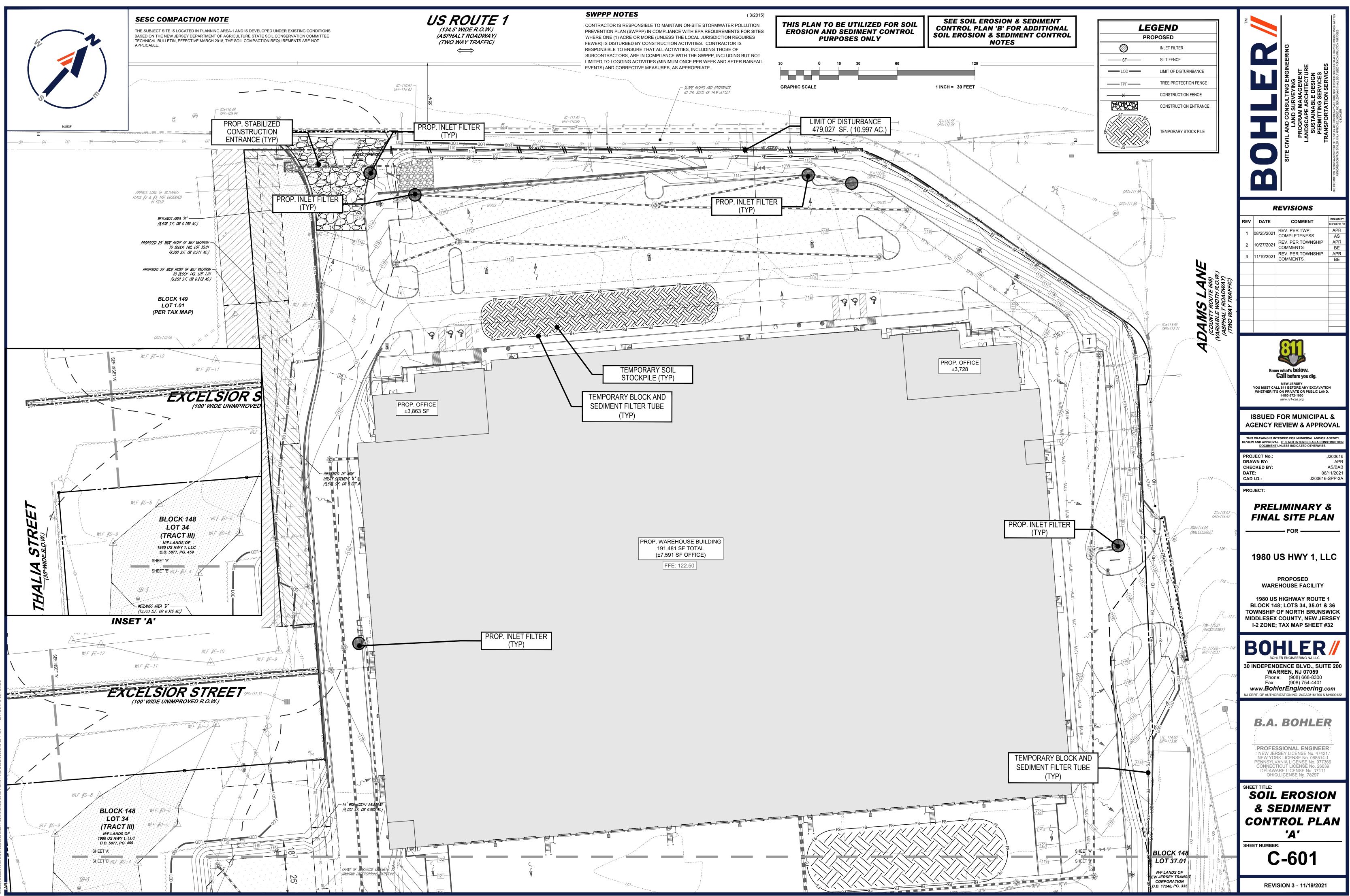
20\J200616\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\J200616-GDU-3A----->LAYOUT: C-502 E



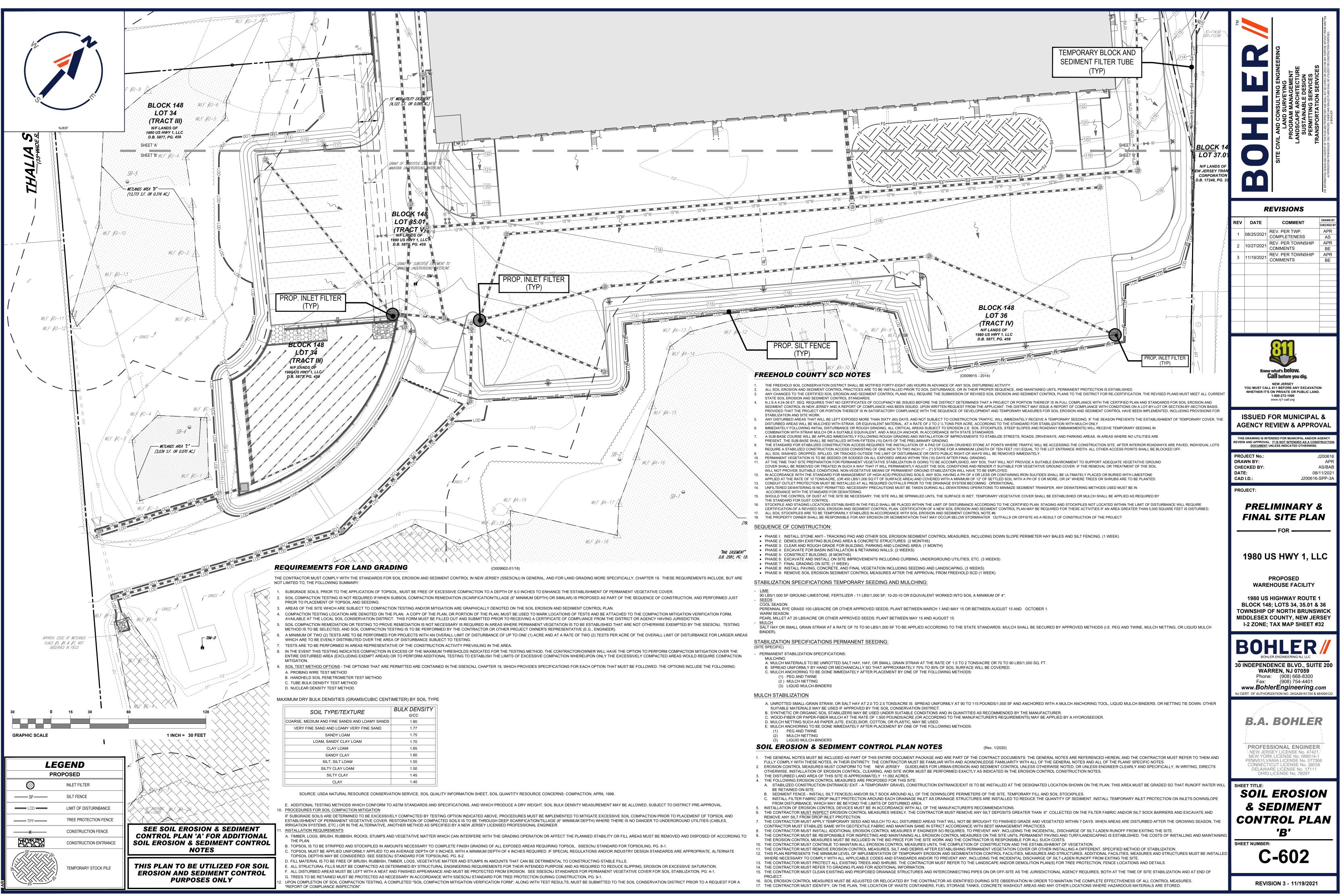
12020/J200616/DRAWINGS/CURRENT DRAWINGS/SITE PLAN PACKAGE/J200616-GDU-3A----->LAYOU

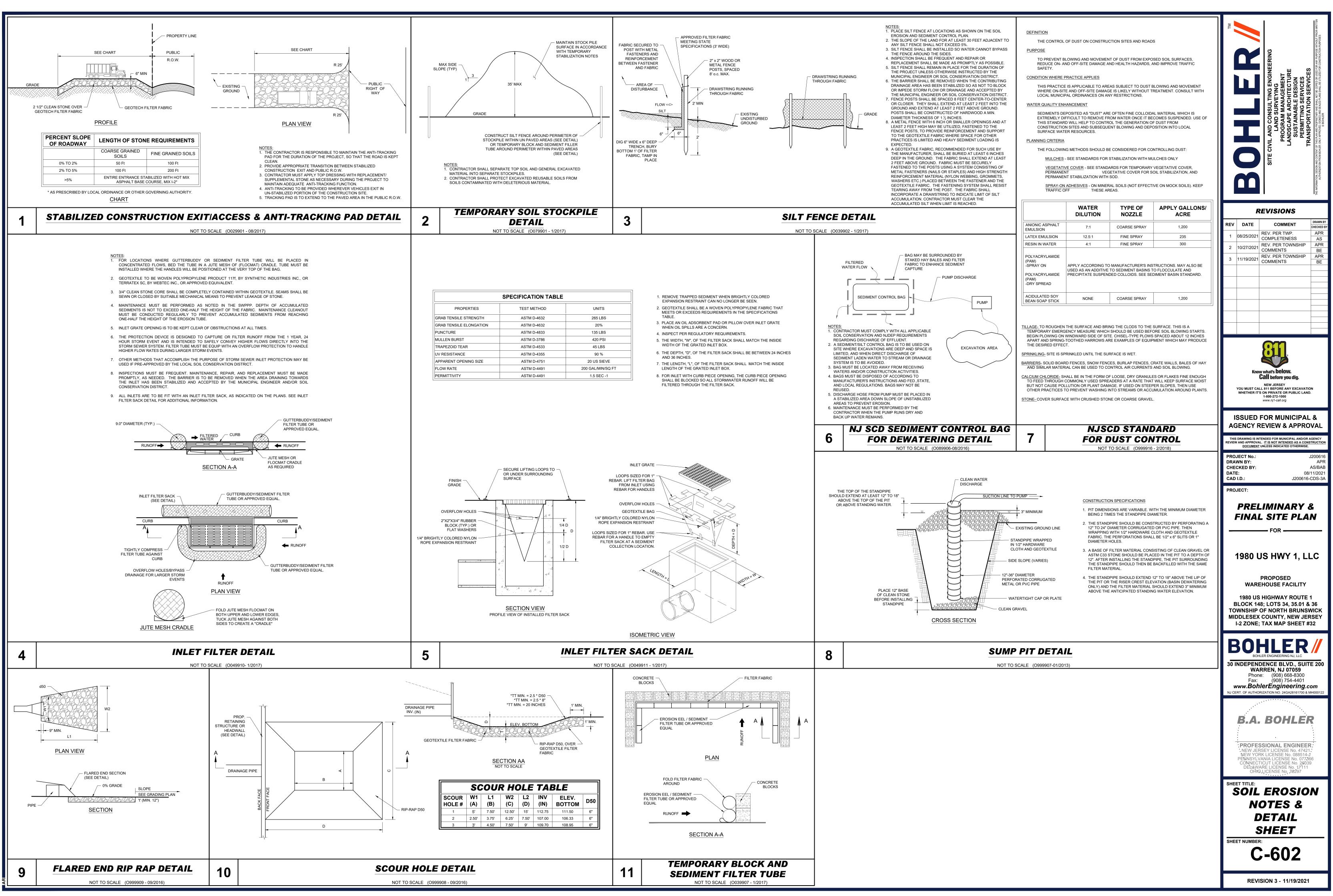


201/J2006161DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\J200616-GDU-3A----->LAYOUT: C-504

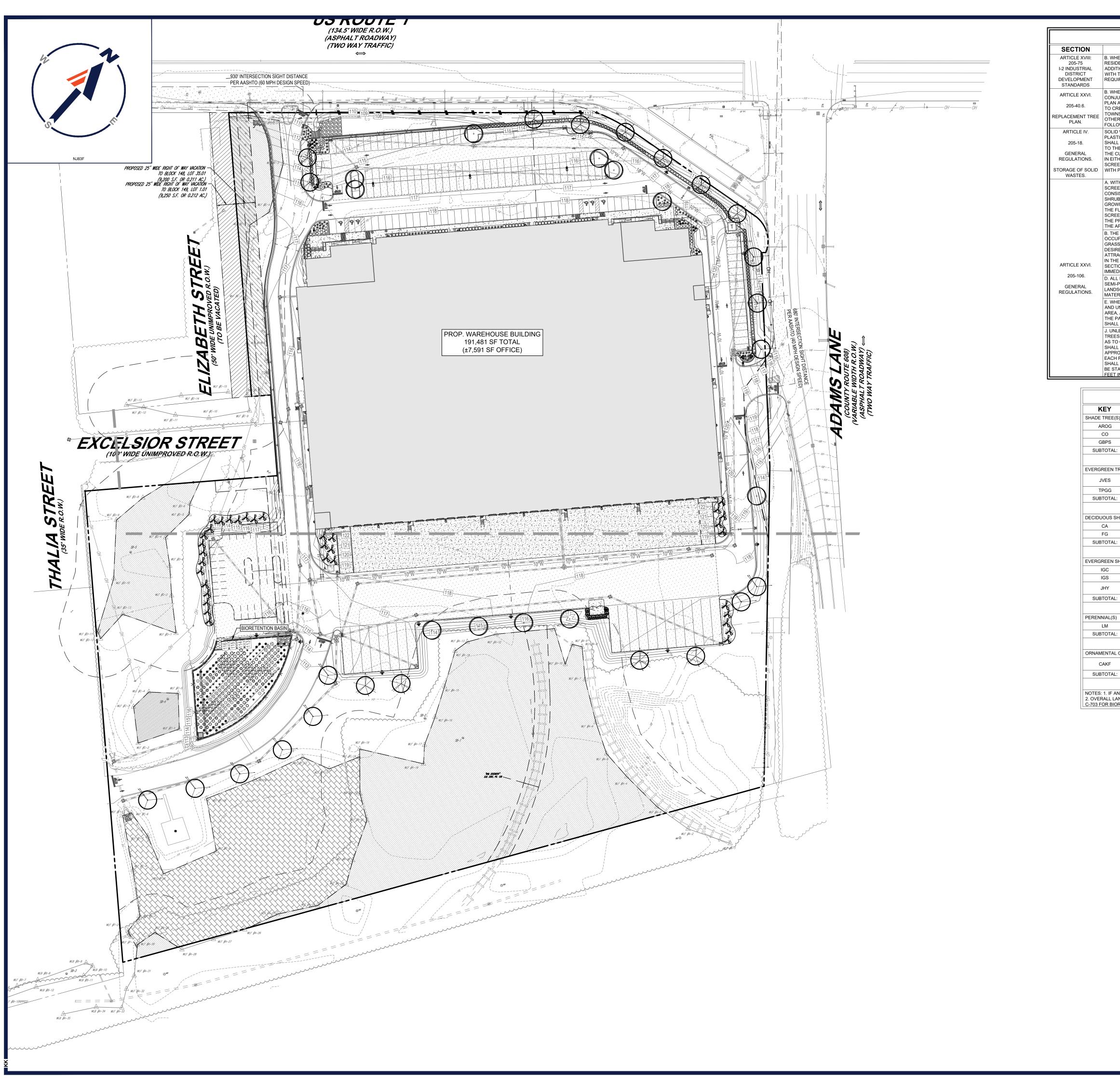


PROP. W	AREHOUSE BUILD	ING
	1,481 SF TOTAL	
(±7	,591 SF OFFICE)	
	FFE: 122.50	





0)J200616/DRAWINGS/CURRENT DRAWINGS/SITE PLAN PACKAGE/J200616-CDS-3A----->LAYOUT: C

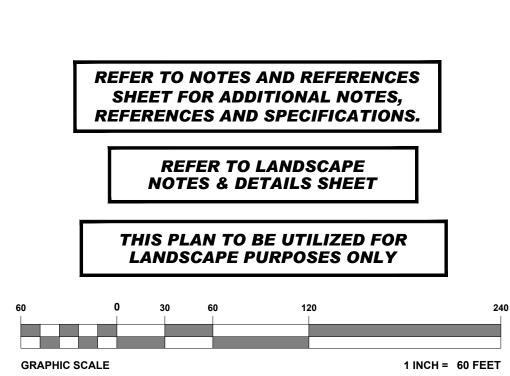


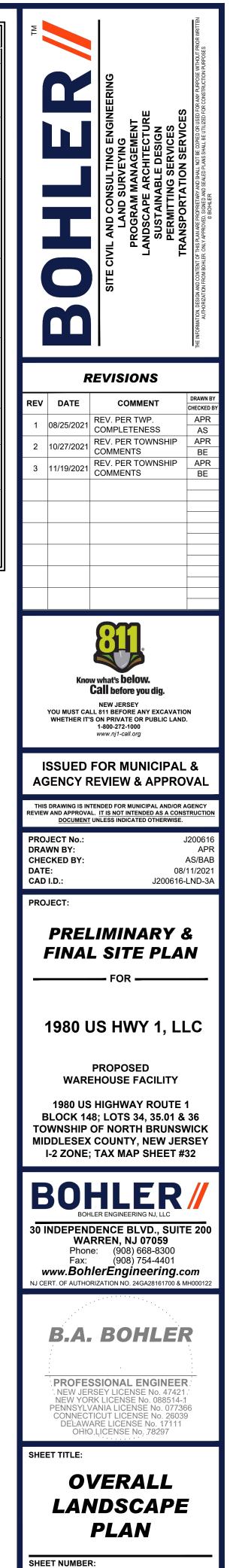
J200616/DRAWINGS/CURRENT DRAWINGS/SITE PLAN PACKAGE/J200616-LND-3A----->LAYOUT: C-700 LS

COMPLIANCE	CHART	
REQUIREMENT	CALCULATIONS	COMPLIANCE
HERE A PROPOSED NONRESIDENTIAL DEVELOPMENT ABUTS A IDENTIAL ZONE OR A LOT DEVELOPED FOR RESIDENTIAL USES, AND DITIONAL THIRTY-FOOT BUFFER STRIP, DESIGNED IN ACCORDANCE H THE REQUIREMENTS OF ARTICLE XXVI, SHALL BE ADDED TO ANY QUIRED REAR OR SIDE YARD WHICH ABUTS SAID RESIDENTIAL USE.	EXISTING WOODED AREA ADJACENT TO THE RESIDENTIAL USES ALONG THALIA STREET IS TO REMAIN.	COMPLIES
HERE THE APPLICATION FOR A TREE REMOVAL PERMIT IS IN JUNCTION WITH AN APPLICATION FOR MAJOR SUBDIVISION OR SITE N APPROVAL OR ANY MINOR SUBDIVISION OTHER THAN A SUBDIVISION CREATE HOMESTEAD LOTS AS SET FORTH IN CHAPTER <u>205</u> OF THE VINSHIP CODE, OR RELATES TO ANY OTHER PROPERTY NOT IERWISE EXEMPT, THE REPLACEMENT PLAN SHALL INCLUDE THE LOWING:	A TREE REMOVAL PERMIT WILL BE SUBMITTED WITH THE APPLICATION(REFER TO TREE REPLACEMENT CALCULATIONS ON THIS PLAN)-	COMPLIES
ID WASTES, IF STORED OUTDOORS, SHALL BE PLACED IN METAL OR STIC RECEPTACLES WITH TIGHT-FITTING COVERS. SUCH RECEPTACLES LL NOT BE STORED OR PLACED WITHIN ANY FRONT YARD AREA PRIOR THE TIME AT WHICH SOLID WASTES ARE PERMITTED TO BE PLACED AT CURBLINES FOR COLLECTION. SUCH RECEPTACLES MAY BE STORED ITHER THE REAR OR SIDE YARD AREA. THEY SHALL BE COMPLETELY REENED FROM VIEW OF ADJOINING PROPERTY AND STREET AREAS H PLANTING OR FENCING.	TRASH ENCLOSURE AREA HAS BEEN SCREENED FROM VIEW WITH EVERGREEN TREES.	COMPLIES
VITHIN A BUFFER AREA, A SOLID AND CONTINUOUS LANDSCAPE REEN SHALL BE PLANTED AND MAINTAINED. SAID LANDSCAPING SHALL ISIST OF LAWN, MASSED EVERGREEN AND DECIDUOUS TREES AND RUBS OF SUCH SPECIES AND DENSITY AS WILL PROVIDE, WITHIN TWO DWING SEASONS, A SOLID AND CONTINUOUS SCREEN THROUGHOUT FULL COURSE OF THE YEAR. THE INTENSE DENSITY OF THE BUFFER REEN MAY BE REDUCED BY THE PLANNING BOARD IF IT IS FOUND THAT PROPOSED USE IS VISUALLY ATTRACTIVE AND NOT DETRIMENTAL TO APPEARANCE OF THE NEIGHBORING USES.	EXISTING WOODED AREA ADJACENT TO THE RESIDENTIAL USES ALONG THALIA STREET IS TO REMAIN.	COMPLIES
HE ENTIRE BUFFER AREA AND ALL REQUIRED YARD AREAS NOT CUPIED BY PARKING AREAS SHALL BE GRADED AND PLANTED WITH ASS SEED OR SOD AND SUCH SHRUBBERY OR TREES AS MAY BE IRED BY THE PLANNING BOARD. THE ENTIRE AREA SHALL BE RACTIVELY MAINTAINED AND KEPT FREE OF ALL DEBRIS AND RUBBISH. HE EVENT THAT ANY OF THE PLANTINGS IN ACCORDANCE WITH THIS TION DO NOT LIVE WITHIN THE FIRST YEAR, THEY SHALL BE EDIATELY REPLACED.	LANDSCAPING HAS BEEN PROVIDED IN AREAS NOT OCCUPIED BY BUILDINGS OR PARKING.	COMPLIES
LL NONPAVED AREAS IN COMMERCIAL, INDUSTRIAL, PUBLIC AND 1I-PUBLIC BUILDINGS AND USE AREAS SHALL BE SUITABLY DSCAPED WITH GRASS, TREES, SHRUBS AND OTHER LANDSCAPED 'ERIALS.	LANDSCAPING HAS BEEN PROVIDED IN AREAS NOT OCCUPIED BY BUILDINGS OR PARKING.	COMPLIES
HEN A PARKING AREA OF FOUR OR MORE VEHICLES OR A LOADING DUNLOADING AREA ADJOINS AN ADJACENT RESIDENTIAL PROPERTY A, A LANDSCAPED BUFFER SCREEN SHALL BE PROVIDED BETWEEN PARKING AREA AND THE ADJOINING PROPERTY. THE BUFFER SCREEN LL BE NO LESS THAN SIX FEET IN HEIGHT.	EXISTING WOODED AREA ADJACENT TO THE RESIDENTIAL USES ALONG THALIA STREET IS TO REMAIN.	COMPLIES
NLESS THE DELINEATED BUFFER AREA SHALL CONTAIN SUCH EXISTING ES EITHER MAINTAINED AT PRESENT GRADE OR SUITABLY WELLED SO TO QUALIFY TO MEET THE STANDARDS ABOVE, SUCH BUFFER AREA ALL BE LANDSCAPED WITH TWO ROWS OF SPRUCE TREES OR ROVED EQUAL, WITH 10 FEET BETWEEN EACH ROW. THE TREES IN H ROW SHALL BE 20 FEET ON CENTERS. EACH TREE IN ONE ROW ALL BE 14 FEET FROM ANY OTHER TREE IN THE OTHER ROW SO AS TO STAGGERED IN APPEARANCE. EACH TREE SHALL BE A MINIMUM OF FIVE T IN HEIGHT.	EXISTING WOODED AREA ADJACENT TO THE RESIDENTIAL USES ALONG THALIA STREET IS TO REMAIN.	COMPLIES

	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
E(S)					
	12	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2-3" CAL.	B+B
	11	CELTIS OCCIDENTALIS	HACKBERRY	2 1/2-3" CAL.	B+B
	11	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY BRAND GINKGO	2 1/2-3" CAL.	B+B
AL:	34				
	(S)				
	9	JUNIPERUS VIRGINIANA 'EMERALD SENTINEL'	EMERALD SENTINEL EASTERN RED CEDAR	8-10'	B+B
	34	THUJA PLICATA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	6-7'	B+B
AL:	43				
SHRU	B(S)				
	41	CLETHRA ALNIFOLIA	SUMMERSWEET CLETHRA	24-30"	CONTAINER
	32	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	24-30"	CONTAINER
AL:	73				1
		-			
SHRU	IB(S)				
	89	ILEX GLABRA 'COMPACTA'	DWARF INKBERRY HOLLY	24-30"	CONTAINER
	82	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	24-30"	CONTAINER
		JUNIPERUS HORIZONTALIS			
	88	'YOUNGSTOWN'	ANDORRA JUNIPER	18-24" SPRD	CONTAINER
AL:	259				
S)					
	195	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	1 GAL.	CONTAINER
AL:	195				
AL GRA	ASS(ES)				
	25	CALAMAGROSTIS ARUNDINACEA 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL.	CONTAINER
AL:	25				

