# RESIDENTIAL 1171an / altrestan

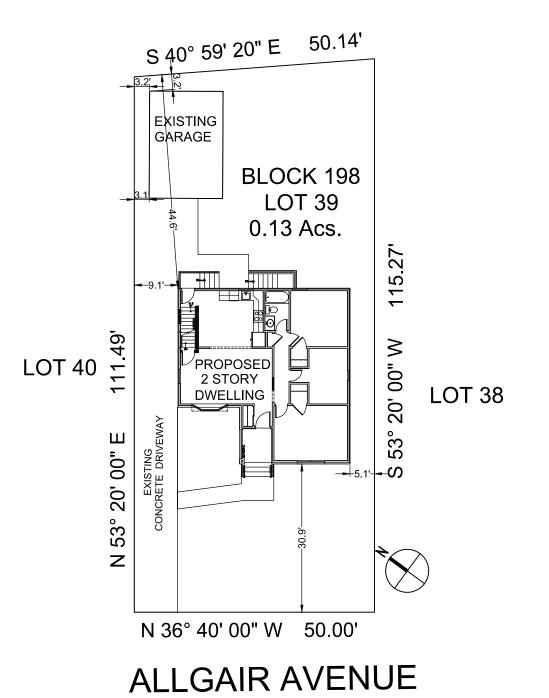
LOT: 39 BLOCK: 198 581 ALLGAIR AVENUE, NORTH BRUNSWICK TOWNSHIP NJ 08902

A.F.F.	Above Finished Floor	MAS.	Masonry
A.L.	Aluminum	MTL.	Metal
A.S.F	Above Sub Floor	ML.	Micro Lam
A.T.C.	Accoustical tile ceiling	N.T.S.	Not To Scale
B.I.	Built In	NOM.	Nominal
ь. <i>г.</i> В.О. <del>R</del> .	Bottom Of Rafter	0.C.	On Center
B.W.A	Bearing Wall Above	O.C. OHD.	Overhead Door
BD.	Board Above	OPG.	Opening
BLK.	Block	PŧS	Pole & Shelf
		PL.	Plate
BM.	Beam Color - Boot		ו ומנכ
C = R	Ceiling = Roof	PL PL	Dayst I and
C.M.U	Concrete Masonry Unit	_	Point Load
CJ.	Control Joint	PL. HT.	Plate Height
CLG.	Ceiling	PLBG.	Plumbing
CLR.	Clear	PR.	Pair
C.O.	Clean Out	PT.	Pressure Treated
COL.	Column	R	Radius
CONC.	Concrete	R.O.	Rough Opening
CONT.	Continuous	REQ'D	Required
COORD.	Coordinate	S.B.	Service bath
DBL.	Double	S.C.	Solid Core
DECOR.	Decorative	S.F.	Sub Floor
DWG.	Drawing	S.L.	Skylight
E.C.	Entry Closet		Shower Door
<b>∃</b> J.	Expansion Joint	SIM.	Similar
ELEV.	Elevation(s)	S.P. #2	Southern Pine #2
<b>Ξ.</b> Ο.	Electrically Operated	STL.	Steel
EQ.	Equal	STL. PL.	
EX., EXIST.	Existing	STR.	Stair
EXT.,EXTER.		SUPP.	Supplemental
F.D.	Floor Drain	TŧG	Tongue and Groove
F.G.	Fixed Glass	T.M.E.	To Match Existing
FIN.	Finish	T.O.B.	Top Of Block
FL.	Flush	T.O.F.	Top Of Finish
FLUOR.	Fluorescent	T.O.S.	Top Of Slab
FRMG.	Framing	TEMP.	Tempered Glass
FTG.	Footing	TYP.	Typical
GYP.	Gypsum	U.L.	Upper Level
H.C.	Hollow Core	U.O.N.	Unless Otherwise Noted
HT.	Height	V.I.F.	Verify in Field
HD. HT.	Head Height	WD.	Wood
HDR.	Header	W.I.C.	Walk In Closet
HRTH.	Hearth	W.W.M.	Welded Wire Mesh
LAM.	Laminated	ф	Diameter
L.C.	Linen Cabinet	<b>±</b>	Square Feet
M.L.	Main Level	Ç	Center Line
M.O.	Masonry Opening	Æ	- 211V21 111V