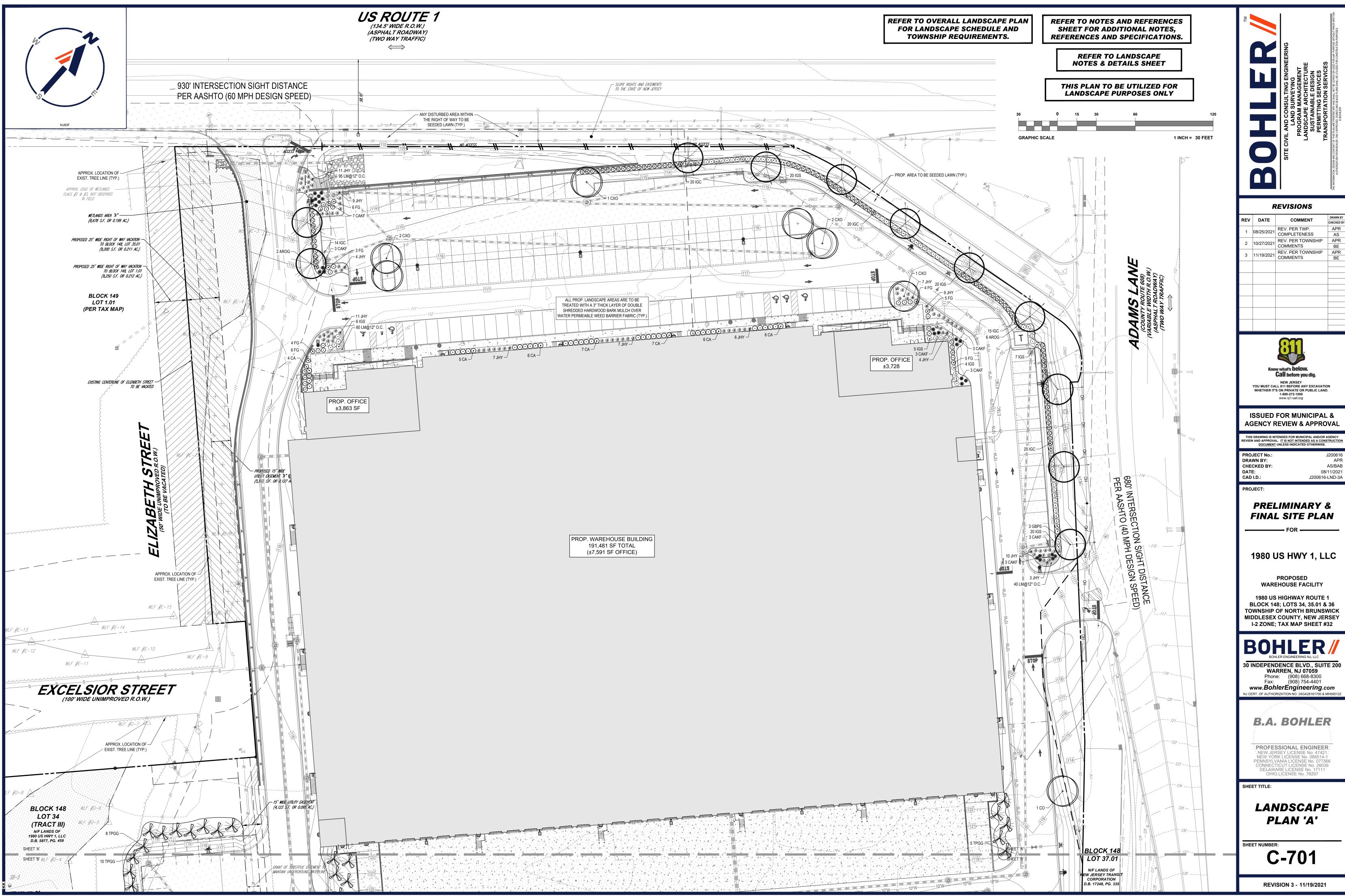
NOTES: 1. IF ANY DISCREPANCIES OCCUR BETWEEN THE AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN WILL DICTATE. 2. OVERALL LANDSCAPE SCHEDULE DOES NOT INCLUDE PLANT QUANTITIES FOR THE BIORETENTION BASIN. REFER TO THE LANDSCAPE PLAN SHEET C-703 FOR BIORETENTION BASIN LANDSCAPE SCHEDULE.





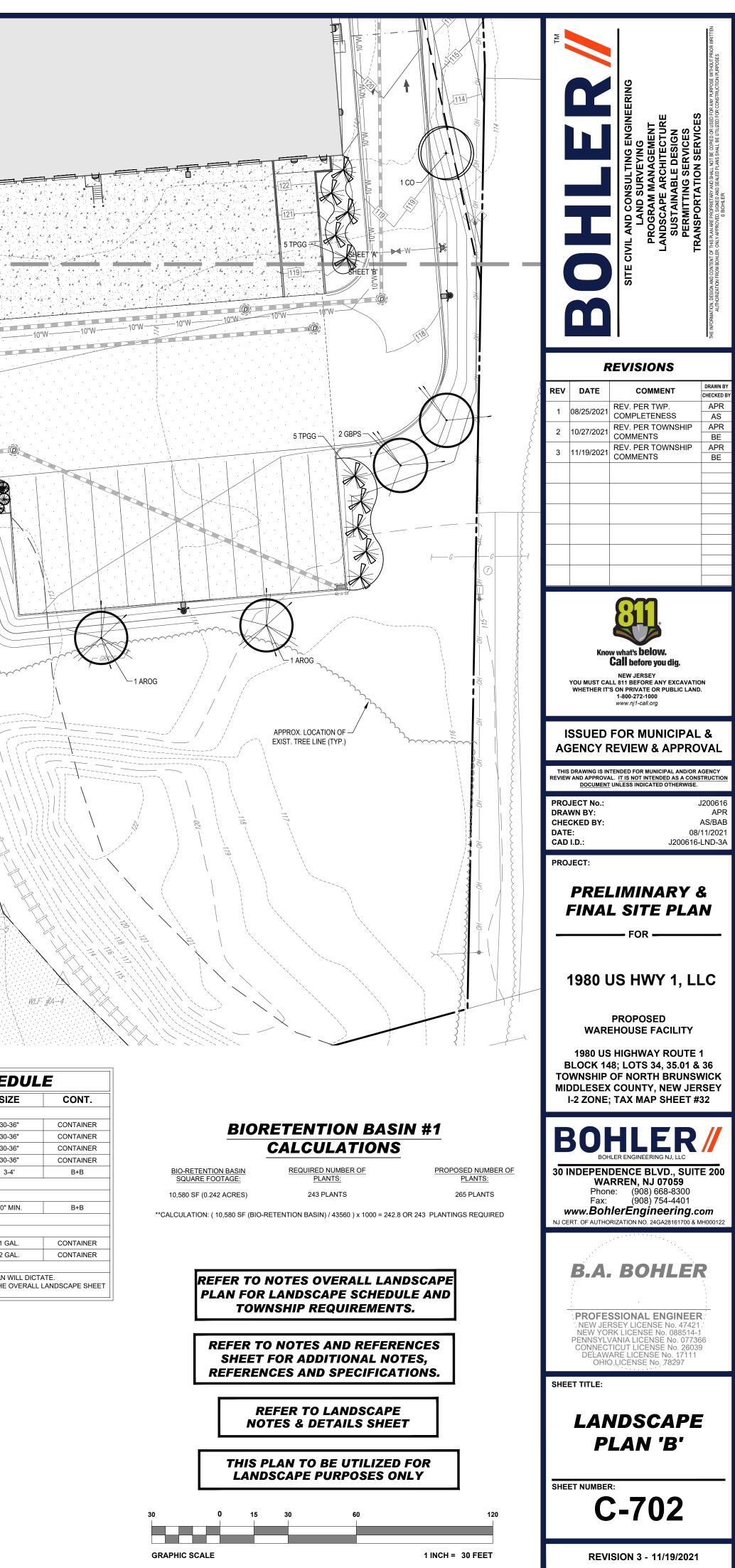
**REVISION 3 - 11/19/2021** 

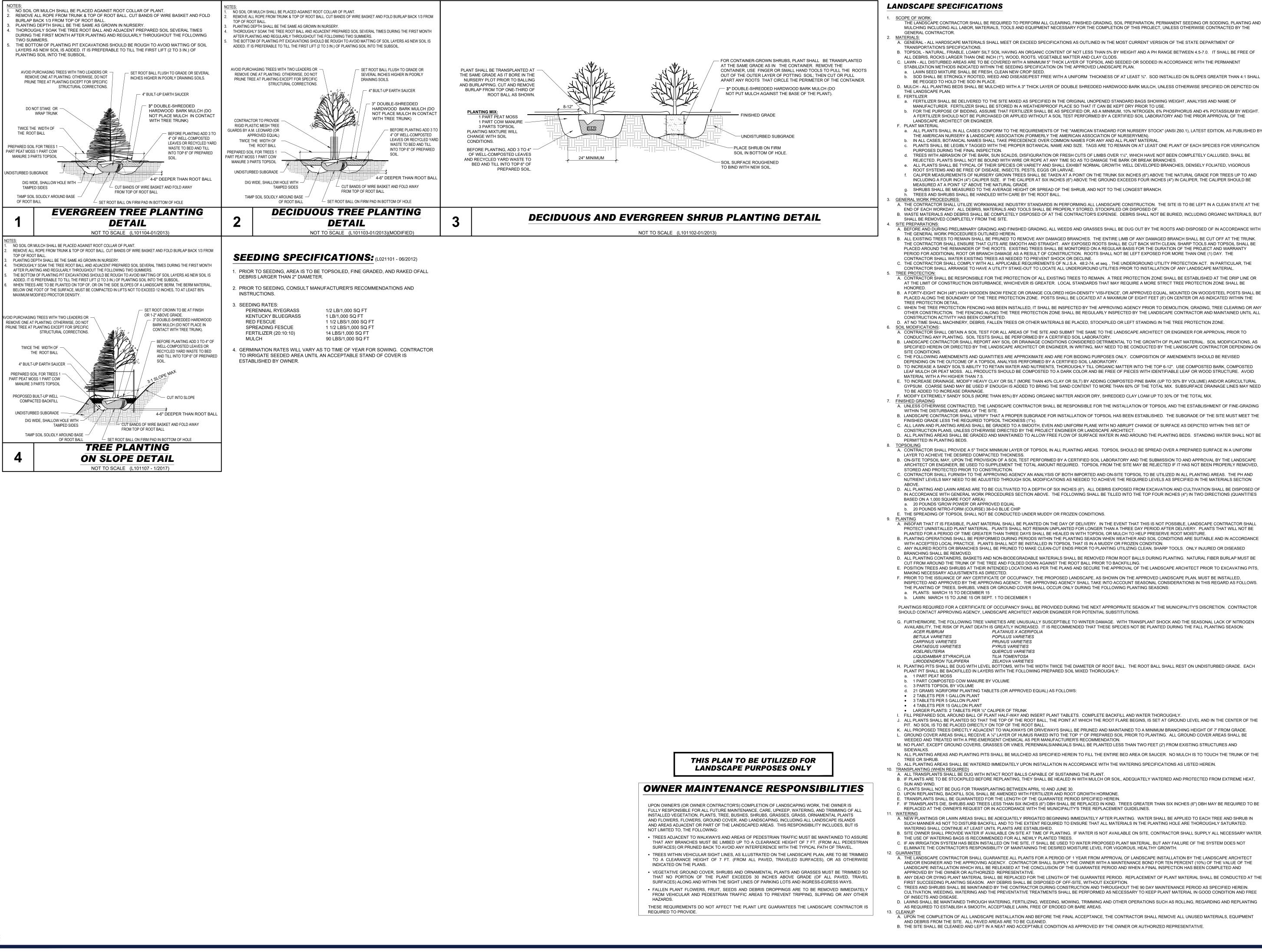
**C-700** 





	10"W 10"W 10"W 10"W 10"W 10"W 10"W 10"W
10"W 10"W 10"W 10"W 10"W 10"W 10"W 10"W	10"W. 10 W. 118
	III         IIII         IIII         IIII         IIIII         IIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIII
2 AROG	SB-1 WLF #A-6 WETLANDS AREA "D" (78349 SE OR 1.822 AC.)
WLF: #A-18	THE EXEMPT DB 2581, PC. 120 BIORETENTION BASIN LANDSCAPE SCHED
	KEY         QTY.         BOTANICAL NAME         COMMON NAME         SIZE           DECIDUOUS SHRUB(S)
	IVJD     33     ILEX VERTICILLATA 'JIM DANDY'     JIM DANDY WITNERBERRY HOLLY     30-36"       IVRS     24     ILEX VERTICILLATA 'RED SPRITE'     RED SPRITE WINTERBERRY HOLLY     30-36"       IR     40     INDERA BENZON     SPICEPUISH     20-36"
	LB40LINDERA BENZOINSPICEBUSH30-36"VC23VACCINIUM CORYMBOSUMHIGHBUSH BLUEBERRY30-36"VD42VIBURNUM DENTATUMARROWWOOD VIBURNUM3-4'
	SUBTOTAL:     162       EVERGREEN SHRUB(S)
	IG     36     ILEX GLABRA     INKBERRY HOLLY     30" MIN.       SUBTOTAL:     36       ORNAMENTAL GRASS(ES)
	CPN29CAREX PENSYLVANICAPENNSYLVANIA SEDGE1 GAL.PVI38PANICUM VIRGATUMSWITCH GRASS2 GAL.
	SUBTOTAL:       67         NOTES: 1. IF ANY DISCREPANCIES OCCUR BETWEEN THE AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN WILL         2. BIORETENTION BASIN SCHEDULE DOES NOT INCLUDE PLANT QUANTITIES FOR OVERALL LANDSCAPING. REFER TO THE OVER         2. ADD FOR OVERALL LANDSCAPIS SOURCE DOES NOT INCLUDE PLANT QUANTITIES FOR OVERALL LANDSCAPING. REFER TO THE OVER
	C-701 FOR OVERALL LANDSCAPE SCHEDULE.
	<b>BIORETENTION BASIN PLANTING</b>
	SOIL BED MIX SPECIFICATIONS: SOURCE: NEW JERSEY BEST MANAGEMENT PRACTICE MANUAL
	CHAPTER 9.1, PAGE 7 THE SOIL BED MATERIAL MUST CONSIST OF THE FOLLOWING MIX, BY WEIGHT: 85 TO 95% SAND, WITH NO MORE THAN 25% OF THE SAND AS
	FINE OR VERY FINE SANDS; NO MORE THAN 15% SILT AND CLAY WITH 2% TO 5% CLAY CONTENT. THE ENTIRE MIX MUS TTHEN BE AMENDED WITH 3 TO 7% ORGANICS, BY WEIGHT.
	<b>BIORETENTION BASIN NOTES</b>
	1. NEW JERSEY STORMWATER BEST MANAGEMENT PRACTICES MANUAL (MARCH 2021) HAS BEEN REFERENCED FOR BIO-RETENTION LANDSCAPE DESIGN.
	<ol> <li>TYPICAL BIO-RETENTION BASIN LANDSCAPE DESIGN WILL VARY BASED ON LOCATION WITHIN EACH PARKING LOT. CONTRACTOR IS TO MODIFY PLANT QUANTITIES AS NECESSARY FOR EACH BASIN.</li> <li>RECOMMENDED NUMBER OF STEMS PER ACRE SHOULD AVERAGE 1,000 WITH TREE SPACING</li> </ol>
	OF 12 FEET AND SHRUB SPACING OF 8 FEET, PER THE BEST MANAGEMENT PRACTICES MANUAL.





#### THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING. FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE

A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE MOST CURRENT VERSION OF THE STATE DEPARTMENT OF B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT OF NOT LESS THAN 5% BY WEIGHT AND A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF ALL DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS. C. LAWN - ALL DISTURBED AREAS ARE TO BE COVERED WITH A MINIMUM 5" THICK LAYER OF TOPSOIL AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SEEDING SPECIFICATION ON THE APPROVED LANDSCAPE PLAN.

D. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE SPECIFIED OR DEPICTED ON

FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE. b. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE AS SPECIFIED OR, AS A MINIMUM, 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT A FERTILIZER SHOULD NOT BE PURCHASED OR APPLIED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY AND THE PRIOR APPROVAL OF THE

a. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN) b. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL

TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 11/4", WHICH HAVE NOT BEEN COMPLETELY CALLUSED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. e. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL EXHIBIT NORMAL GROWTH: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS f. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE

SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.

. THE CONTRACTOR SHALL UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT

A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. THE CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR THE DURATION OF THE PROJECT AND WARRANTY PERIOD FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. THE C. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF N.J.S.A. 48:2-74, et seq., THE UNDERGROUND UTILITY PROTECTION ACT. IN PARTICULAR, THE CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL

A CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE

PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE

CONDUCTING ANY PLANTING SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN OR DIRECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER, IN WRITING, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY. D. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. THOROUGHLY THE ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID

E. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED F. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY. SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX. A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING

B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT A PROPER SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT. D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE

A. CONTRACTOR SHALL PROVIDE A 5" THICK MINIMUM LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM B. ON-SITE TOPSOIL MAY, UPON THE PROVISION OF A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY AND THE SUBMISSION TO AND APPROVAL BY THE LANDSCAPE ARCHITECT OR ENGINEER, BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE LITILIZED IN ALL PLANTING AREAS. THE PHAND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION D. ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES

E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE. B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED D. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING. E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:

PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY, LANDSCAPE ARCHITECT AND/OR ENGINEER FOR POTENTIAL SUBSTITUTION G FURTHERMORE THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS RECOMMENDED THAT THESE SPECIES NOT BE PLANTED DURING THE FALL PLANTING SEASON: PLATANUS X ACERIFOLIA

POPULUS VARIETIES PRUNUS VARIETIES PYRUS VARIETIES QUERCUS VARIETIES TILIA TOMENTOSA ZELKOVA VARIETIES

H. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY

J. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE K. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE. . GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION M. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, PERENNIALS/ANNUALS SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND N. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE

B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT,

D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.

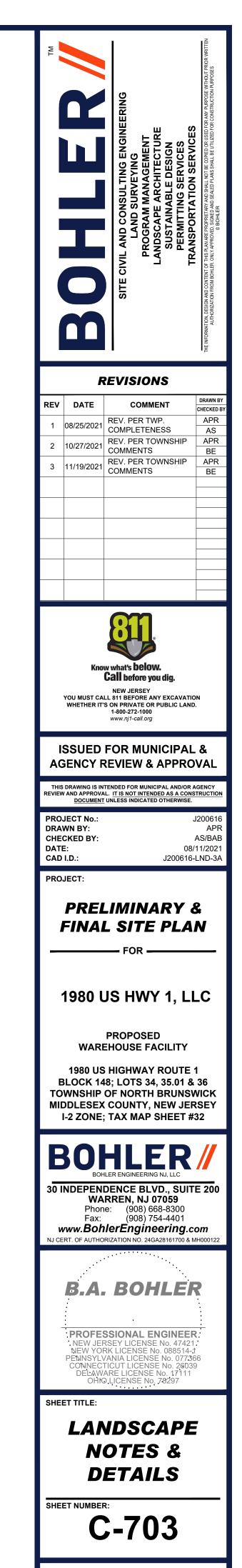
F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED AT THE OWNER'S REQUEST OR IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES. A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT REQUIRED TO ENSURE THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER.

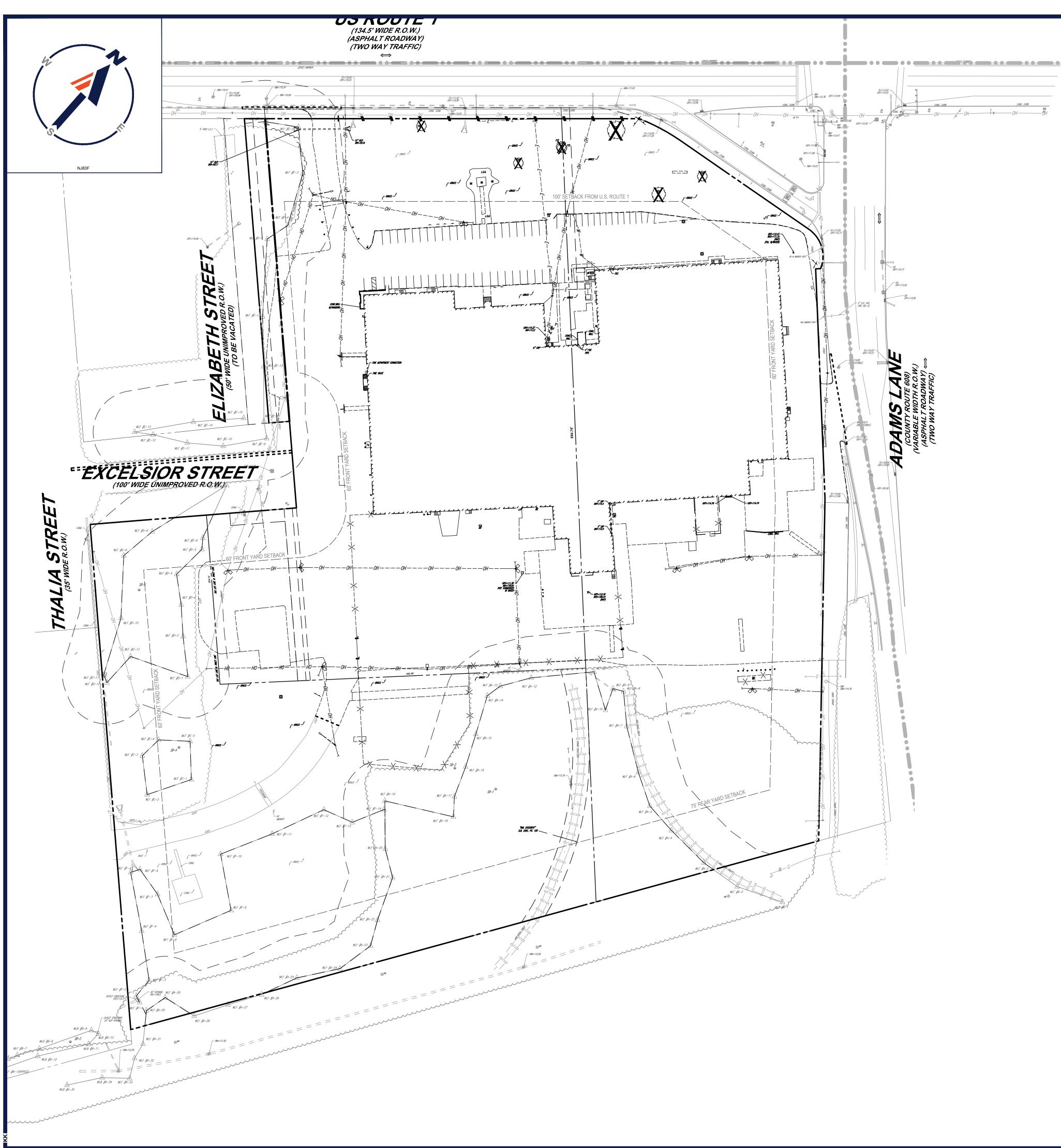
C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH. A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 1 YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE LANDSCAPE ARCHITECT

AND/OR ENGINEER AND THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION. C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN.

CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

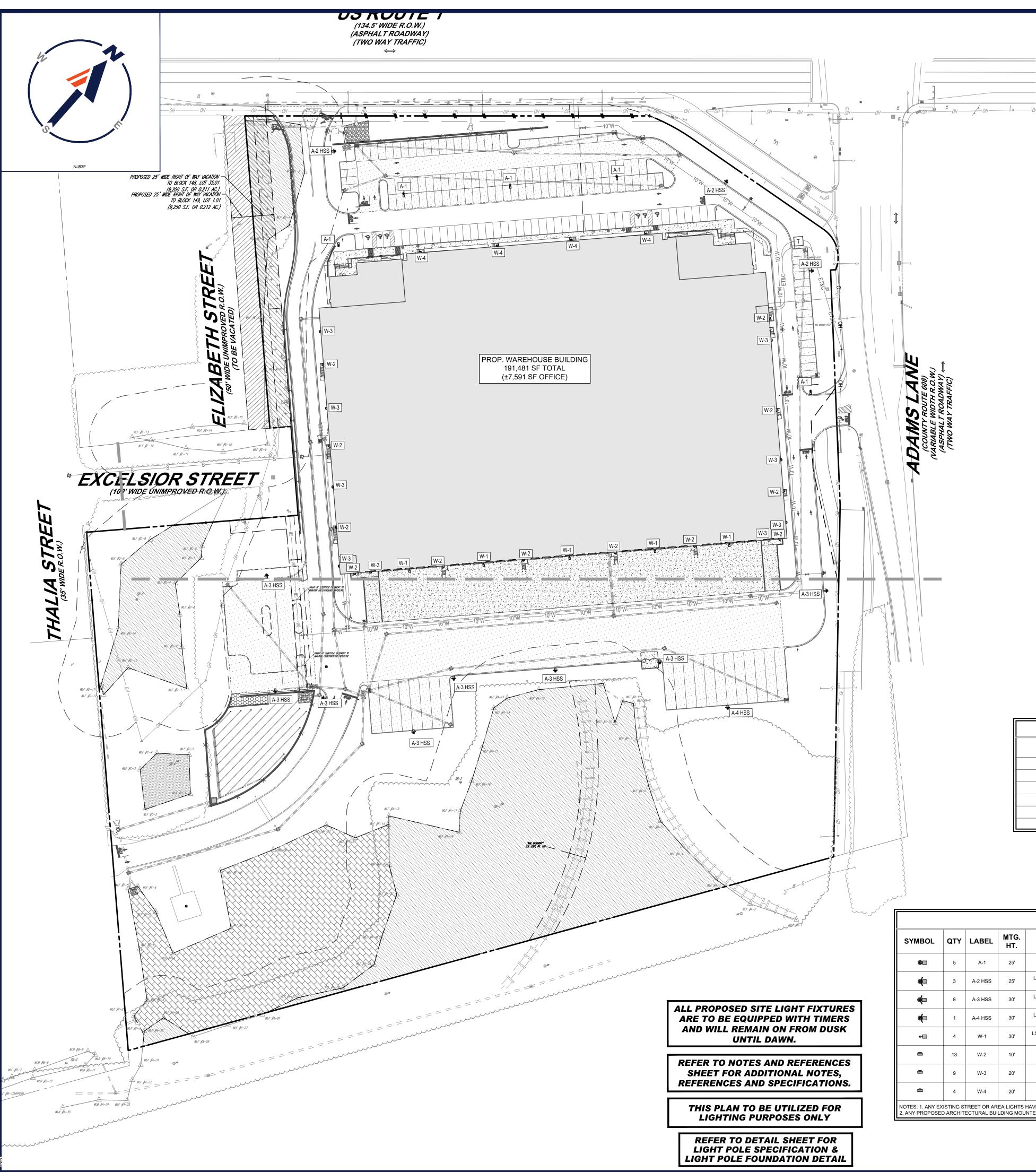
A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE





)616\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\J200616-TRP-3A----->LAYOUT: C-

		LUE CALCUL		. ₩			RIOR W
F	PER SECTION: 205-40.6 RE FOR TREES WITH A DP					ត	AN' PURPOSE WITHOUT PRIOR WRITTEI CONSTRUCTION PURPOSES
REPLACE	MENT TREES	REQU	IREMENT			EERIN	
PERCENTAGE OF TREES REMOVED	PERCENTAGE OF TREES TO BE REPLACED WITH TREES REPLACEMENT TREES (MIN. SIZE 2.5" CALIPER)	TREES TO BE REMOVED	REQUIRED FOR REPLACEMENT			CONSULTING ENGINEERING ND SURVEYING AM MANAGEMENT APE ARCHITECTURE AINABLE DESIGN IITTING SERVICES	IRTATION SERVICES RIFTARY AND SHALL NOT BE COPIED OR USED FOR REPAND SEALED PLANS SHALL BE UTILIZED FOR
80 - 100 % 60 - 79%	70% 50%	5 TREES BETWEEN 6-24"	70% OF TREES TO BE REPLACED		Ι	SITE CIVIL AND CONS LAND SL PROGRAM N LANDSCAPE / SUSTAINAI PERMITTIN	TRANSPO HE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROP AUTHORIZATION FROM BOHLER, OULY APPOVED, SIG
40 - 59% 20 - 39%	30% 20%	(100%)	5 X 70% = 3.5 OR 4 TREES			I I I I	ID CONTENT
LESS THAN 20%	10%					S	I, DESIGN AN HORIZATION
				- -			INFORMATION
	ENT TREE VAL					I	Ē
	FOR SPECIAL FOR SPECIA				R	EVISIONS	
REPLACEN	MENT TREES	REQU	IREMENT	REV	DATE	COMMENT REV. PER TWP.	DRAWI CHECKE AP
EXISTING TREE TO BE REMOVED	NUMBER OF REPLACEMENT TREES (MIN. SIZE 2.5" CALIPER)	TREES TO BE REMOVED	REQUIRED FOR REPLACEMENT	2	08/25/2021 10/27/2021 11/19/2021	COMPLETENESS REV. PER TOWNSHIF COMMENTS REV. PER TOWNSHIF COMMENTS	BI
24 INCHES TO 30 INCHES	5	2	10				
31 INCHES TO 36 INCHES	7	-	-				
37 INCHES TO 40 INCHES 41 INCHES OR GREATER	9 10	-	-				
	TALS:	2	10				
	OTAL REPLAC EES + TABLE B(2) 10 TREES = 14 TRE PROPOSED REPLACEMI 14 SHADE TREES ( TOTAL: 14	EES @ 2.5" CALIPER REQUIRED ENT TREES: 14 TREES @ 2.5-3" CALIPER		F		w what's below. Call before you dig.	
	ECT TO APPROVAL BY THE APP ER TO BE UTILIZED AS MULCH W VNSHIP APPROVAL NOT BE REC ED WITH A HIGH NITROGEN, LIC	VITHIN LANDSCAPE AREAS QUIRED, THE CHIPS STILL   QUID FERTILIZER AND/OR A	FICIALS IN 5. SHOULD MUST BE .LLOWED TO	DRA CHE DAT		(	J2006 A AS/B 08/11/20
	ECT TO APPROVAL BY THE APP ER TO BE UTILIZED AS MULCH W VNSHIP APPROVAL NOT BE REC	PROPRIATE TOWNSHIP OF VITHIN LANDSCAPE AREAS QUIRED, THE CHIPS STILL QUID FERTILIZER AND/OR A VITHIN A PLANTING BED AR	RE WITHIN A THEY MAY BE FICIALS IN 5. SHOULD MUST BE LLOWED TO	PRO DRA CHE DATI CAD PRO	JECT No.: WN BY: CKED BY: E: I.D.: JECT: <b>PREL</b> FINAL	J2006 J2006 J2006 J2006 J2006 J2006	J200 AS/E 08/11/2 6-TRF
	ECT TO APPROVAL BY THE APP TO BE UTILIZED AS MULCH W VNSHIP APPROVAL NOT BE REC ED WITH A HIGH NITROGEN, LIC AGE PRIOR TO BEING USED W EXISTING TREE TO B TREE LOCATION EXISTING TREE TO TREE LOCATION	PROPRIATE TOWNSHIP OF VITHIN LANDSCAPE AREAS QUIRED, THE CHIPS STILL I QUID FERTILIZER AND/OR A VITHIN A PLANTING BED AR VITHIN A PLANTING BED AR BE REMOVED - TREE CALIPER	RE WITHIN A THEY MAY BE FICIALS IN 5. SHOULD MUST BE LLOWED TO	PRO DRA CHE DATI CAD PRO	JECT No.: WN BY: CKED BY: E: I.D.: JECT: <b>PREL</b> FINAL	J2006 JIMINARY L SITE PLA	J200 AS/E 08/11/2 16-TRP
	ECT TO APPROVAL BY THE APP TO BE UTILIZED AS MULCH W VNSHIP APPROVAL NOT BE REC ED WITH A HIGH NITROGEN, LIC AGE PRIOR TO BEING USED W EXISTING TREE TO B LOCATION EXISTING TREE TO EXISTING TREE TO DIAL	PROPRIATE TOWNSHIP OFI VITHIN LANDSCAPE AREAS QUIRED, THE CHIPS STILL I QUID FERTILIZER AND/OR A VITHIN A PLANTING BED AR VAL KEY BE REMOVED - TREE CALIPER O REMAIN - TREE CALIPER ECIES	RE WITHIN A THEY MAY BE FICIALS IN 5. SHOULD MUST BE LLOWED TO	PRO DRA CHE DATI CAD PRO	JECT No.: WN BY: CKED BY: E: I.D.: JECT: <b>PREL</b> FINAL 1980 US 3LOCK 14 WNSHIP ODLESEX	J2006 J2006 J2006 J2006 J2006 J2006 J2006 J2006 J2006 J2006	LC 5E. 1200 AS/E 08/11/2 16-TRP & AN E 1 & 36 SWIC ERSE
	ECT TO APPROVAL BY THE APP ER TO BE UTILIZED AS MULCH W VNSHIP APPROVAL NOT BE REC ED WITH A HIGH NITROGEN, LIC AGE PRIOR TO BEING USED W EXISTING TREE TO B ICCATION EXISTING TREE TO EXISTING TREE TO TREE LOCATION TREE LOCATION	PROPRIATE TOWNSHIP OFI VITHIN LANDSCAPE AREAS QUIRED, THE CHIPS STILL I QUID FERTILIZER AND/OR A VITHIN A PLANTING BED AR VAL KEY BE REMOVED - TREE CALIPER O REMAIN - TREE CALIPER ECIES E	RE WITHIN A THEY MAY BE FICIALS IN 5. SHOULD MUST BE LLOWED TO	PRO DRA CHE DATI CAD PRO PRO E TO MII	JECT No.: WN BY: CKED BY: E: I.D.: JECT: <b>PREL</b> FINAL 1980 US 3LOCK 14 WNSHIP DDLESEX I-2 ZONE; BOLESEX I-2 ZONE; BOLESEX I-2 ZONE; BOLESEX	J2006 J2006 J2006 J2006 J2006 J2007	E. J200 AS/E 08/11/2 16-TRP <b>&amp;</b> <b>A</b> <b>A</b> <b>A</b> <b>A</b> <b>A</b> <b>C</b> <b>C</b> <b>C</b> <b>C</b> <b>C</b> <b>C</b> <b>C</b> <b>C</b>
	ECT TO APPROVAL BY THE APP ER TO BE UTILIZED AS MULCH W WISHIP APPROVAL NOT BE REC ED WITH A HIGH NITROGEN, LIC AGE PRIOR TO BEING USED W EXISTING TREE TO B UCATION EXISTING TREE TO EXISTING TR	PROPRIATE TOWNSHIP OFINITHIN LANDSCAPE AREAS QUIRED, THE CHIPS STILL I QUID FERTILIZER AND/OR A VITHIN A PLANTING BED AR VAL KEY BE REMOVED - TREE CALIPER O REMAIN - TREE CALIPER E E COTES AND REFE	RENCES	PRO DRA CHE DATI CAD PRO PRO E TO MII	JECT No.: WN BY: CKED BY: CKED BY: CKED BY: CKED BY: CKED BY: CHARMAN JECT: <b>PREL</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b>10:</b> <b></b>	J2006 J2006 J2006 J2006 J2006 J2007	E. J200 AS/E D8/11/2 16-TRP & AN LC E 1 & 36 SWIC RSE #32 ITE 2 Com & MH000 R ER ER 21. 4-1 339
	ECT TO APPROVAL BY THE APP TO BE UTILIZED AS MULCH W VINSHIP APPROVAL NOT BE REC ED WITH A HIGH NITROGEN, LIC AGE PRIOR TO BEING USED W EXISTING TREE TO B EXISTING TREE TO B EXISTING TREE TO EXISTING TREE TO EXISTING TREE TO TREE LOCATION EXISTING TREE TO RED MAPL RED MAPL RED OAK PIN OAK REFERENCES THIS PLAN	PROPRIATE TOWNSHIP OF WITHIN LANDSCAPE AREAS QUIRED, THE CHIPS STILL QUID FERTILIZER AND/OR A WITHIN A PLANTING BED AR VAL KEY BE REMOVED - TREE CALIPER O REMAIN - TREE CALIPER E E COTES AND REFE R ADDITIONAL N S AND SPECIFIC R TO LANDSCAP TO BE UTILIZE	RENCES DATES, ATIONS.		JECT No.: WN BY: CKED BY: CKED BY: CKED BY: CKED BY: CKED BY: CHARMAN JECT: JECT: <b>PREL</b> 1980 US 1980	J2006 J2006 J2006 J2006 J2006 J2006 J2007 J2	E. J200 AS/E 08/11/2 16-TRP <b>&amp;</b> <b>A</b> <b>A</b> <b>A</b> <b>A</b> <b>A</b> <b>A</b> <b>A</b> <b>A</b>
	ECT TO APPROVAL BY THE APP TO BE UTILIZED AS MULCH W WINSHIP APPROVAL NOT BE REC ED WITH A HIGH NITROGEN, LIC AGE PRIOR TO BEING USED W EXISTING TREE TO B UNDER THE LOCATION EXISTING TREE TO EXISTING TREE TO TREE LOCATION TREE LOCATION RED MAPL RED OAK PIN OAK REFERENCES REFERENCES	PROPRIATE TOWNSHIP OFINITIAL LANDSCAPE AREAS QUIRED, THE CHIPS STILL I QUID FERTILIZER AND/OR A WITHIN A PLANTING BED AR VAL KEY BE REMOVED - TREE CALIPER O REMAIN - TREE CALIPER E E COTES AND REFE R ADDITIONAL N S AND SPECIFIC TREE CALIPER	RENCES DATES, ATIONS.			J2006 J2006 J2006 J2006 J2007 FOR FOR JS HWY 1, I PROPOSED HOUSE FACILITY HIGHWAY ROUT 8; LOTS 34, 35.01 OF NORTH BRUNS COUNTY, NEW JI TAX MAP SHEET HIGHWAY ROUT 8; LOTS 34, 35.01 OF NORTH BRUNS COUNTY, NEW JI TAX MAP SHEET HIGHWAY ROUT 8; LOTS 34, 35.01 OF NORTH BRUNS COUNTY, NEW JI TAX MAP SHEET HIGHWAY ROUT 8; LOTS 34, 35.01 OF NORTH BRUNS COUNTY, NEW JI TAX MAP SHEET HIGHWAY ROUT 8; LOTS 34, 35.01 OF NORTH BRUNS COUNTY, NEW JI TAX MAP SHEET HIGHWAY ROUT 8; LOTS 34, 35.01 OF NORTH BRUNS COUNTY, NEW JI TAX MAP SHEET BENCE BLVD., SU REN, NJ 07059 e: (908) 668-8300 (908) 754-4401 JENCE BLVD., SU REN, NJ 07059 E (1008) 754-440 JENCE BLVD., SU REN, NJ 0705 JENCE BLVD., SU REN, NJ 0705 JENCE BLVD.,	E. J2000 A AS/E D8/11/20 16-TRP <b>&amp;</b> <b>A</b> <b>A</b> <b>A</b> <b>A</b> <b>A</b> <b>A</b> <b>A</b> <b>A</b>





CALCULATION SUMMARY								
LOCATION	UNITS	AVG.	MAX.	MIN.	AVG./MIN.	MAX./MIN.		
NORTH PROPERTY LINE	FC	0.26	1.6	0.0	N.A.	N.A.		
SOUTH PROPERTY LINE	FC	0.0	0.0	0.0	N.A.	N.A.		
EAST PROPERTY LINE	FC	0.26	1.6	0.0	N.A.	N.A.		
WEST PROPERTY LINE	FC	0.16	0.7	0.0	N.A.	N.A.		
CAR PARKING AREA	FC	1.65	4.2	0.5	3.30	8.40		
TRUCK LOADING SOUTH	FC	2.86	7.1	0.5	5.72	14.20		

													1     08/25/2021     COMPLETENESS     AS       2     10/27/2021     REV. PER TOWNSHIP     AP
													2 11/10/2021 REV. PER TOWNSHIP AP
													3 11/19/2021 COMMENTS BE
	Î												
TH R.	RAFF												
NID.	7 <i>RO</i> . 4 <i>Y T</i>												
	NHAL O M												
				(MR) WAL	M) SEF L MOU	RIES LED INTED A	IIRADA MI DAREA LI REA LIGH A-4 HSS o CALE	GHT & T (A-1,			LED WALL SC	SMRADA (XWM) SERIES         OMCE (W-2, W-3 & W-4)         NOT TO SCALE	<image/> <text><text><text><text><text><text><text><text><text><text></text></text></text></text></text></text></text></text></text></text>
			F	CALCU	LATI	ON SU	IMMAR	Y			TOWNSHIP F	REQUIREMENTS	FINAL SITE PLAN FOR 1980 US HWY 1, LLC
				LOCATION	UNITS	AVG.	AX. MIN.	AVG./MIN.	MAX./MIN			.8 C. PARKING LOT LIGHTING	
5   3				NORTH PROPERTY LINE	FC		1.6 0.0	N.A.	N.A.	$\parallel \parallel$	LOCATION MAXIMUM MOUNTING HEIGHT	REQUIRED     PROPOSED       30'     30' (COMPLIES)	PROPOSED WAREHOUSE FACILITY
				SOUTH PROPERTY LINE	FC		0.0 0.0	N.A.	N.A.		PARKING LOT LIGHT SOURCE	LED LED (COMPLIES)	1980 US HIGHWAY ROUTE 1
				EAST PROPERTY LINE	FC FC		1.6         0.0           0.7         0.0	N.A.	N.A.		PER SECTION: 205-108.k	K. LIGHTING AND ILLUMINATION	BLOCK 148; LOTS 34, 35.01 & 36
3				CAR PARKING AREA	FC		4.2 0.5	3.30	8.40		MAXIMUM LIGHT SPILLAGE AT PROPERT		TOWNSHIP OF NORTH BRUNSWICH MIDDLESEX COUNTY, NEW JERSEN
3				TRUCK LOADING SOUTH	FC	2.86	7.1 0.5	5.72	14.20		IMUM LIGHT SPILLAGE OCCURS AT THE F /EWAY.	ROUTE 1 AND ADAMS LANE INGRESS AND EGRESS	I-2 ZONE; TAX MAP SHEET #32
						LUM	INAIRE	SCHED	ULE				BOHLER ENGINEERING NJ, LLC BOHLER ENGINEERING NJ, DT BOHLER ENGINEERIN
SYMBOL	QTY	LABEL	MTG. HT.	DESCRIPTION	1		ARRNGMN	T. LUMENS	LLF	COLOR TEMP.	IES FILENAME	CATALOG #	
¢.	5	A-1	<b>П</b> . 25'	LSI INDUSTRIES MIRADA MEDIUM (MRM) S	ERIES LED /	AREA LIGHT	SINGLE	23,989	0.900	4000K	MRM-LED-24L-SIL-5W-40-70CRI.IES	MRM-LED-24L-SIL-5W-XXX-XXX-DIM-40-70CRI-BLK	<b>B.A. BOHLER</b>
•	3	A-2 HSS	25'	LSI INDUSTRIES MIRADA MEDIUM (MRM) SE INTEGRAL LOUVER HOUSE SI		REA LIGHT W/	SINGLE	15,919	0.900	4000K	MRM-LED-24L-SIL-FT-40-70CRI-IL.IES	MRM-LED-24L-SIL-FT-XXX-XXX-DIM-40-70CRI-BLK-IL	PROFESSIONAL ENGINEER
•	8	A-3 HSS	30'	LSI INDUSTRIES MIRADA MEDIUM (MRM) SE INTEGRAL LOUVER HOUSE SI	RIES LED AF	REA LIGHT W/	SINGLE	15,919	0.900	4000K	MRM-LED-24L-SIL-FT-40-70CRI-IL.IES	MRM-LED-24L-SIL-FT-XXX-XXX-DIM-40-70CRI-BLK-IL	NEW JERSEY LICENSE No. 47421 NEW YORK LICENSE No. 088514-1 PENNSYI VANIA LICENSE No. 077366
•	1	A-4 HSS	30'	LSI INDUSTRIES MIRADA MEDIUM (MRM) SE	RIES LED AF	REA LIGHT W/	SINGLE	30,899	0.900	4000K	MRM-LED-48L-SIL-FT-40-70CRI-IL.IES	MRM-LED-48L-SIL-FT-XXX-XXX-DIM-40-70CRI-BLK-IL	CONNECTICUT LICENSE No. 26039 DELAWARE LICENSE No. 17111 OHIO LICENSE No. 78297
 	· ·		30'	INTEGRAL LOUVER HOUSE SI		ALL MOUNTED	SINGLE	48,810	0.900	4000K	MRM-LED-48L-SIL-FT-40-70CRI.IES	MRM-LED-48L-SIL-FT-XXX-XXX-DIM-40-70CRI-PLP	SHEET TITLE:
	А	\// 1		AREA LIGHT			SINGLE						
	4	W-1						A ·				XWM-FT-LED-03L-40-XXX-BLK-DIM-PLP	
	4 13 9	W-1 W-2 W-3	10' 20'	LSI INDUSTRIES MIRADA (XWM) SERIES			SINGLE	3,105 6,057	0.900	4000K 4000K	XWM-FT-LED-03L-40.IES XWM-FT-LED-06L-40.IES	XWM-FT-LED-06L-40-XXX-BLK-DIM-PLP	OVERALL LIGHTING
6	13	W-2	10'	LSI INDUSTRIES MIRADA (XWM) SERIES	LED WALL	SCONCE							-
C NOTES: 1. ANY E	13 9 4 XISTING S	W-2 W-3 W-4 IREET OR AF	10' 20' 20' REA LIGHTS	LSI INDUSTRIES MIRADA (XWM) SERIES	EED WALL	SCONCE	SINGLE	6,057	0.900	4000K	XWM-FT-LED-06L-40.IES	XWM-FT-LED-06L-40-XXX-BLK-DIM-PLP	LIGHTING

#### LIGHTING NOTES

(Rev. 1/2020)

REV DATE

REVISIONS

1 08/25/2021 REV. PER TWP. COMPLETENESS

COMMENT

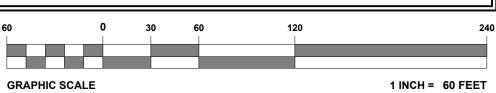
AP AS

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. 2. THE LIGHTING CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS,
- INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS. 3. THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE
- NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS. 4. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC
- PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDLES (FC). 5. THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND RE-LAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNER'S.
- 6. THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES. POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S, MECHANICAL ENGINEER'S AND/OR LIGHTING CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE LIGHTING CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN
- ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES. 7. THE CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES,
- OR OTHER STRUCTURE(S) TO THE ENGINEER OF RECORD'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO ENSURE OF RECORD S AT FENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
   THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.
   THE ACTUAL LIGHTING LEVELS MUST BE VERIFIED IN THE FIELD AND FIXTURES ADJUSTED ACCORDINGLY, BY THE CONTRACTOR, TO ACHIEVE THE APPROVED LIGHT LEVELS.
- 10. ILLUMINATION LEVELS SHOWN ON THE PLAN HAVE BEEN CALCULATED FOR PROPOSED LIGHTS ONLY. ACTUAL ILLUMINATION
- LEVELS IN THE FIELD MAY DIFFER FROM THOSE DEPICTED ON THE PLAN DUE TO INTERFERENCE FROM EXISTING/AMBIENT LIGHTS WHOSE ILLUMINATION LEVELS ARE NOT REFLECTED ON THIS PLAN. 11. ILLUMINATION LEVELS SHOWN ON THE PLAN WERE CALCULATED WITH LIGHTING DESIGN SOFTWARE AGI32 BY LIGHTING ANALYST

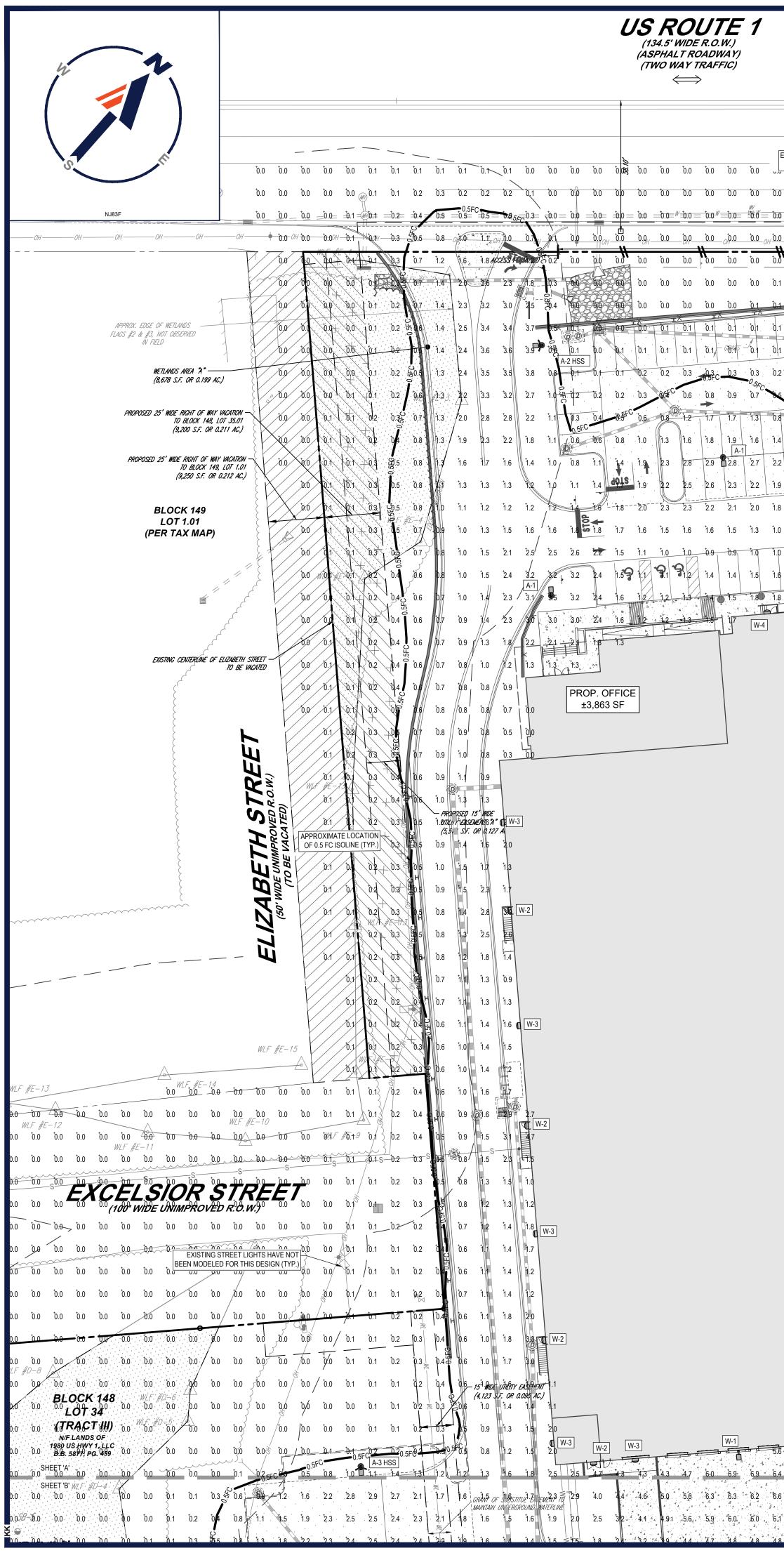




TOWNSHIP REQU	IREMEN	TS								
PER SECTION: 205-68.8 C. PARKING LOT LIGHTING										
LOCATION	REQUIRED	PROPOSED								
MAXIMUM MOUNTING HEIGHT	30'	30' (COMPLIES)								
PARKING LOT LIGHT SOURCE	LED	LED (COMPLIES)								
PER SECTION: 205-108.K. LIGHTING	AND ILLUMINATIO	N								
MAXIMUM LIGHT SPILLAGE AT PROPERTY LINE	0.5 FC	1.6 FC (WAIVER)								
XIMUM LIGHT SPILLAGE OCCURS AT THE ROUTE 1 AND	ADAMS LANE INGRE	ESS AND EGRESS								



**REVISION 3 - 11/19/2021** 

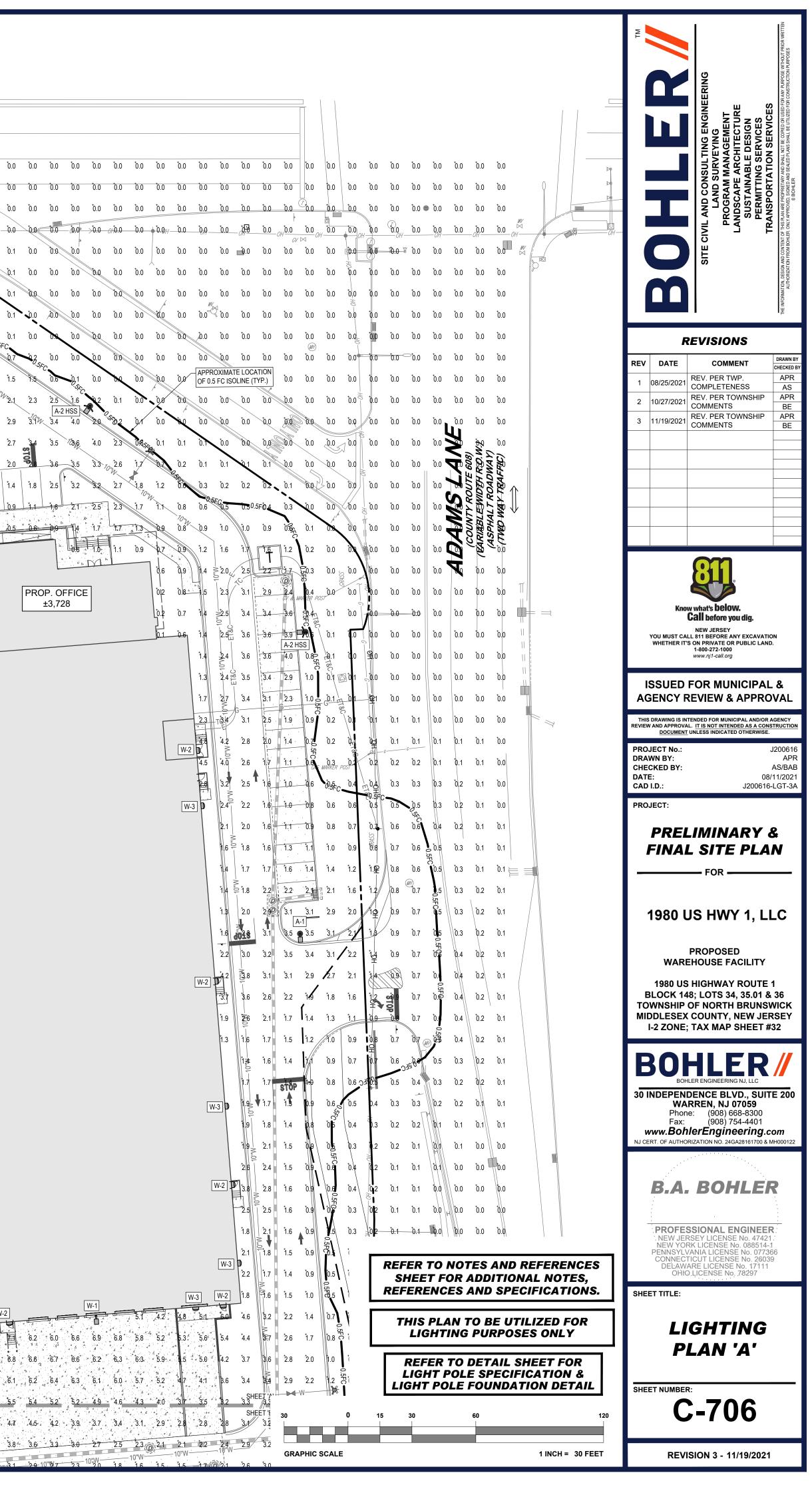


E	XISTI												/				ASEMENTS V JERSEY																						
J.U	0.	MOD		0 FOR 1	HIS DE	SIGN (1	YP.) U.0	0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	).0 <sup>†</sup>	0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0
0.0	<sup>†</sup> 0.	0	0.0	<sup>†</sup> 0.0	0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	0.0	<sup>†</sup> 0.0	0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.1	<sup>‡</sup> 0.0	<sup>‡</sup> 0.0	<sup>†</sup> 0.0	<sup>‡</sup> 0.0	+0 0.0	0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>‡</sup> 0.0	<sup>†</sup> 0.0	).0_t	).0	0.0	0.0	0.0	<sup>+</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	0.0	Ō
).0	0	0= =	0.0	W. 0,0	<b>0.0</b>	<sup>₩</sup> <u>+0.0</u>	0.0 <sup>//</sup>	/0.0	=0.0=	= <sup>†</sup> 0.0		<u>-</u> 0.0/	/_ <i>W</i> = 0 <del>.1</del>	=_0.1=	<i>₩</i> =0_1 =	//	<u></u> 0.1	////////////	0.1		_ <b>=0</b> .1=	- <i>W</i>	/ 0.1	// =0.1 ==	 M0_1	<b>=</b> •0.1==	₩ •0≓1	<sup>†</sup> 0.1	₩ Ō.1 Č	 ).1 Č	).1	0.1	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	† 0
0.0	<sup>†</sup> 0.	0	<sup>†</sup> 0.1	Ō.1,,	<sup>†</sup> 0.1	<sup>†</sup> 0,1	∏ ,, <sup>†</sup> 0.1	<b>0</b> .1	<sup>†</sup> 0.1 <sub>04</sub>	<sup>†</sup> 0.1		÷ <b>0</b> .1		<sup>†</sup> 0.1	.∩H <sup>†</sup> 0.2	<sup>†</sup> 0.2 (	0.2 <sup>↓</sup>	0.2)⊬	₹0.2		<sup>†</sup> 0.2	<sup>†</sup> 0.2		÷0.2	÷0,2/	<sup>†</sup> 0.2	- 10/2	<sup>†</sup> 0.2	<u>†0.2</u> †	).2-0H-t	).1——	- <b>0.1</b> 0#—	<u>†0.0</u>	- <b>0</b> 00	0.0	Ø.0°	→ <b>0.0</b> _6		- D
											<sup>†</sup> 0.2								. I I	NO M	VICC					-	~	0.4		<hr/>									
																				0.00				7				0.4 0.5FC 0.5											
								1	X					0						0.5FC <b>−</b> 10.5			F=							).4 (		0.1		<sup>†</sup> 0.0	<sup>•</sup> 0.0	<sup>*</sup> 0.0	<sup>\$0.0</sup>	<sup>†</sup> 0.0	Ō.
).1	† 		0.2	- 10.3	0.4	X05	0.9.	ŝ <b>F</b> €0.5	0.5	5FC 0.5	0.5	0.5 <sup>0</sup>	<sup>†</sup> 0.6	<sup>†</sup> 0.6	0.7	0.8	0.8	0.8	0.8	0.7	0.7	0.6	0.6	0.7	0.7	20.7	-0.7	0.7	<sup>†</sup> 0.6 .97†	).5 <sup>†</sup>	).3	0.	<sup>†</sup> 0.1	0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	ţ D
1.1	. p.	1 · 1	0.2	0.3	0.5	0.6	<sup>†</sup> 0.6	0.6	0.6	0.6	0.7	0.7	0.7	0.7	0.8	0.9	0.9	0.9	0.9	0.8	0.8	0.9	0.9	<sup>†</sup> 0.9 –	<b>⊨</b> 0.9	0.9	08°W	<sup>†</sup> 0.7	0.6	5 t	).3	<sup>†</sup> 0.2	0.1	<b>.</b> 0.0	0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	Ō
5.1	• •	2	0.2	<sup>†</sup> 0.4	0.5	0.7	0.7	0.8	0.8	0.9	0.9	009	0.9	0.9	0.9	0.9	1.0	1.0	0.9	0.9	1.1	1.3	1.3	1.3	1.4	1.3	1.0	0.8	;77. 10.7 (	0.6 C		<sup>†</sup> 0.3	<sup>†</sup> 0.1	<sup>†</sup> 0.0	0.0	<sup>†</sup> 0.0	<sup>\$</sup> 0.0	<sup>†</sup> 0.0	† 0
	•				5				· . ·		· ·	1. I.	· .	· · · .			· .			1.1	· · ·	1 A.						0.9	W	, 7 X		0.5FC		<b>_</b> 1 2	<sup>†</sup> 0.0	<sup>†</sup> 0.0	.†∩∩	<sup>†</sup> 0.0	ħ
			•	· /.			· · · ·	· · ·	+ _	+-	1.0						$\frac{1}{1}$		•   .	[ . ] ·		·   · .	· ·	[· · ]		· ·				19%	1.		+	0.50	, +				
	0.5			0.5		1.	0.9	1.1	-1.7	-2.1	21	2.3	2.1	1.5	1.1	1.0	1.0	1.0	1.0		16	·  . ·		3.1 A-	ī <u>,</u> ↓			1.0	7	$\mathcal{M}$		1.2 10m		37.5	0.6	01 	<sup>†</sup> 0.0	<b>*</b> .9	0
<b>).8</b>	<b>0</b> .	õ	0.5	0.6	0.7	0.7	0.9	1.3	2.1	3.0	3.0	3.1 A-1	<sup>‡</sup> 2.6	1.7	1.1	1.0	1.0	1.0	1.0		1.5	2.4	3.2	₿.6	3.1	2.2	1.5	1.1	Ť.1 Ť	1.2 ∭ 1	.4	<sup>1</sup> .8	× <u>₹</u> 2.1	<sup>‡</sup> 2.3	<sup>‡</sup> 2.5		<sup>†</sup> 2	<sup>†</sup> 0.1	<sup>†</sup> 0
1.4	. 1.		0.9	0.9	0.8	0.8	0.9	1.3	2.0	3.0	3.0	3.3	2.7	1.7	1.2	1.0	1.0	1.0	1.0	1.1	<sup>1</sup> .5	2.4	3.2	3.1	3.1	2.4	1.6	1.2	92	<b>A</b> 1	.7	<sup>‡</sup> 2.2	<sup>‡</sup> 2.9	3.1W	<sup>3.4</sup>	4.0	30 <sup>.5</sup>	×02	Ď
2.2	1	7 . 1	1.4	1.3	11	1.0	1.0	1.3	<sup>‡</sup> 2.0	<sup>†</sup> 3.0	3.1	3.1	2.7	18	1.2	10	1.0-	-1.0-	-1.0-	+ <u>+</u>	<u></u> 1.5	2.1	 <sup>†</sup> 2.4	<sup>‡</sup> 2.3	<sup>‡</sup> 2.3	<sup>‡</sup> 2.0	<sup>†</sup> 1.5	<sup>‡</sup> 1.2 ◀	<b>1</b> .1 1	l.3 <sup>†</sup>	.6	<sup>‡</sup> 2.0	<sup>‡</sup> 2.7	<sup>⁺</sup> 3.4	<sup>†</sup> 3.5	<sup>7</sup> (3)6	<sup>‡</sup> .0	<sup>+</sup> 2.3	<b>P</b>
1.9	1	5	1.3	1.2_	1 1		10	1.3	1.8	2.4	<u></u> ]. 2.4	<u>-</u> ⊥. 2.3	<sup>2</sup> .1	1.6	<sup>†</sup> 1.2	<sup>†</sup> 1.0	<sup>‡</sup> 1.0	<sup>†</sup> 1.1	<sup>†</sup> 1.1	<sup>†</sup> 1.0	<sup>†</sup> 1.2	<sup>†</sup> 1.5	<sup>†</sup> 1.6	<sup>†</sup> 1.5	<sup>†</sup> 1.5	<sup>†</sup> 1.5	<sup>†</sup> 1.3	<sup>†</sup> 1.1 🛏	<b>i⊩1</b> 1	l.1 <sup>1</sup>	.3	<sup>†</sup> 1.6	<sup>†</sup> 2.0	TOP	_ <del>3.6</del>	- <sup>3</sup> .5	<sup>+</sup> 3.3 To	, <sup>‡</sup> 2.6	1
<u></u>	<u>L</u> 1.	5 1	<u></u>	<sup>1</sup> 0	'nο	'no	∱∩α	<sup>†</sup> 1	<sup>‡</sup> 1∕I	<sup>†</sup> 16										, 1															<sup>‡</sup> 2.5			<sup>*</sup> / <sub>2.7</sub>	
																				.						1 1	I I K	1.6 <b>-</b>											بر. +
1.0	0.	7	0.6	0.6	0.8	0.9	1.0	1.2	1.4		1.4	1.3	1.3	1.3	1.3	1.5	<sup>†</sup> 1.8	2.1	21	1.9	1.8	1.6	1.6	<sup>†</sup> 1.7	1.9	2.0	2.1	2.1	2.0 1	7 1	3	1.0	0.9	<u></u>	1.6	21 ⊾	°2.5 ⊾	2.3	1
1.0	<sup>†</sup> d.	9	0.8	1.0	<sup>1</sup> .2	1.4	<sup>†</sup> 1.6	<sup>†</sup> 1.8	<sup>‡</sup> 2.0	<sup>‡</sup> 2.1	<sup>‡</sup> 2.0	1.9	<sup>†</sup> 1.7	1.7	<sup>†</sup> 1.9	<sup>‡</sup> 2.1	2.3	2.3	2.3	22	19	17	0 8	1.7		21	24 A		2.3	.7⊾	3	0.8	<u>*0.5</u>	<u>06</u>	<b>1</b> 9	14	1.7	1.7	
1.6	1.	5	<sup>†</sup> 1.5	1.5	<sup>†</sup> 1.5	1.7	1.8	2.0	22	-22	-2,1	1.8	17	<sup>1</sup> 1.8	1.8	<u>1.9</u>	24	2.8		P.5	1.9	<sup>+</sup> 1.6	1.5	1.5			W-4			·····		-Lee			A		10	1.1	<sup>†</sup> 0
1.8	ر) لالم لا	j <sup>a</sup>	1.6	1.5	1.6	1.6	1.8	2.2		A 2.5	2.3							۷	V-4																	Å Þ	<u>Y1.</u> *		
1										W-4	]																						Г	PROF	2. OF	FICF	1		
																																			3,728				

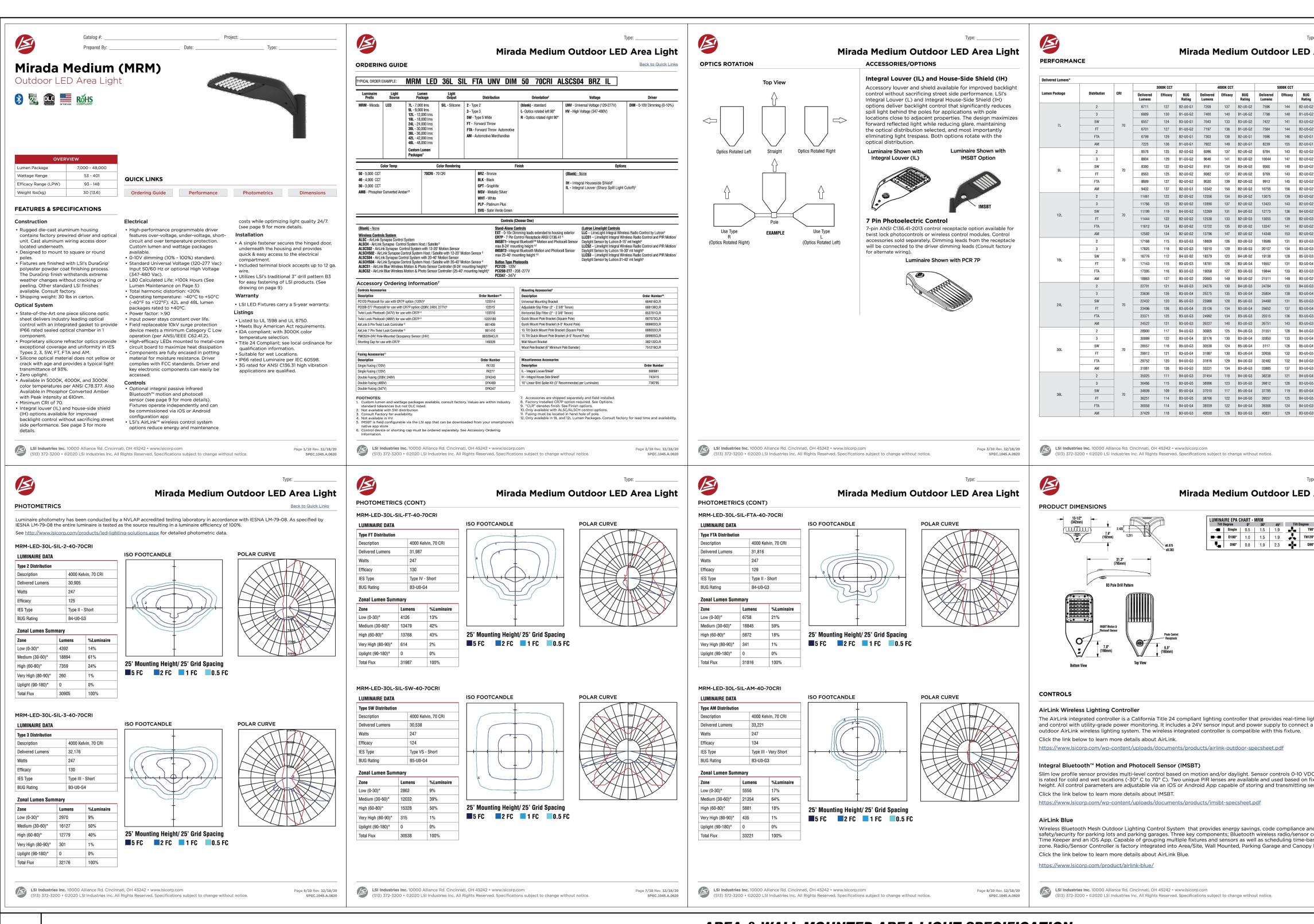
PROP. WAREHOUSE BUILDING 191,481 SF TOTAL (±7,591 SF OFFICE)

ANY PROPOSED ARCHITECTURAL BUILDING MOUNTED LIGHTS HAVE NOT BEEN MODELED FOR THIS DESIGN (TYP.)