	SHEET INDEX
C-I	DATA / HOUSE LOCATION PLAN
(C-2	PLOT PLAN
A-I A-2	ARCHITECTURAL FLOOR PLANS BUILDING ELEVATIONS
A-2	BUILDING ELEVATIONS

58 NC	LESHA JADDU I ALLGAIR AV DRTH BRUNSWI 1-801-9192	ENUE.	IP, NJ	08902			
Z	ONING DA	ATA					
LE	GAL DESC	RIPTION					
ADI	DRESS:	581 ALLGA NORTH BR MIDDLESE>	เนทรพเ	CK TOWNS	HIP, NJ 08902 JERSEY		
LOT	Γ:	39		BLOCK:	198		
ZON	NE:		R-4	4			
COI	NSTRUCTION C	LASS:	5B				
COI	NSTRUCTION C	ODE:	NJ-IF	RC - LATE	ST U.C.C. AD	OPTED EDITION	
use	GROUP:		R-5	(RESIDENT	TAL)		
TA	BLE OF A	REA, YA	RD	AND BL	IILDING RE	QUIREMENTS	5
			REQU	IIRED	EXISTING	PROPOSED	VARIANCE
MININ	MUM LOT REQUIR	REMENTS					
LOT	AREA DEPTH WIDTH		7,500 90 F		5,469 S.F. III.5 FT. 50 FT.	UNCHANGED UNCHANGED UNCHANGED	- - -
SET	BACK REQUIRE	MENTS		<b>\</b>	<b>~~~</b>	<b></b>	
FRO RIGH	NT YARD HT SIDE YARD T SIDE YARD		30 F 6 FT. 6 FT.		30.9 FT. 5.1 FT. 9.1 FT.	UNCHANGED UNCHANGED UNCHANGED	- REQ'D.
	AL BOTH SIDE	YARDS	18 FT 20% O	F LOT DEPTH	14.2 FT. 44.6 FT. (40%)	UNCHANGED UNCHANGED	REQ'D.
BUL	K REQUIREMENT	S					
	COVERAGE -		1,417 S 3,401		1,160 S.F. 20.46 2,567 S.F. 45.28	% UNCHANGED	-

	AREA	VOLUME	
LIVABLE AREA (EXISTING TO REMAIN)			
MAIN LEVEL UPPER LEVEL BASEMENT LEVEL (LIVABLE AREA ONLY)	± 992 S.F. ± 0 S.F. ± 812 S.F.	N/A N/A N/A	
LIVABLE AREA (RENOVATED)			
MAIN LEVEL (RENOVATED) BASEMENT LEVEL (RENOVATED)	± <b>43</b> S.F. ± <b>43</b> S.F.	± 381 C.F. ± 333 C.F.	
LIVABLE AREA: (EXIST. TO REMAIN + RENOVATED)	± 1,890 S.F.		
NON-LIVABLE AREA (EXISTING TO REMAIN)			
BASEMENT (NON-LIVABLE AREA ONLY)	± 63 S.F.	N/A	
LIVABLE AREA (ADDITION)			
MAIN LEVEL (ADDITION) UPPER LEVEL (ADDITION)	± 0 5.F. ± 1,006 5.F.	± 0 C.F. ± 8048 C.F.	
TOTAL LIVABLE AREA (WITH ADDITION):	± 2,896 S.F.		