 W2
 <th



0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0		W-2 3.8 2.8 1.6 0.9 0.6 0.4 02 0.1 0.1	AR WRITTEN
10       0.		$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	
$\begin{array}{c ccccccccccccccccccccccccccccccccccc$		W-3 $1.8$ $1.5$ $0.9$ $0.1$ $0.3$ $02$ $0.1$ $0.1$ W-3 $1.7$ $1.4$ $0.9$ $0.5$ $0.3$ $02$ $0.1$ $0.1$ W-3 $W-2$ $1.8$ $1.6$ $1.5$ $1.0$ $0.5$ $0.3$ $02$ $0.1$ $0.1$ W-3 $W-2$ $1.8$ $1.6$ $1.5$ $1.0$ $0.3$ $02$ $0.1$ $0.1$	
$S = \begin{bmatrix} \#D-8 \\ 0 & 0.0 &$	W-2     W-2     W-1       W-1     W-2     0.1	1     1     1     1     1     1       5.1     4.2     4.8     5.1     6.0     4.6     3.2     2.2     1.4     0.7     0.3     0.2     0.1     0.1       5.8     5.2     5.3     5.6     5.4     4.4     6.7     2.6     1.7     0.8     0.3     0.2     0.1     0.1	NSULTING SURVEYIN SURVEYING A MANAGE A ACHITE A ACHITE ING SERVI ING SERVI ING SERVI TATION SE
$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	W-2       W-2       W-1       W-1       W-1       W-2       W-1       W-2	6:3 5.9 5.5 5.0 4.2 3.7 3.6 2.8 2.0 1.0 0.3 5.2 0.1 0.1 5.7 5.2 47 4.1 8.6 3.4 54 2.9 2.2 1.2 50.3 1.2 0.1 0.1	L AND COL LAND PROGRAM ANDSCAPE SUSTAIN PERMITT RANSPORT REMITT RANSPORT
$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	25 47 43 43 47 60 69 69 64 64 70 70 64 62 69 69 64 61 61 60 57 53 49 49 52 56 56 56 56 56 56 56 56 56 56 56 56 56	4.3 4.0 3/7 3.5 3.2 3.3 3.3 2.9 2.7 1.5 0.3 <b>BLOCK</b> 014 SHEET B 3.1 2.9 2.8 2.8 2.8 3.4 3.2 3.0 3.2 18 0.3 <b>LOT 37.01</b> A.3 HSS <b>NEET B</b> <b>N/F LANDS OF</b>	TF L
$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	$\frac{10^{10}}{1.0} = 2.5  32^{-4} \cdot 4.4  4.9 = 5.6_{4}  5.9  6.0  6.0  6.1  6.0  5.7  5.8  5.6  5.4  5.4  5.2  4.9  4.8  4.5  4.3  4.1  4.0  4.0  3.8  3.7  3.7  3.7  3.7  3.7  3.7  3.7  3.7  3.6  3.5  3.3  3.2  3.2  3.3  3.4  3.6  3.8  3.6  3.8  3.6  3.5  3.3  3.2  3.2  3.3  3.4  3.6  3.8  3.6  3.8  3.6  3.5  3.4  3.2  3.7  3.$	2.3       2.1       2.1       2.2       2.4       2.9       3.2       3.0       3.2       1.       0.3       0.1 CoRPDRA RIÓN         10"W       10"W       10"W       2.9       3.0       2.8       2.9       2.1       0.3       0.1 CoRPDRA RIÓN         1.6       1.5       1.5       1.7       0.2       1       2.6       3.0       2.8       2.9       2.1       20.3	Не меокматом обс
$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	13 1.5 2.0 2.6 31 3.3 3.4 3.5 3.6 3.6 3.7 3.8 3.9 3.8 3.9 3.8 3.9 3.8 3.5 3.6 3.7 3.8 3.9 3.8 3.5 3.6 3.7 3.8 3.9 3.8 3.5 3.6 3.7 3.8 3.9 3.8 3.5 3.6 3.7 3.8 3.9 3.8 3.5 3.6 3.7 3.8 3.9 3.8 3.5 3.6 3.7 3.8 3.9 3.8 3.5 3.6 3.7 3.8 3.9 3.8 3.5 3.6 3.7 3.0 3.1 3.0 3.0 3.1 3.0 3.0 3.1 3.0 2.9 2.7 2.5 2.5 2.4 2.5 2.6 2.7 2.8 2.9 2.0 2.5 2.4 2.3 2.4 2.5 2.6 2.6 2.4 2.3 2.4 2.5 2.6 2.6 2.4 2.3 2.4 2.5 2.6 2.6 2.4 2.3 2.4 2.5 2.6 2.6 2.4 2.3 2.4 2.4 2.4 2.4 2.4 2.4 2.4 2.4 2.4 2.4	1.1 $1.0$ $1.1$ $1.4$ $1.8$ $2.3$ $2.8$ $2.6$ $2.3$ $1.7$ $0.2$ $0.1$ $0.1$ $0.1$ $0.0$ $0.7$ $0.9$ $1.1$ $1.5$ $1.9$ $2.3$ $2.3$ $1.9$ $1.4$ $5.0$	
$ \begin{array}{c ccccccccccccccccccccccccccccccccccc$	14       16       10       18       12:0v       20       22       23       24       2.5       2.6       2.5       2.6 <td>0.6     0.8     1.0     1.4     1.7     1.9     1.9     1.3     1.1     0.3     0.1     0.1     0.0       0.6     0.7     0.8     1.0     1.2     1.5     1.5     1.4     1.2     0.9     0.3     0.1     0.1     0.0</td> <td>REVDATECOMMENTDRAWN BY CHECKED BY108/25/2021REV. PER TWP. COMPLETENESSAPR210/27/2021REV. PER TOWNSHIP COMMENTSAPR</td>	0.6     0.8     1.0     1.4     1.7     1.9     1.9     1.3     1.1     0.3     0.1     0.1     0.0       0.6     0.7     0.8     1.0     1.2     1.5     1.5     1.4     1.2     0.9     0.3     0.1     0.1     0.0	REVDATECOMMENTDRAWN BY CHECKED BY108/25/2021REV. PER TWP. COMPLETENESSAPR210/27/2021REV. PER TOWNSHIP COMMENTSAPR
0.0 $0.0$	1.7       1.6       1.5       1.3       1.2       1.2       1.3       1.6       1.9       2.2       2.5       2.7       2.9       2.0       2.9       2.0       2.9       2.0       2.9       2.0       2.9       2.0       2.9       2.0       2.9       2.0       2	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	3 11/19/2021 REV. PER TOWNSHIP COMMENTS BE
$ \begin{array}{ c c c c c c c c c c c c c c c c c c c$	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	
$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	DHSID BLOCK 148	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	
b.0	WIF #A-72       OF 0.5 FC ISOLINE (IYP.)       Image: Non-state of the state of the st	3.2       2.6       1.9       1.1 GO 0.5       0.3       0.1       0.1       0.0	<b>811</b> .
D.0       D	$\frac{2}{2}$ $\frac{2}{2}$ $\frac{2}{2}$ $\frac{2}{2}$ $\frac{2}{1}$ $\frac{2}{1}$ $\frac{2}{2}$ $\frac{2}{1}$ $\frac{2}$	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	Know what's <b>below.</b> Call before you dig. NEW JERSEY
$\begin{array}{cccccccccccccccccccccccccccccccccccc$	$\begin{array}{ c c c c c c c c c c c c c c c c c c c$	$ \begin{array}{c ccccccccccccccccccccccccccccccccccc$	NEW JERSEY YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND. 1.800-272-1000 www.nj1-call.org
b.0	0.3       0.3       0.3       0.3       0.3       0.3       0.3       0.3       0.3       0.3       0.3       0.3       0.3       0.2       0.2       0.1       0.1       0.0       0	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY
b.0	b.1 $b.1$ $b.1$ $b.1$ $b.1$ $b.1$ $b.1$ $b.1$ $b.1$ $b.0$	0.0       0.0       0.0       0.0       0.0       0.0       0.0       0.0       0.0         0.0       0.0       0.0       0.0       0.0       0.0       0.0       0.0       0.0         0.0       0.0       0.0       0.0       0.0       0.0       0.0       0.0       0.0	REVIEW AND APPROVAL.       IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.         PROJECT No.:       J200616         DRAWN BY:       APR         CHECKED BY:       AS/BAB
		0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	DATE:         08/11/2021           CAD I.D.:         J200616-LGT-3A           PROJECT:         Image: Content of the second
0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	$\frac{1}{WLF} \frac{1}{HA-19} = \frac{1}{WLF} \frac{1}{HA-19} = \frac{1}{10} = \frac{1}{$		PRELIMINARY & FINAL SITE PLAN
	00 00 00 00 00 00 00 00 00 00 00 00 00	0.0       0	FOR
	<i>NML LASLMENT</i> <i>D.B. 2581, PC. 120</i> 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	0.0       0.0       0.0       0.0       0.0       0.0       0.0       0.0       0.0         0.0       0.0       0.0       0.0       0.0       0.0       0.0       0.0       0.0         0.0       0.0       0.0       0.0       0.0       0.0       0.0       0.0       0.0	1980 US HWY 1, LLC
	00 00 00 00 00 00 00 00 00 00 00 00 00	0.0       0	PROPOSED WAREHOUSE FACILITY 1980 US HIGHWAY ROUTE 1 BLOCK 148; LOTS 34, 35.01 & 36
$\begin{array}{c ccccccccccccccccccccccccccccccccccc$		0.0       0	TOWNSHIP OF NORTH BRUNSWICK MIDDLESEX COUNTY, NEW JERSEY I-2 ZONE; TAX MAP SHEET #32
0.0       AB300X. 4006 OF 3407LANDO.0       0.0			BOHLER ENGINEERING NJ, LLC
b.0		0.0 $0.0$ $0.0$ $0.0$ $0.0$ $0.0$ $0.0$ $0.0$ $0.0$	30 INDEPENDENCE BLVD., SUITE 200 WARREN, NJ 07059 Phone: (908) 668-8300 Fax: (908) 754-4401 www.BohlerEngineering.com
			NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & MH000122
BLOCK 148 TAX LOT <sup>0</sup> 28 b.0			<b>B.A. BOHLER</b>
	BLOCK 148 50 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0	REFER TO NOTES AND REFERENCES SHEET FOR ADDITIONAL NOTES,	PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 47421 NEW YORK LICENSE No. 088514-1 PENNSYLVANIA LICENSE No. 077366 CONNECTICUT LICENSE No. 26039 DELAWARE LICENSE No. 77111 OHIO LICENSE No. 78297
	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	REFERENCES AND SPECIFICATIONS	SHEET TITLE:
	0.0 $0.0$	LIGHTING PURPOSES ONLY REFER TO DETAIL SHEET FOR	LIGHTING PLAN 'B'
b.0		LIGHT POLE SPECIFICATION & LIGHT POLE FOUNDATION DETAIL	
b.0		0 15 30 60 120 CALE 1 INCH = 30 FEET	<b>C-707</b> REVISION 3 - 11/19/2021

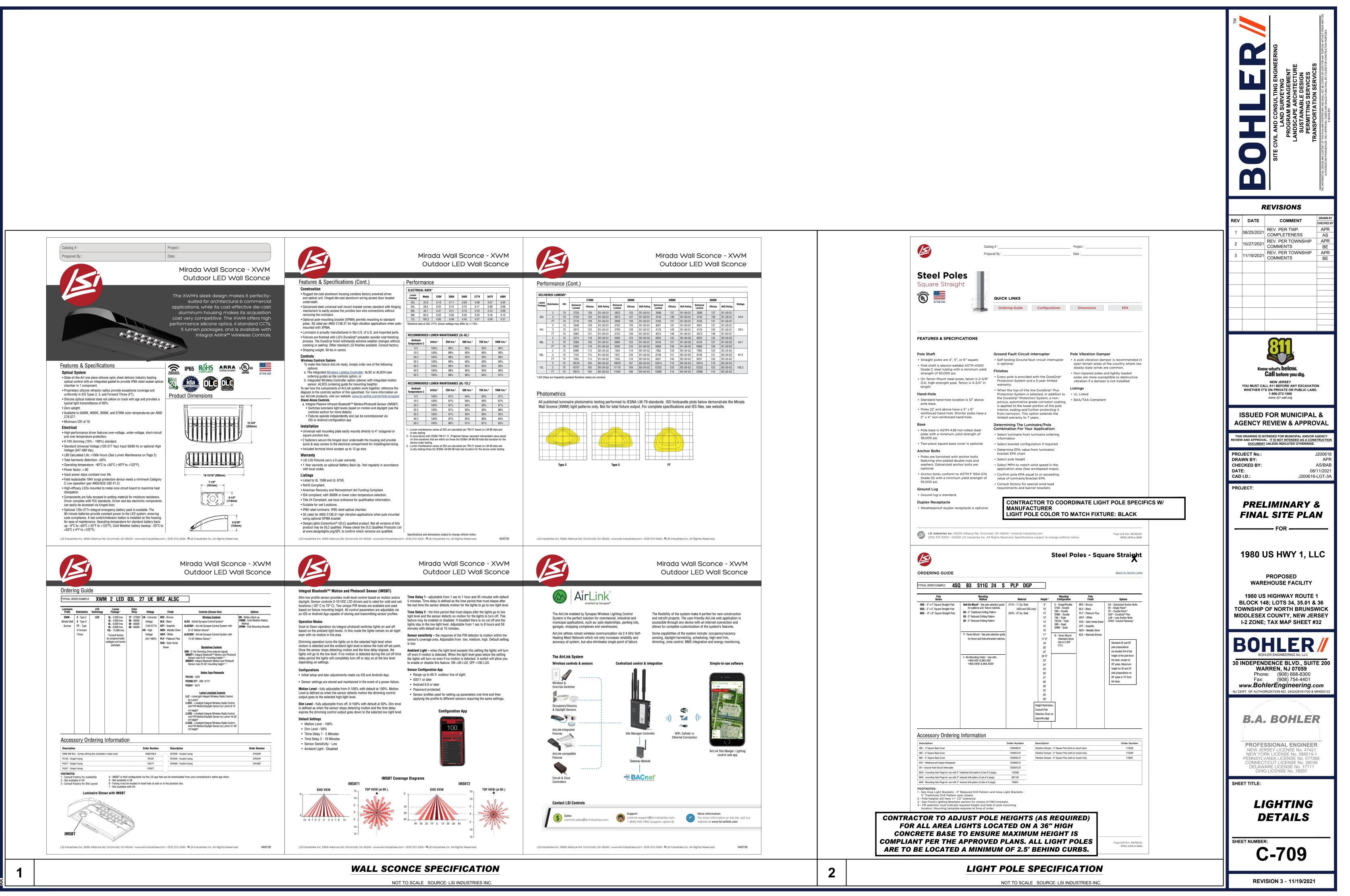


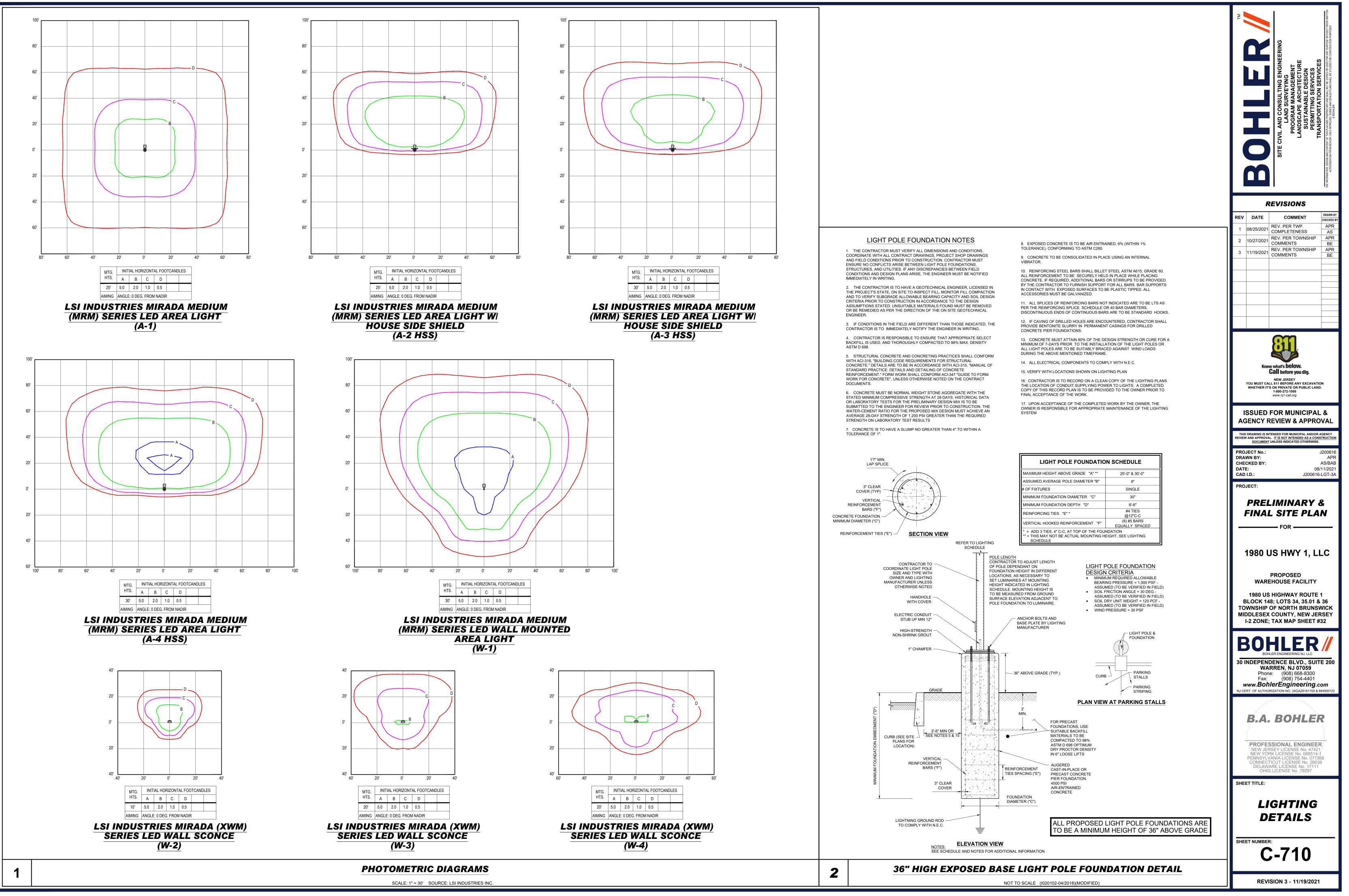
#### **AREA & WALL MOUNTED AREA LIGHT SPECIFICATION**

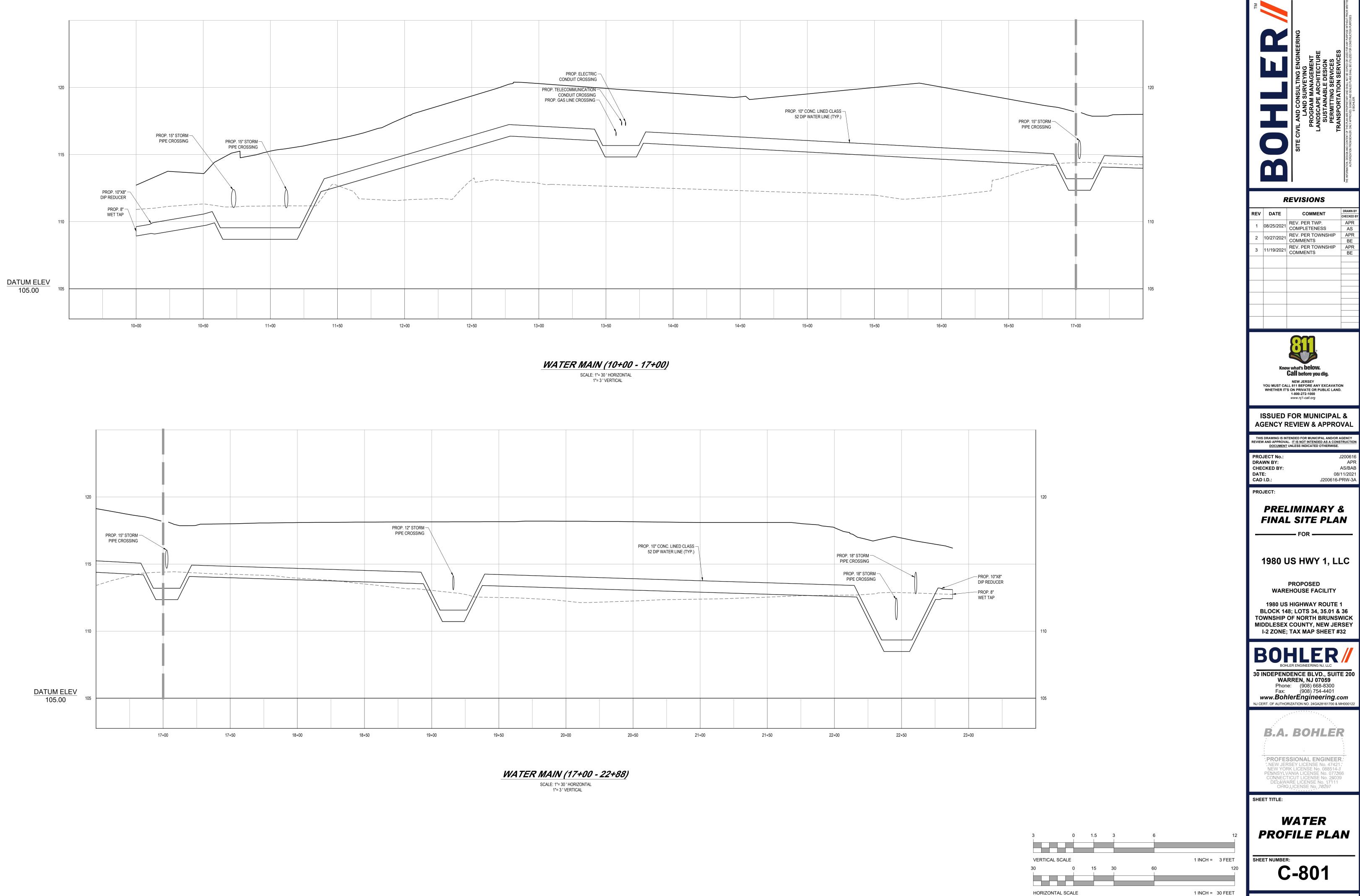
NOT TO SCALE SOURCE: LSI INDUSTRIES INC.

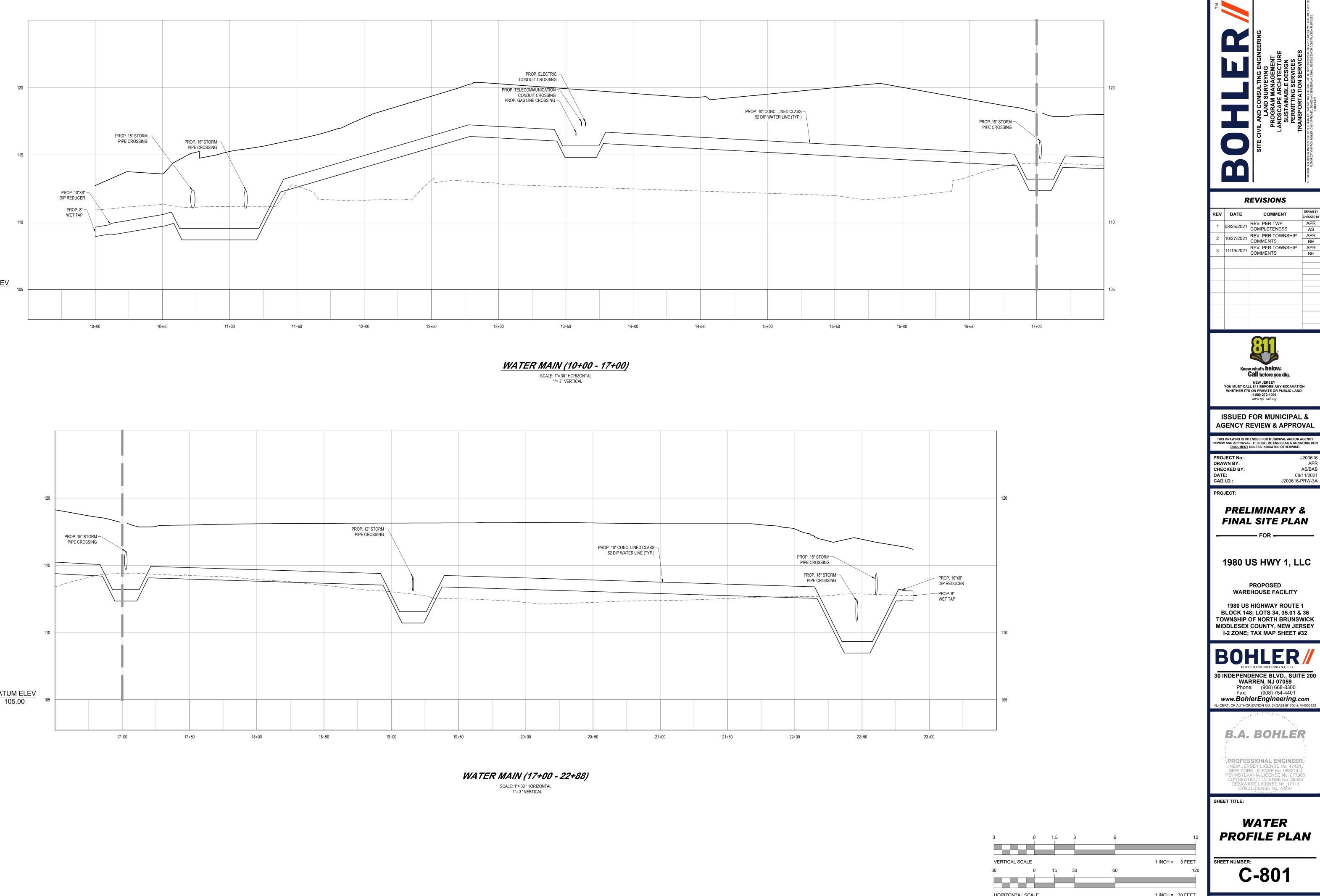
		REVISIONS
Type: LED Area Light Back to Quick Links	Type: Mirada Medium Outdoor LED Area Light PERFORMANCE (CONT.)  Delivered Lumens*	REVDATECOMMENTCHECK108/25/2021REV. PER TWP. COMPLETENESSAP AS210/27/2021REV. PER TOWNSHIP COMMENTSAP BI311/19/2021REV. PER TOWNSHIP COMMENTSAP BI
BUC Rating         Wattage           B2-U0-G2         B3-U0-G2           B3-U0-G2         B3-U0-G2           B2-U0-G1         B3-U0-G2           B2-U0-G2         B3-U0-G2           B2-U0-G2         B3-U0-G2           B3-U0-G2         B3-U0-G2           B2-U0-G2         B3-U0-G2           B3-U0-G2         B3-U0-G2           B3-U0-G2         B3-U0-G2	Lumen PackageDistributionCRISOUCK CTEfficaryBUG RatingDeliveredFficaryBUG RatingDeliveredLumensEfficaryBUG RatingDeliveredLumensEfficaryBUG 	
B2-U0-62 B4-U0-62 B2-U0-63 B2-U0-62 B2-U0-62 B3-U0-63 B3-U0-63 B5-U0-63 B3-U0-64 B3-U0-64	ELECTRICAL DATA (AMPS)*           Lumens         Watts         120v         208v         240v         277v         347v         480v           7L         53         0.4A         0.3A         0.2A         0.2A         0.1A         <	Know what's below. Call before you dig. NEW JERSEY YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND. 1-800-272-1000 www.rj1-call.org
B3-U0-G2 B4-U0-G3 B3-U0-G4 B5-U0-G3 B3-U0-G4 B3-U0-G3 B3-U0-G3 B4-U0-G3 B3-U0-G4	42L       390       3.2.A       1.9.A       1.6.A       1.1.A       0.8.A         48L       401       3.4.A       1.9.A       1.7.A       1.5.A       1.2.A       0.8.A         FIT-IL       3649       50       B0-U0-61         FIA       1.6.A       1.7.A       1.5.A       1.2.A       0.8.A         ELECTRICAL DATA - PHOSPOR CONVERTED AMBER (AMPS)*         Lumens       Watts       120V       208V       240V       277V       347V       480V         9L       74.3       0.6.A       0.4.A       0.3.A       0.2.A       0.2A       0.2A         12L       102.9       0.9.A       0.5.A       0.4.A       0.3.A       0.2A       0.2A         *Electrical data at 25°C (77°F). Actual wattage may differ by +/-10%       12L       7630       573       57       80-U0-62         FT       W       7045       69       83-U0-62       102         FT       7470       73       82-U0-62       102         FT       T       T       T       T       T       T       T       T       T       T       T       T       T       T       T       T       T       T	ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCT DOCUMENT UNLESS INDICATED OTHERWISE. PROJECT No.: J2006 DRAWN BY: A
B5-U0-64         249           B3-U0-65         B4-U0-63           B3-U0-63         B5-U0-64           B3-U0-65         B5-U0-64           B4-U0-65         B4-U0-63           B4-U0-63         B4-U0-63	Ambient       Initial <sup>2</sup> 25h <sup>2</sup> 50hr <sup>2</sup> 75hr <sup>2</sup> 100hr <sup>2</sup> 0-50 C       100%       96%       92%       88%       84%         RECOMMENDED LUMEN MAINTENANCE' (24-48L)       FTA       7628       75       B2-U0-62         Ambient       Initial <sup>2</sup> 25h <sup>2</sup> 50hr <sup>2</sup> 75hr <sup>2</sup> 100hr <sup>2</sup> 0-40 C       100%       97%       94%       92%       488%       544       5464       54       B1-U0-G1         1. Lurnen maintenance values at 25C are calculated per TM-21 based on LM-80 data and in-situ testing.       1. Lurnen within six times the IESNA LM-80-08 total test duration for the device under testing.       92%       3. In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times the IESNA LM-80-08 total test duration for the device under testing.       54       54       54       54	CHECKED BY: AS/B. DATE: 08/11/20 CAD I.D.: J200616-LGT- PROJECT: PRELIMINARY & FINAL SITE PLAN
Page 4/10 RW. 12/18/02         SPEC.1045.A.0620	<page-header><page-header><text><text><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header><section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></section-header></text></text></page-header></page-header>	
nnect a sensor into the ire. -10 VDC LED drivers and ed on fixture mounting tting sensor profiles.		PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 47421 NEW YORK LICENSE No. 088514-1 PENNSYLVANIA LICENSE No. 07366 CONNECTICUT LICENSE No. 26039 DELAWARE LICENSE No. 17111 OHIO LICENSE No. 78297
ance and enhanced iensor controller, time-based events by Canopy luminaires.		LIGHTING DETAILS
Page 9/10 Rev. 12/18/20 SPEC.1045.A.0620	LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lsicorp.com Page 10/10 Rev. 12/18/20 (513) 372-3200 • ©2020 LSI Industries Inc. All Rights Reserved. Specifications subject to change without notice. Page 10/10 Rev. 12/18/20 SPEC.1045.A.0620	SHEET NUMBER: <b>C-708</b>
		REVISION 3 - 11/19/2021

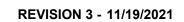
<b>BOOD THE LEGAL CONSULTING ENGINE</b> <b>SITE CIVIL AND CONSULTING ENGINE</b> <b>LAND SURVEYING</b> <b>PROGRAM MANAGEMENT</b> <b>LAND SURVEYING</b> <b>LAND SURVEYIN</b>
REVISIONS
REV         DATE         COMMENT         DRAWN BY CHECKED BY           checked by         REV. PER TWP.         APR
1         08/25/2021         COMPLETENESS         AS           2         10/27/2021         REV. PER TOWNSHIP         APR
210/21/2021COMMENTSBE311/19/2021REV. PER TOWNSHIP COMMENTSAPRBE
Know what's below. Call before you dig. NEW JERSEY YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND. 1-800-272-1000 WWW.nj1-call.org
ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL
THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION
DOCUMENT UNLESS INDICATED OTHERWISE.  PROJECT No.: J200616 DRAWN BY: APR
CHECKED BY:         AS/BAB           DATE:         08/11/2021           CAD I.D.:         J200616-LGT-3A
PROJECT: PRELIMINARY & FINAL SITE PLAN FOR
1980 US HWY 1, LLC
PROPOSED WAREHOUSE FACILITY
WAREHOUSE FACILITY 1980 US HIGHWAY ROUTE 1 BLOCK 148; LOTS 34, 35.01 & 36
WAREHOUSE FACILITY 1980 US HIGHWAY ROUTE 1
WAREHOUSE FACILITY 1980 US HIGHWAY ROUTE 1 BLOCK 148; LOTS 34, 35.01 & 36 TOWNSHIP OF NORTH BRUNSWICK MIDDLESEX COUNTY, NEW JERSEY
WAREHOUSE FACILITY 1980 US HIGHWAY ROUTE 1 BLOCK 148; LOTS 34, 35.01 & 36 TOWNSHIP OF NORTH BRUNSWICK MIDDLESEX COUNTY, NEW JERSEY I-2 ZONE; TAX MAP SHEET #32 BOHLER ENGINEERING NJ, LLC BOHLER ENGINEERING NJ, LLC 30 INDEPENDENCE BLVD., SUITE 200 WARREN, NJ 07059 Phone: (908) 668-8300 Fax: (908) 754-4401 WW.BohlerEngineering.com

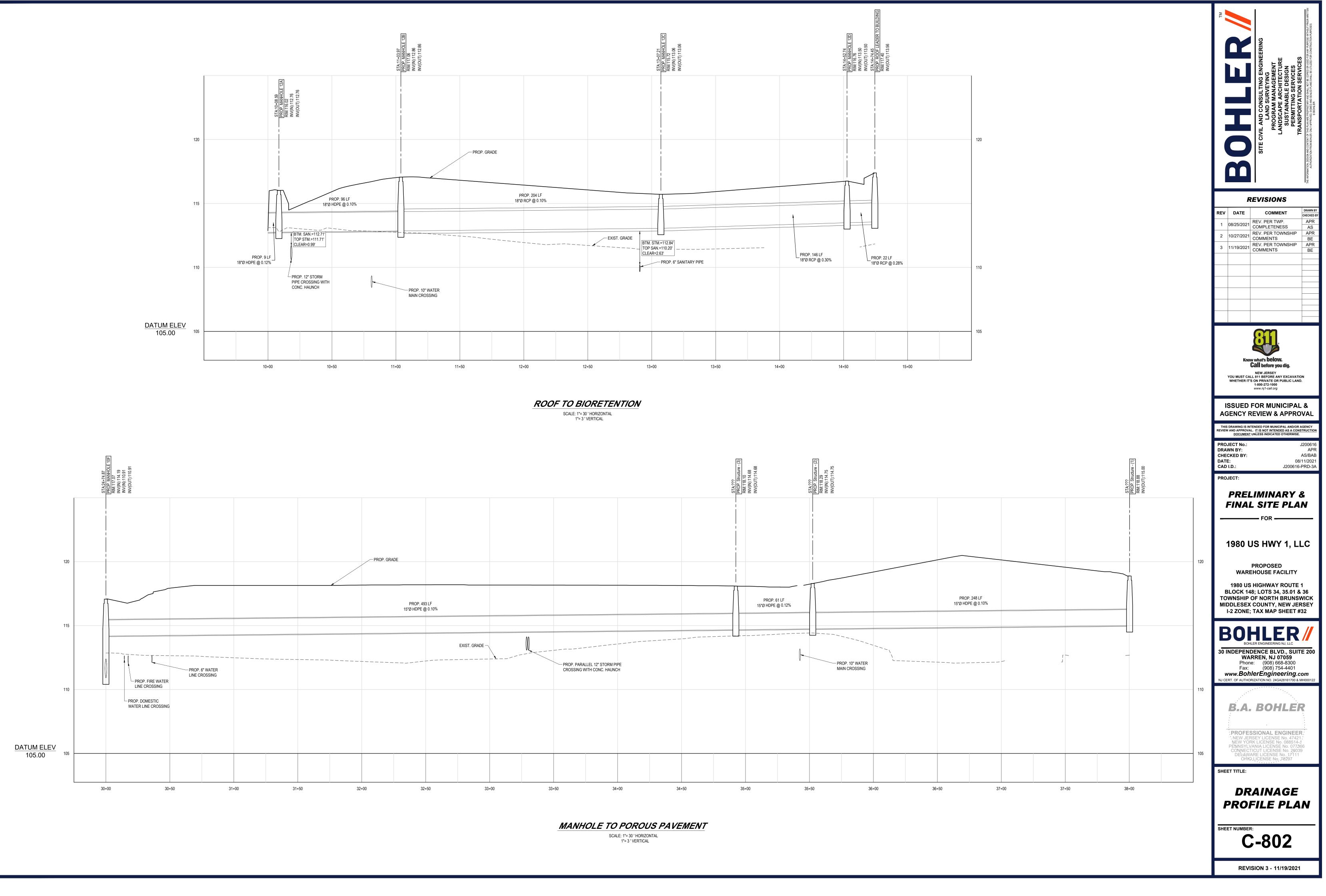


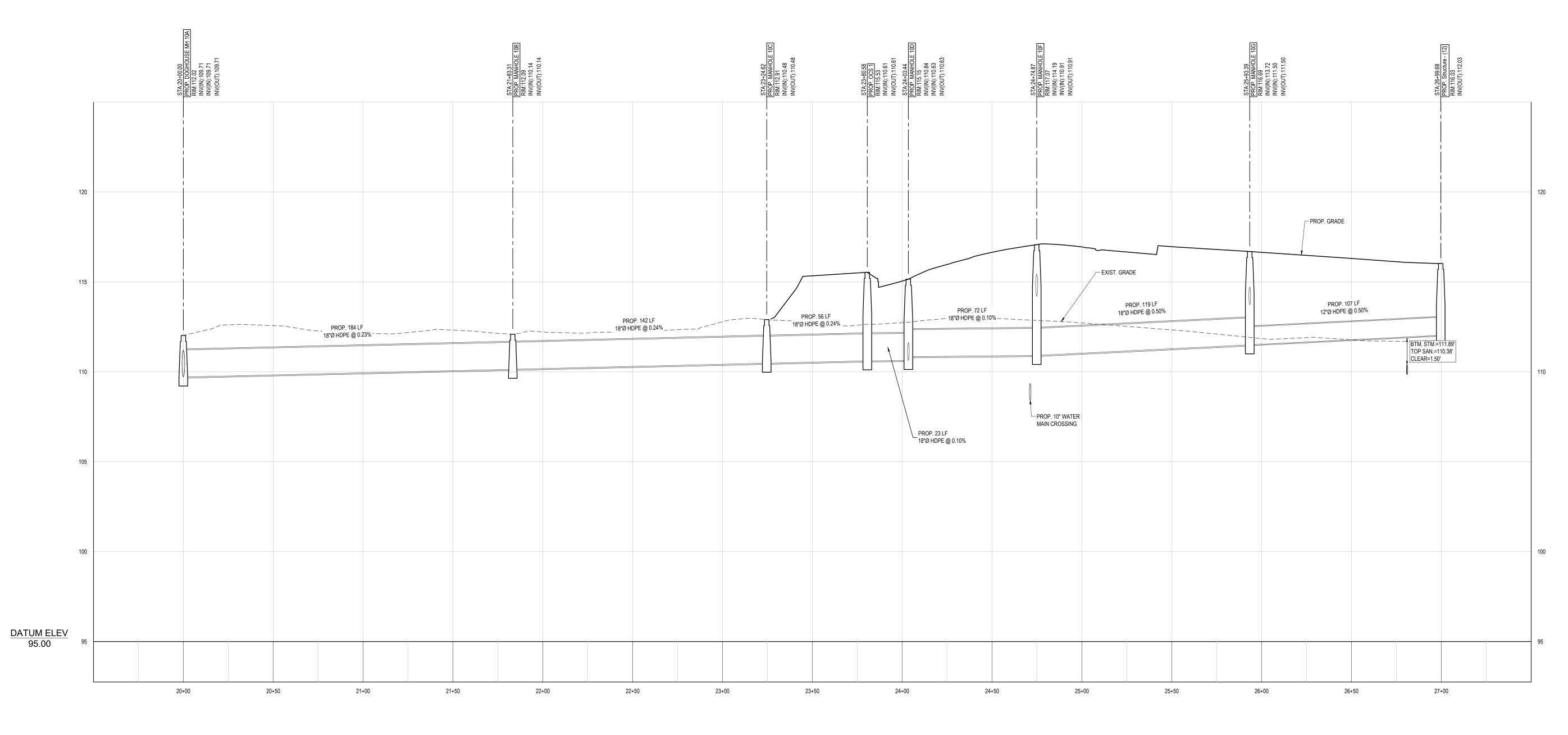










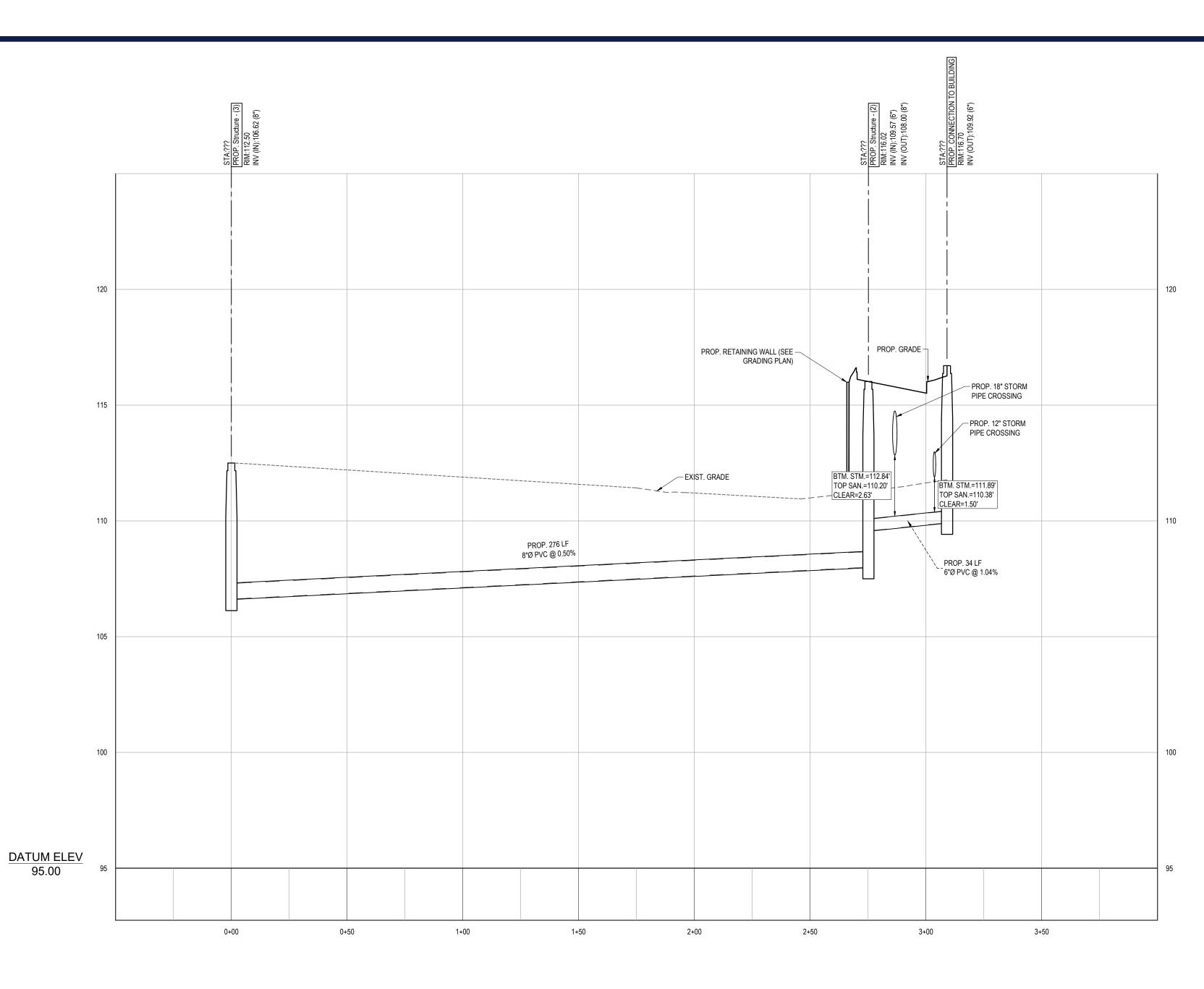


DISCHARGE POINT TO WQ UNIT

SCALE: 1"= 30 ' HORIZONTAL 1"= 3 ' VERTICAL

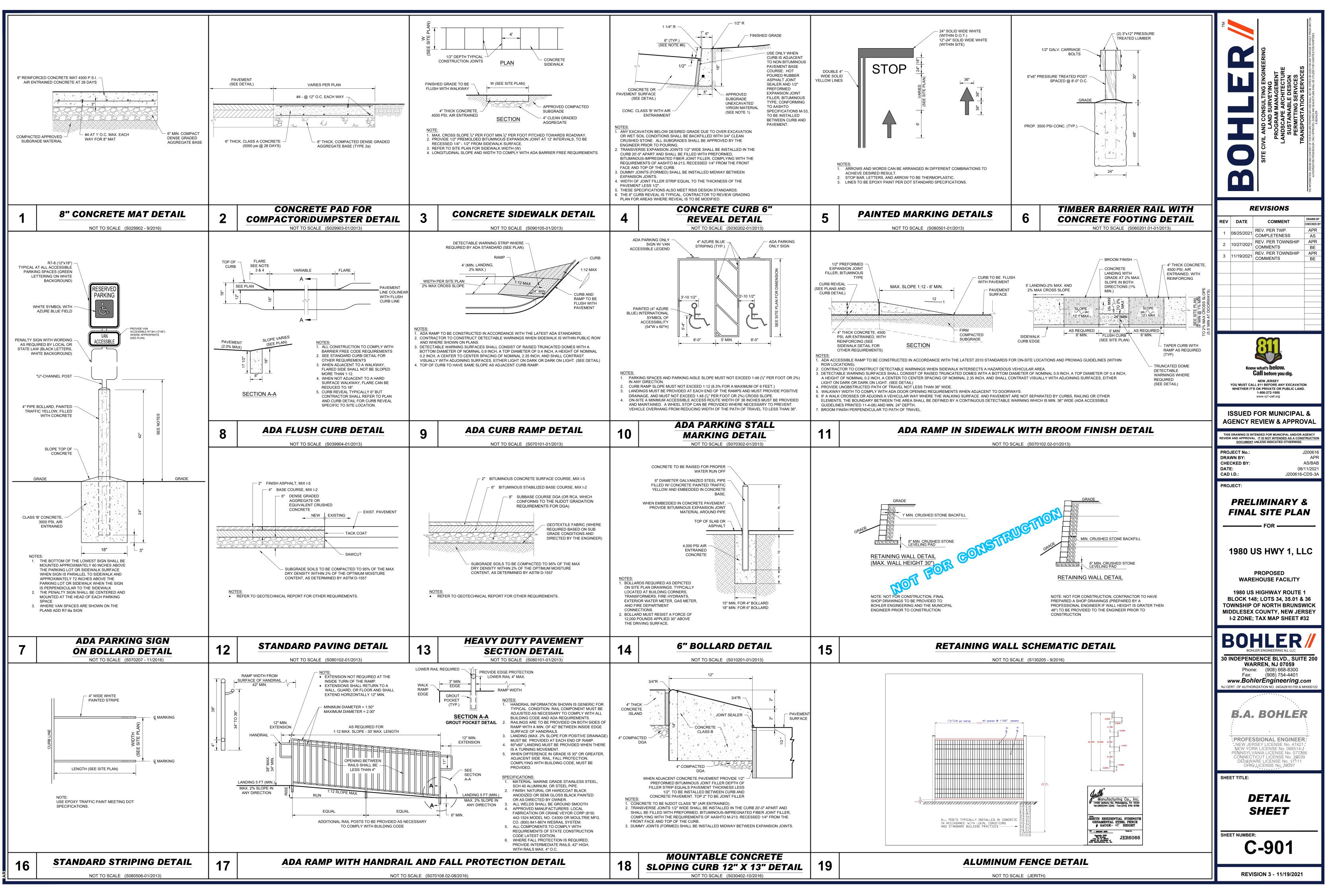
TAR A CONSTRUCTION OF A CONSTR	THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHON ANTTEN AUTHORIZATION FROM BOHLER. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES
REVISIONS	DRAWN BY CHECKED BY
108/25/2021REV. PER TWP. COMPLETENESS210/27/2021REV. PER TOWNSHIP COMMENTS	APR AS APR BE
3 11/19/2021 REV. PER TOWNSHIP COMMENTS	APR BE
Know what's below. Know what's below. Call before you dig. NEW JERSEY YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND. 1-800-272-1000 WWW.rj1-call.org	
ISSUED FOR MUNICIPAL AGENCY REVIEW & APPRO	
THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AC REVIEW AND APPROVAL. <u>IT IS NOT INTENDED AS A CONST</u> <u>DOCUMENT</u> UNLESS INDICATED OTHERWISE.	
DRAWN BY: CHECKED BY:	200616 APR
<b>CAD I.D.</b> : J200616-F	AS/BAB 11/2021
CAD I.D.: J200616-F PROJECT: PRELIMINARY & FINAL SITE PLAN FOR	AS/BAB 11/2021 PRD-3A
CAD I.D.: J200616-F PROJECT: PRELIMINARY & FINAL SITE PLAN FOR	AS/BAB 11/2021 PRD-3A
CAD I.D.: J200616-F PROJECT: PRELIMINARY & FINAL SITE PLAN FOR FOR 1980 US HWY 1, LL PROPOSED WAREHOUSE FACILITY 1980 US HIGHWAY ROUTE 1 BLOCK 148; LOTS 34, 35.01 & TOWNSHIP OF NORTH BRUNSW MIDDLESEX COUNTY, NEW JER	AS/BAB 11/2021 PRD-3A C C C 36 //CK SEY 32 200
CAD I.D.: PROJECT: PROJECT: PRELIMINARY & FOR FOR 1980 US HIGHWAY ROUTE 1 1980 US HIGHWAY ROUTE 1 1980 US HIGHWAY ROUTE 1 1980 US HIGHWAY ROUTE 1 1980 US HIGHWAY ROUTE 1 BLOCK 148; LOTS 34, 35.01 & 1980 US HIGHWAY ROUTE 1 BLOCK 148; LOTS 34, 35.01 & 100NSHIP OF NORTH BRUNSWA MIDDLESEX COUNTY, NEW JER 12 ZONE; TAX MAP SHEET #3 DELER ENGINEERING NJ LU MONTON DELER ENGINEERING NJ LU 10 INDEPENDENCE BLVD., SUTE WARREN, NJ 07059 PADIE: (908) 054-4401 INV. BOHJERENGINEERING NJ LU MONTON DELER ENGINEERING NJ LU MONTON DELER ENGINE NJ LU MONTON DELER	AS/BAB 11/2021 PRD-3A C C 36 //CK SEY 32 200 m H000122
CAD ID.: J200616-F   PROJECT:   PRELIMINARY &   PRELIMINARY &   FOR   ID80 US HIGHWAY ROUTE I   BLOCK 148; LOTS 34, 35.01 &   BLOCK 148; LOTS 34, 35.01 &   SOWNSHIP OF NORTH BRUNSKY   MIDDLESEX COUNTY, NEW JER   I-2 CONE; TAX MAP SHEET #3 <b>BEDELERENDERER DELER ENGINEERING NUT DENER (DELER ENGINEERING NUT DENER (DELER ENGINEERING NUT DENER ENGINEERING NUT <b>DENER ENGINEERING NUT <b>DE</b></b></b></b></b></b></b></b>	AS/BAB 11/2021 PRD-3A

200616IDRAWINGSICURRENT DRAWINGSISITE PLAN PACKAGE\J200616-PRS-34----->LAYOUT: C-804 PROS

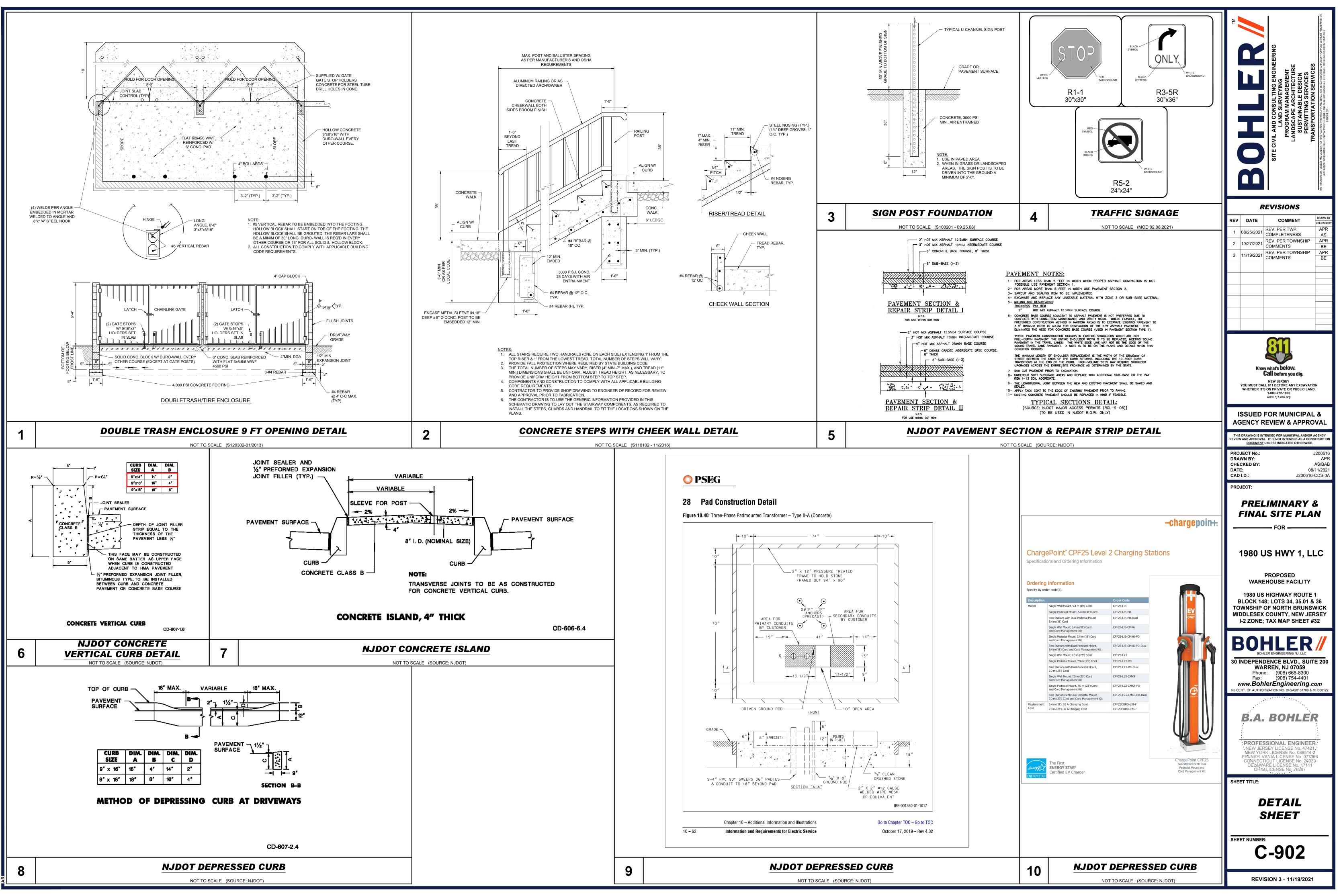


SANITARY LATERAL SCALE: 1"= 30 ' HORIZONTAL 1"= 3 ' VERTICAL

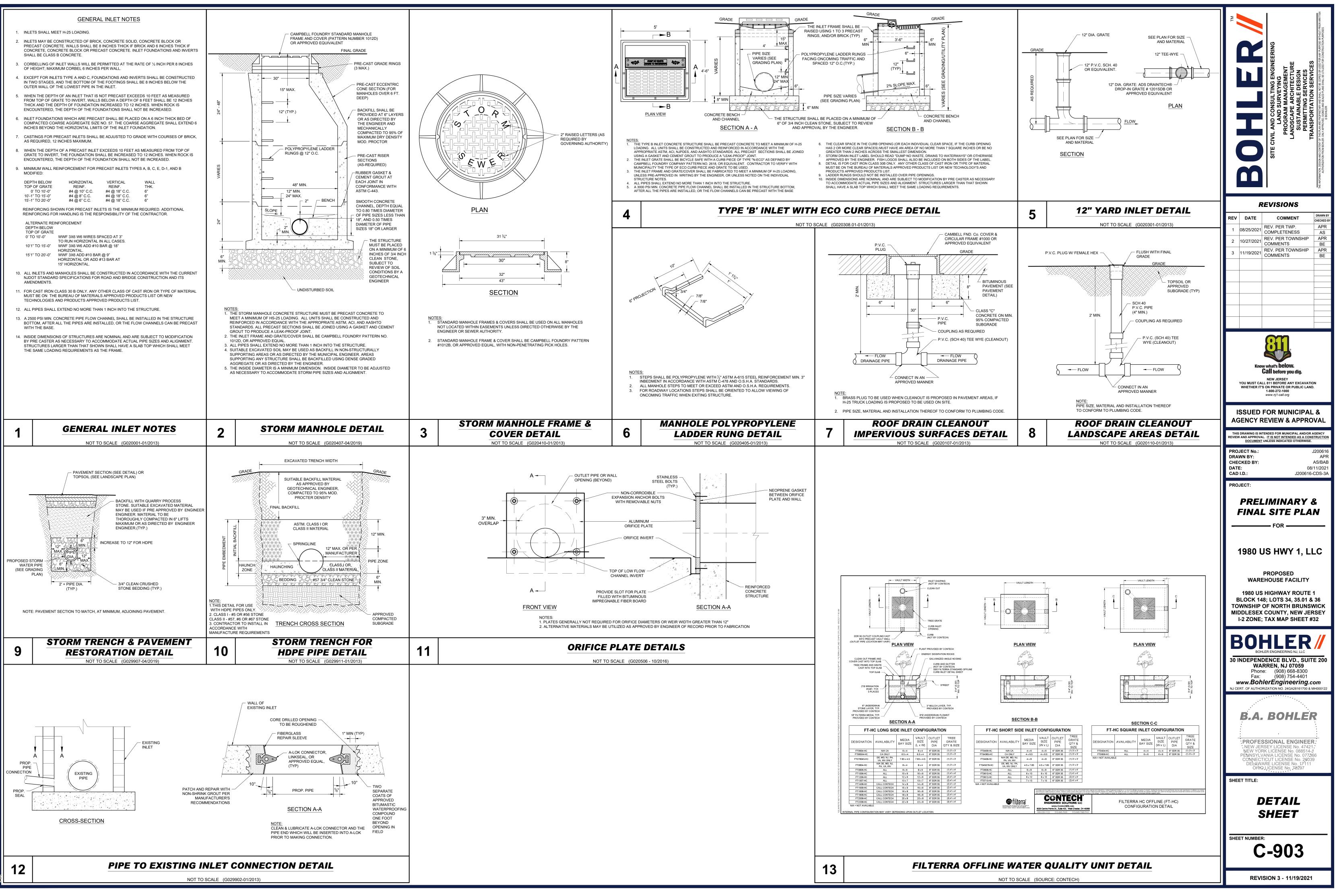
	SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES	THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR AMY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER, ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES © BOHL ER
	REVISIONS	
<b>REV DATE</b>	COMMENT REV. PER TWP.	DRAWN BY CHECKED BY APR
2 10/27/202 3 11/19/202	REV. PER TOWNSHIP COMMENTS REV. PER TOWNSHIP	AS APR BE APR BE
YOU MUST (	New JERSEY ALL 811 BEFORE ANY EXCAVATION TIS ON PRIVATE OR PUBLIC LAND 1-800-272-1000 WWW.nj1-call.org	
	) FOR MUNICIPAL REVIEW & APPRO	
REVIEW AND APPRO	INTENDED FOR MUNICIPAL AND/OR / VAL. IT IS NOT INTENDED AS A CONS NT UNLESS INDICATED OTHERWISE.	
PROJECT No.		
DRAWN BY: CHECKED BY DATE: CAD I.D.:		J200616 APR AS/BAB /11/2021 .PRS-3A
CHECKED BY DATE: CAD I.D.: PROJECT: PROJECT: PROJECT: 1980 UNAL 1980 U BLOCK T TOWNSHIL MIDDLESE	08/	APR AS/BAB (11/2021 PRS-3A <b>S</b> <b>N</b> LC
CHECKED BY DATE: CAD I.D.: PROJECT: PROJECT: PROJECT: 1980 UNAI 1980 UNAI 1980 UNAI 1980 UNAI 1980 UNAI 1980 UNAI 1980 UNAI 1980 UNAI 1980 UNAI 1980 UNAI 1980 UNAI 1980 UNAI 1980 UNAI	OB, J200616: <b>LIMINARY A</b> <b>L SITE PLA</b> FOR FOR US HWY 1, LI PROPOSED REHOUSE FACILITY IS HIGHWAY ROUTE 148; LOTS 34, 35.01 & OF NORTH BRUNSY EX COUNTY, NEW JEF E; TAX MAP SHEET #	APR AS/BAB (11/2021 PRS-3A A A A A A A A A A A A A
CHECKED BY DATE: CAD I.D.: PROJECT: PROJECT: PROF I 1980 L BLOCK TOWNSHI MIDDLESE I-2 ZON BOO B 30 INDEPE W Phy Fax W Phy Fax W Phy Fax W Phy Fax So INDEPE W Phy Fax W Phy Fax W Phy Fax So INDEPE W Phy Fax W Phy Fax So INDEPE Construction	OB, J200616: LIMINARY A LSITE PLA FOR FOR US HWY 1, LI PROPOSED REHOUSE FACILITY S HIGHWAY ROUTE 48; LOTS 34, 35.01 & OF NORTH BRUNSY COUNTY, NEW JEF E; TAX MAP SHEET # HERERR DENCE BLVD., SUIT ARREN, NJ 07059 DIE: (908) 668-8300 :: (908) 754-4401 HIGHEREINGINEERING.	APR AS/BAB (11/2021) PRS-3A A A A A A A A A A A A A A A A A A A

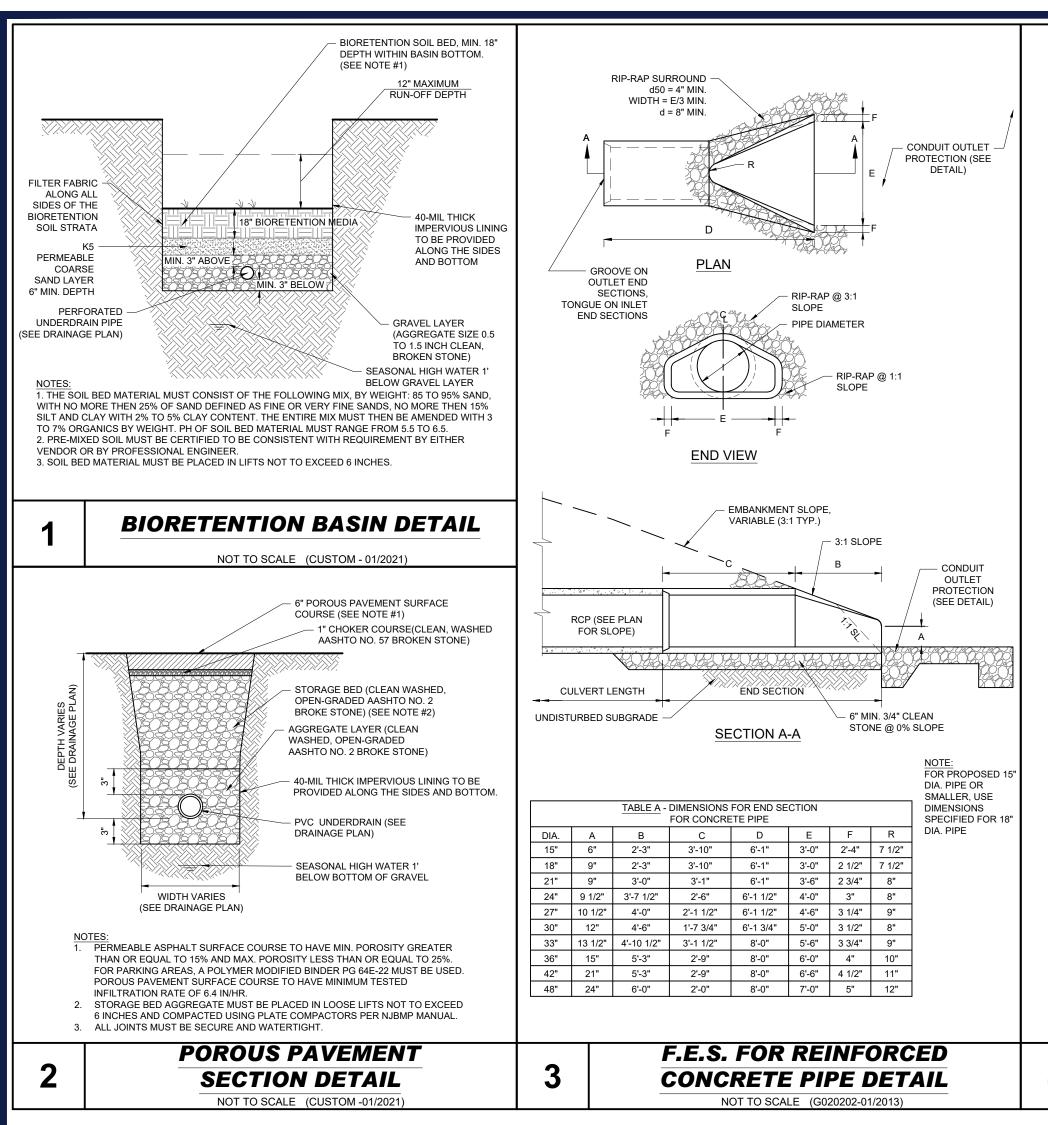


0\J200616\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\J200616-CDS-3A----->LAYOUT: C-901 DETL

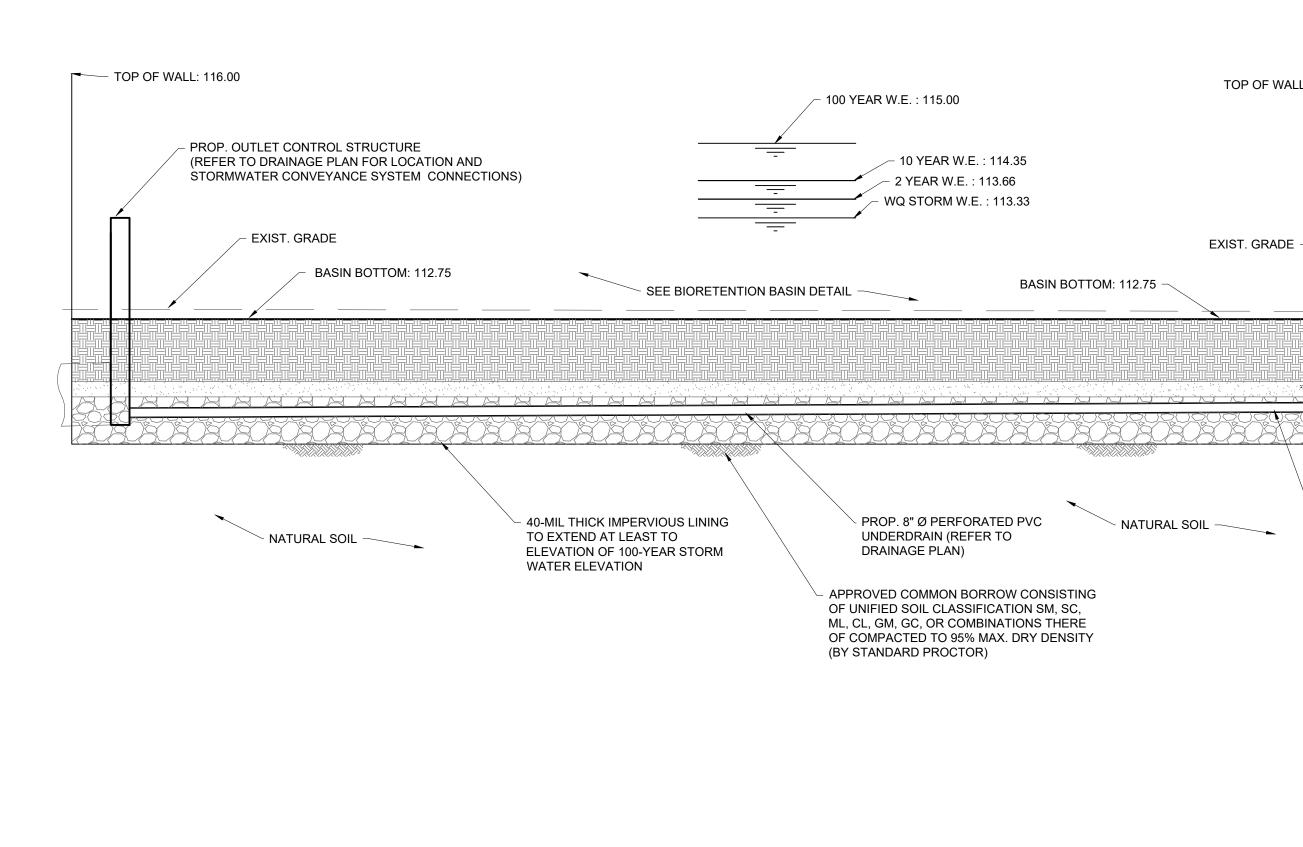


20\J200616\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\J200616-CDS-3A----->LAYOUT: C-902 DETL



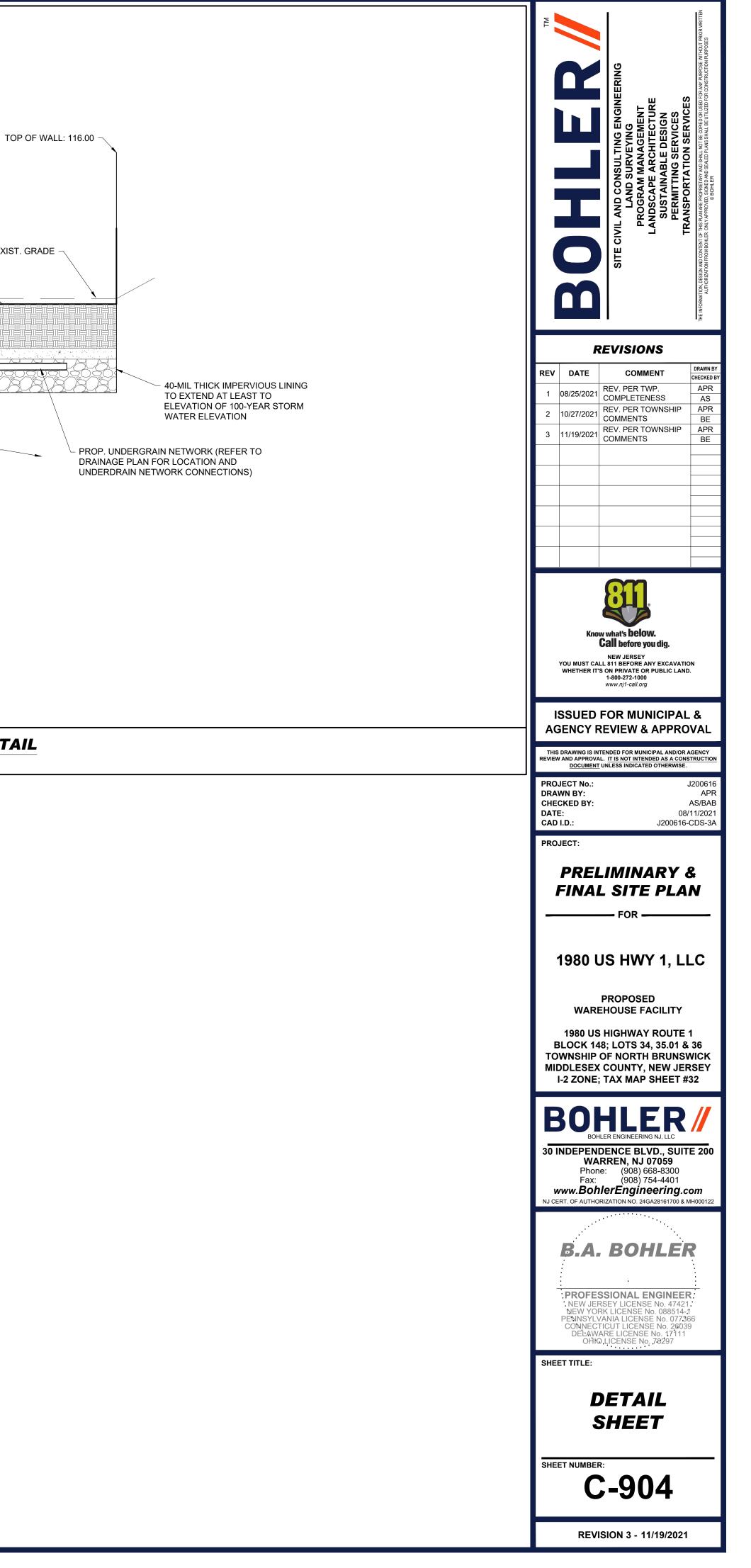


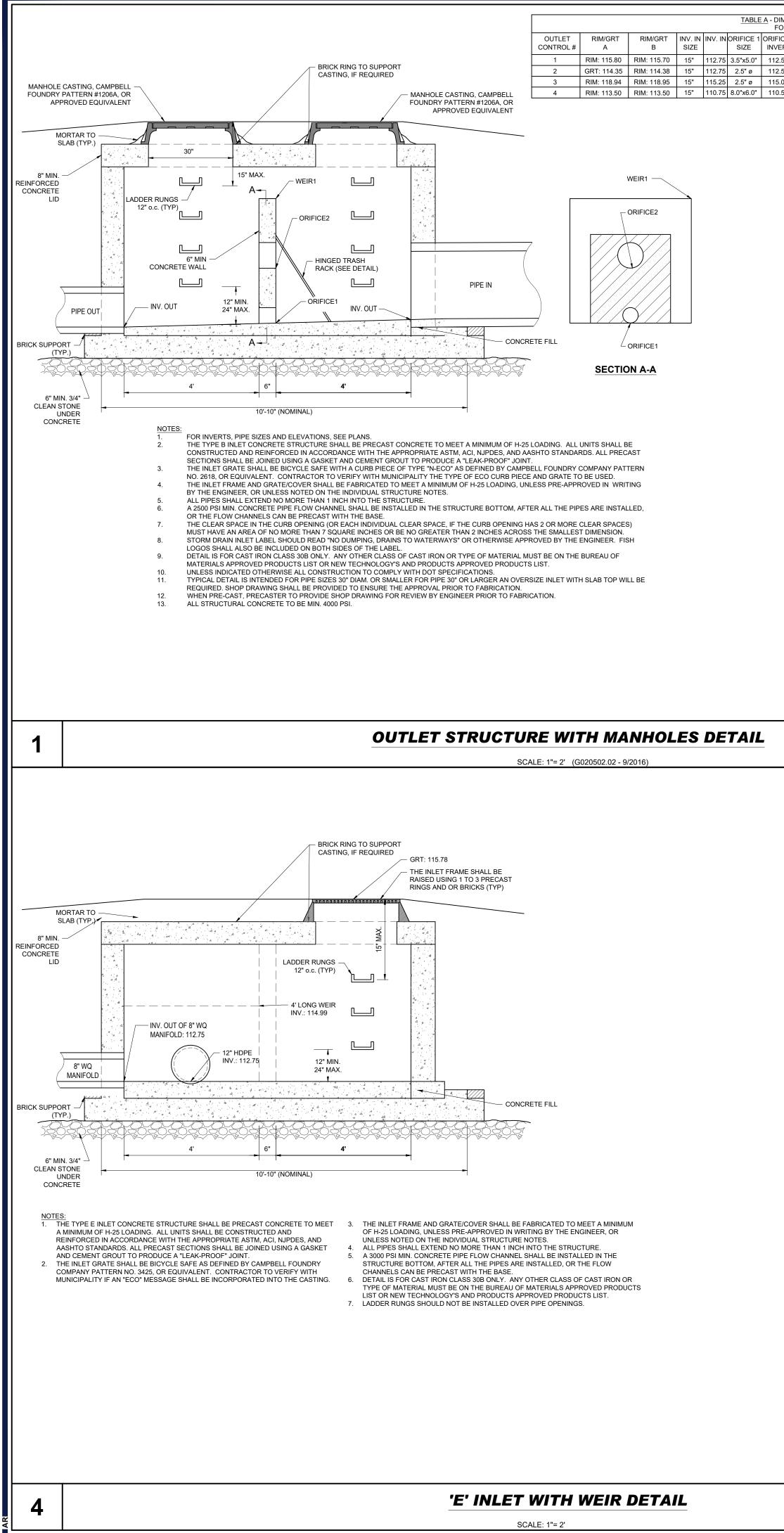
4



**BIORETENTION BASIN CROSS SECTION DETAIL** 

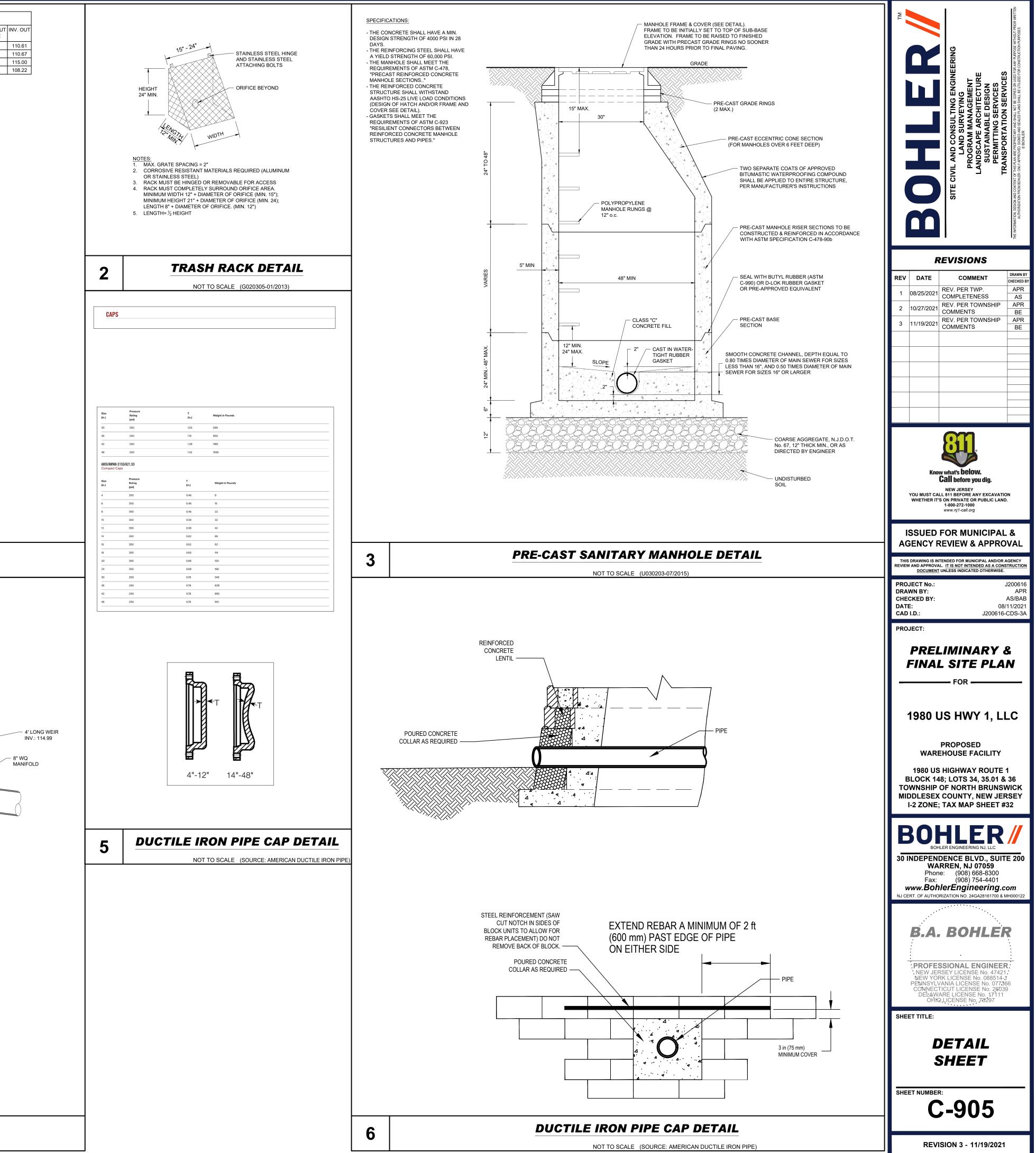
NOT TO SCALE

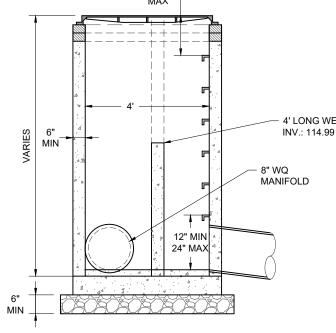


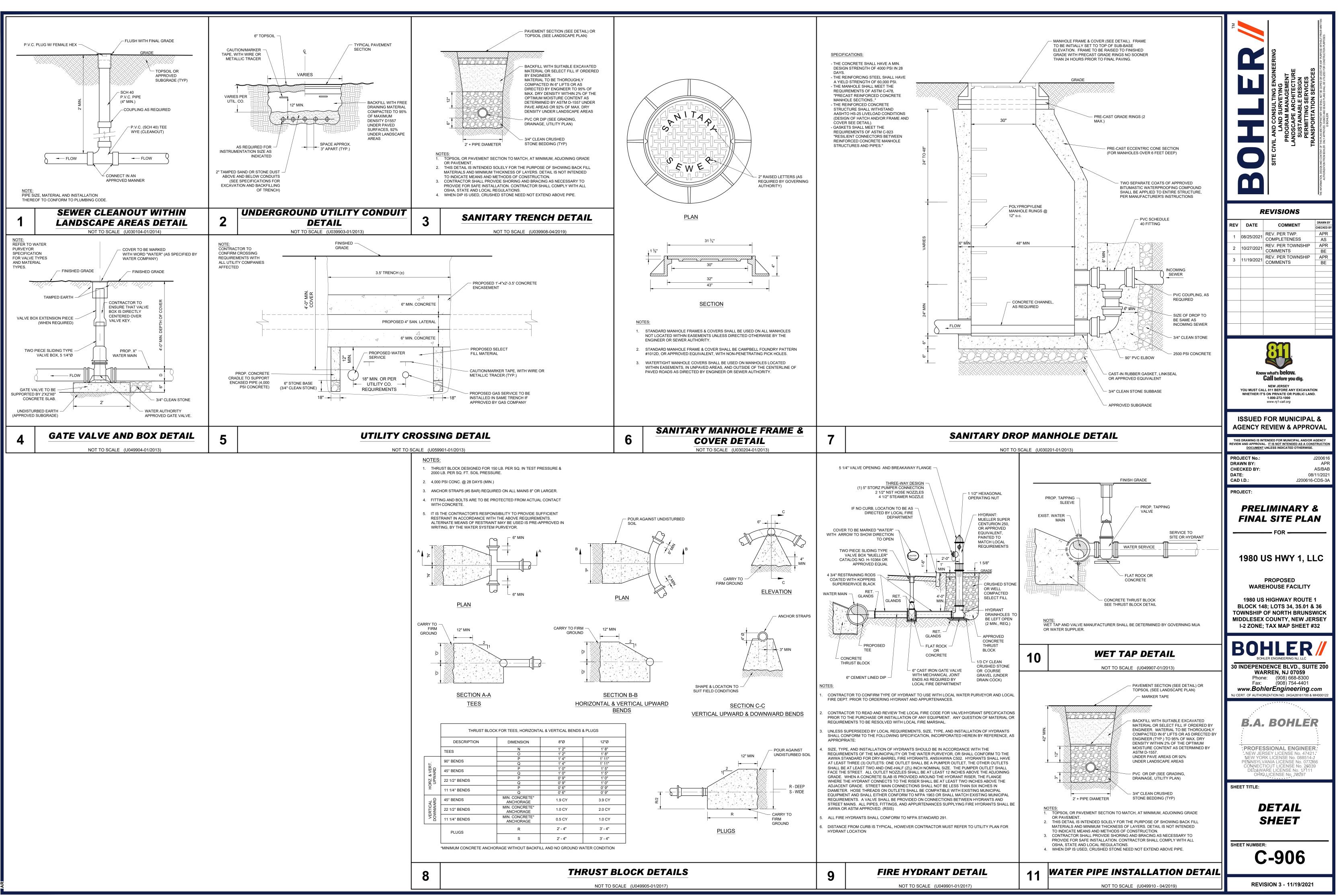


20\u00616\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\U200616-CDS-3A----->LAYOUT: C-305 DE

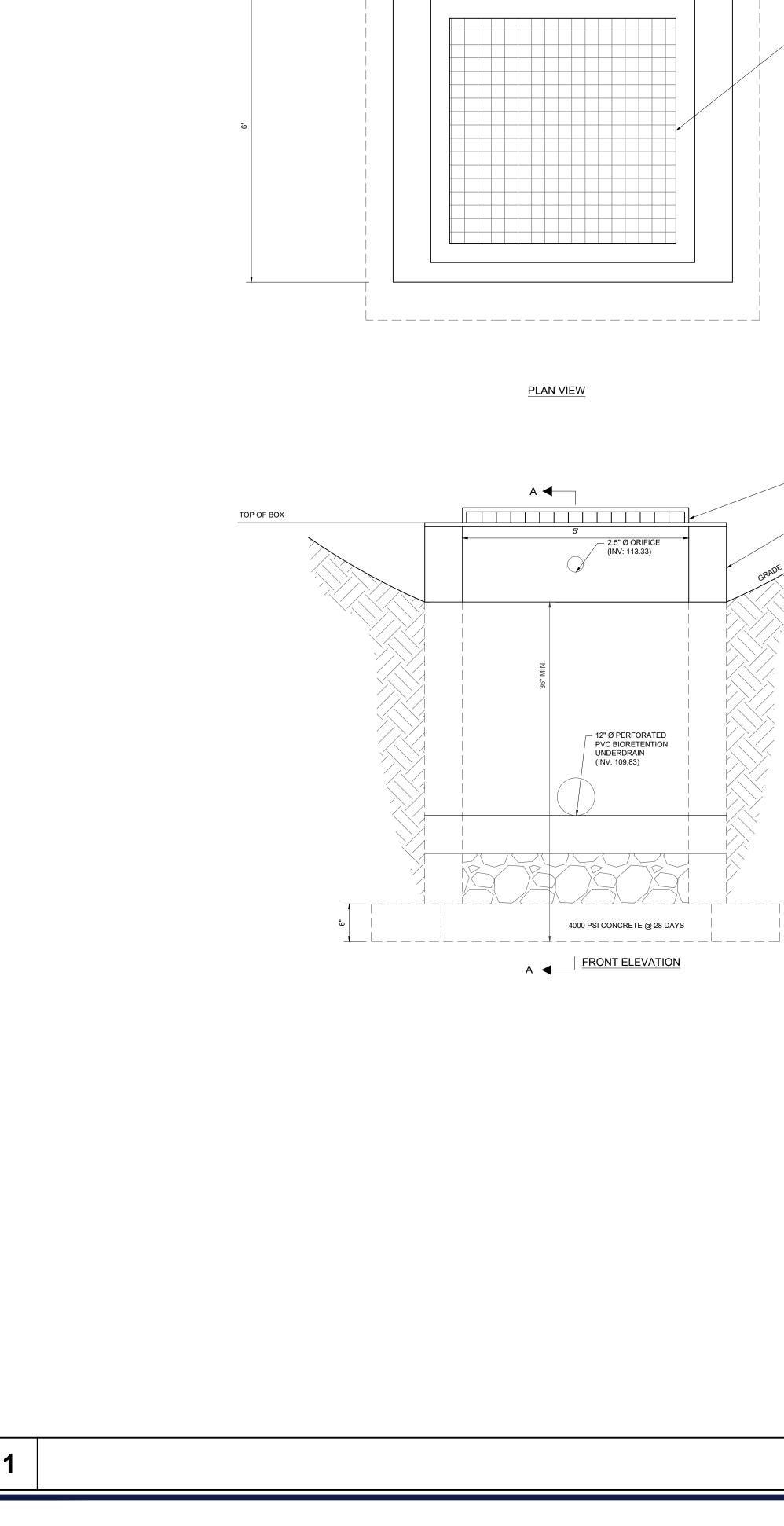
	SIONS FOR		ON			
CE 1 RT	ORIFICE 2 SIZE	ORIFICE 2 INVERT	WEIR LENGTH	WEIR INVERT	INV. OUT SIZE	INV. OUT
50	2.5" ø	113.90	2.5'	114.65	18"	110.61
50	N/A	N/A	2.5'	113.75	15"	110.67
00	N/A	N/A	N/A	N/A	15"	115.00
50	6"ø	111.21	N/A	N/A	15"	108.22

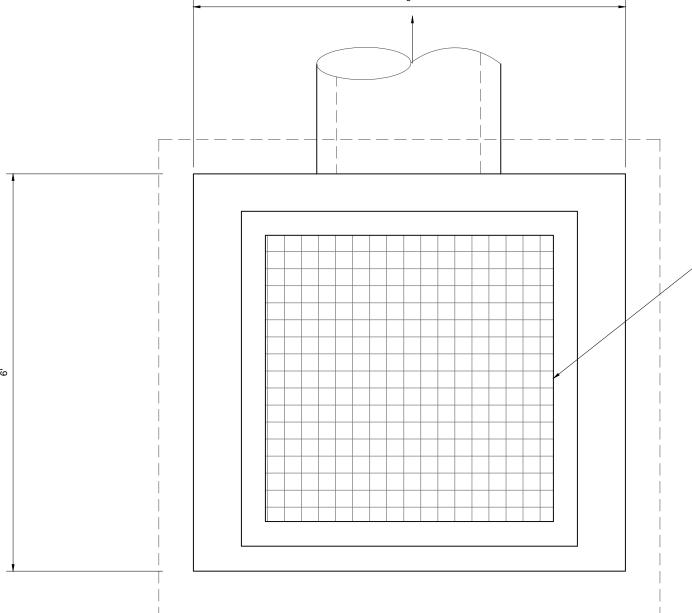






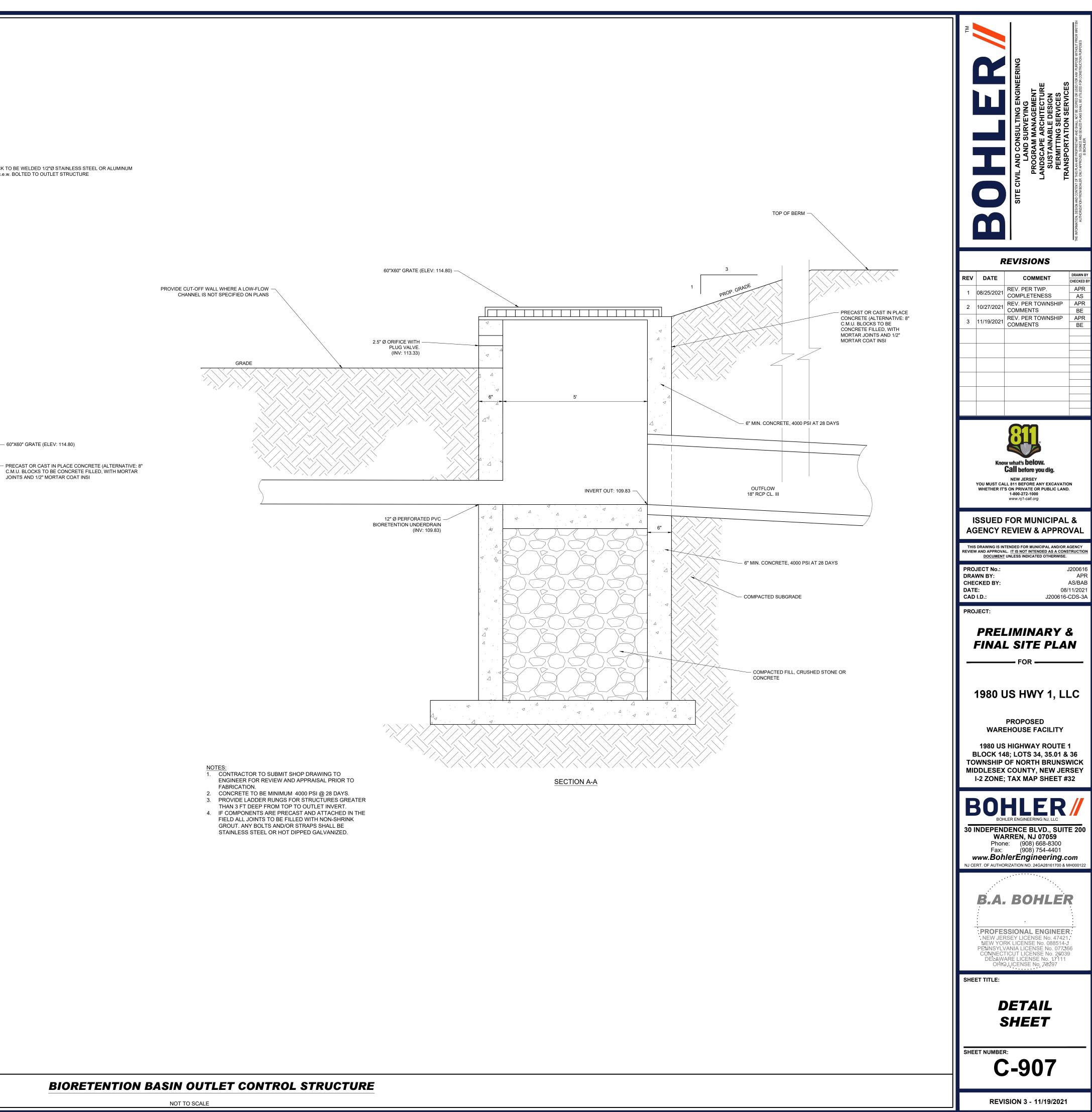




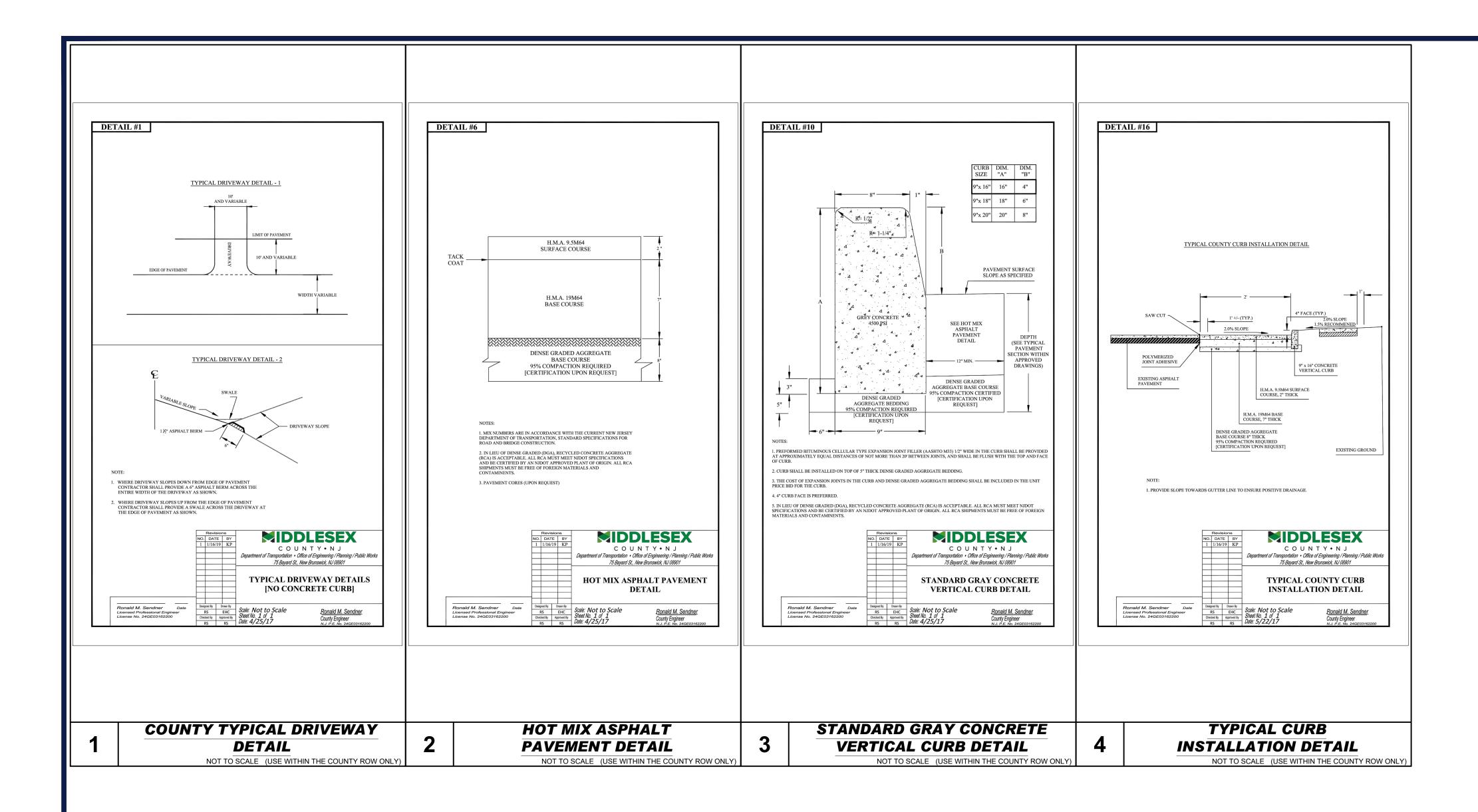


### — TRASH RACK TO BE WELDED 1/2"Ø STAINLESS STEEL OR ALUMINUM BARS, 4" o.c.e.w. BOLTED TO OUTLET STRUCTURE

- 60"X60" GRATE (ELEV: 114.80)



**BIORETENTION BASIN OUTLET CONTROL STRUCTURE** 



A Contraction of the contraction	THE INFORMATION, DESIGN AND CONTENT OF TAIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES © BOHLER.					
REVISIONS	_					
REV         DATE         COMMENT           comment         REV. PER TWP.         REV.	DRAWN BY CHECKED BY					
1         08/25/2021         COMPLETENESS           2         10/27/2021         REV. PER TOWNSHIP COMMENTS	AS APR BF					
3 11/19/2021 REV. PER TOWNSHIP COMMENTS	APR BE					
Know what's below. Know what's below. Call before you dig. NEW JERSEY YOU MUST CALL 811 BEFORE ANY EXCAVATI WHETHER IT'S ON PRIVATE OR PUBLIC LAN 1-800-272-1000 www.nj1-call.org						
ISSUED FOR MUNICIPAL AGENCY REVIEW & APPRO						
THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR REVIEW AND APPROVAL. IT IS NOT INTENDED AS A COOR	STRUCTION					
	J200616 APR AS/BAB //11/2021 -CDS-3A					
PROJECT: PRELIMINARY FINAL SITE PLA FOR FOR 1980 US HWY 1, L PROPOSED WAREHOUSE FACILITY 1980 US HIGHWAY ROUTE BLOCK 148; LOTS 34, 35.01 & TOWNSHIP OF NORTH BRUNSY MIDDLESEX COUNTY, NEW JEI	LC 1 4 36 WICK RSEY					
I-2 ZONE; TAX MAP SHEET #32 BOHLER ENGINEERING NJ, LLC BOHLER ENGINEERING NJ, LLC 30 INDEPENDENCE BLVD., SUITE 200 WARREN, NJ 07059 Phone: (908) 668-8300 Fax: (908) 754-4401 www.BohlerEngineering.com						
I-2 ZONE; TAX MAP SHEET # <b>BOHLER ENGINEERING NJ, LLC</b> <b>30 INDEPENDENCE BLVD., SUIT</b> WARREN, NJ 07059 Phone: (908) 668-8300 Fax: (908) 754-4401	// TE 200					
I-2 ZONE; TAX MAP SHEET # <b>BOHLER ENGINEERING NJ, LLC</b> <b>30 INDEPENDENCE BLVD., SUIT</b> WARREN, NJ 07059 Phone: (908) 668-8300 Fax: (908) 754-4401 WWW.BohlerEngineering.co	ГЕ 200 сот мнооо122					
I-2 ZONE; TAX MAP SHEET # <b>BOBLER</b> ENGINE AND	ГЕ 200 сот мнооо122					