HOUSE LOCATION PLAN

NOTES:

SCALE: I" = 20'-0"

I.) INFO. TAKEN FROM SURVEY PREPARED BY: BRUNSWICK SURVEYING INCORPORATED LICENSED LAND SURVEYORS
NEW JERSEY LICENSE NO. 21416
61 STELTON ROAD, PISCATAWAY, NJ 08854
DATED: NOVEMBER 01, 2016

COVER SHEET

RESIDENCIAL – ADDITION/ALTERATION 581 ALLGAIR AVENUE, NORTH BRUNSWICK TOWNSHIP, NJ 08902

04-08-2022 PERMIT SET 06-20-2022 VARIANCE

NIRAJ H. PATEL, AIA, NCARB NJ LIC. NO. AI 18891

NOT VALID UNLESS SEALED

J H. PATEL AIA

CT NJ LICENSE: # AI 18891

E CT., BELLE MEAD, NJ 08502

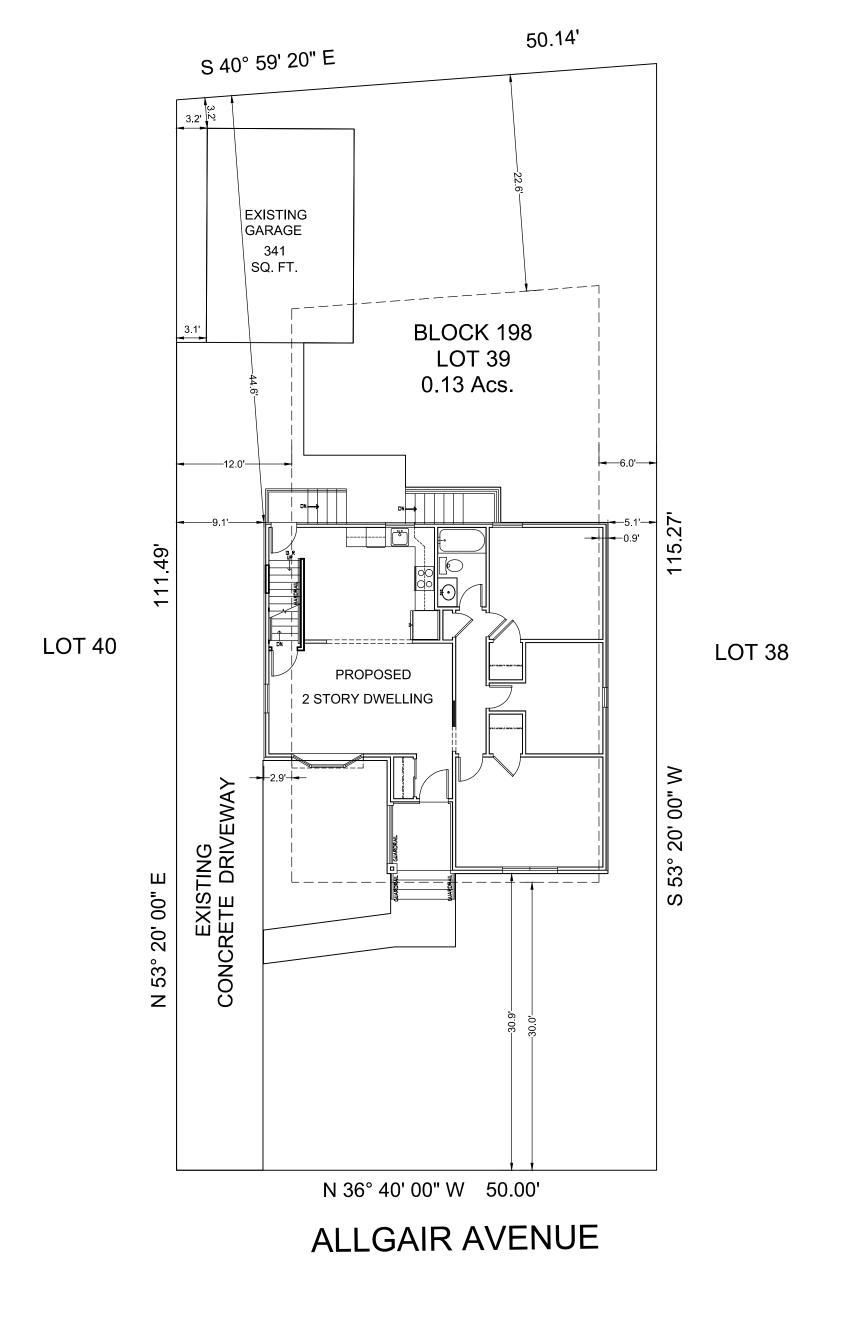
10-2384 E-MAIL: NIRAJ29@YAH00.COM

04-08-2022 PERMIT SET 06-20-2022 VARIANCE

NIRAJ H. PATEL, AIA, NCARB NJ LIC. NO. AI 18891

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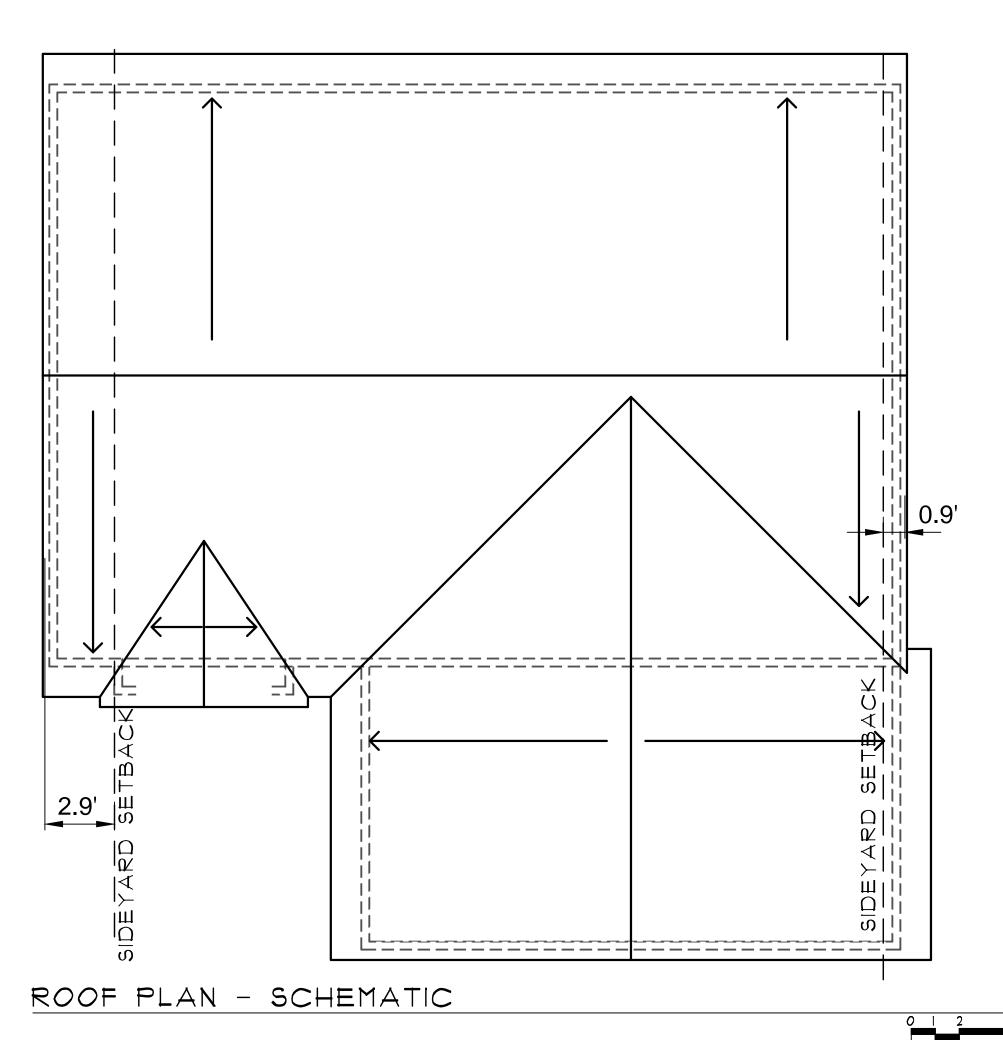


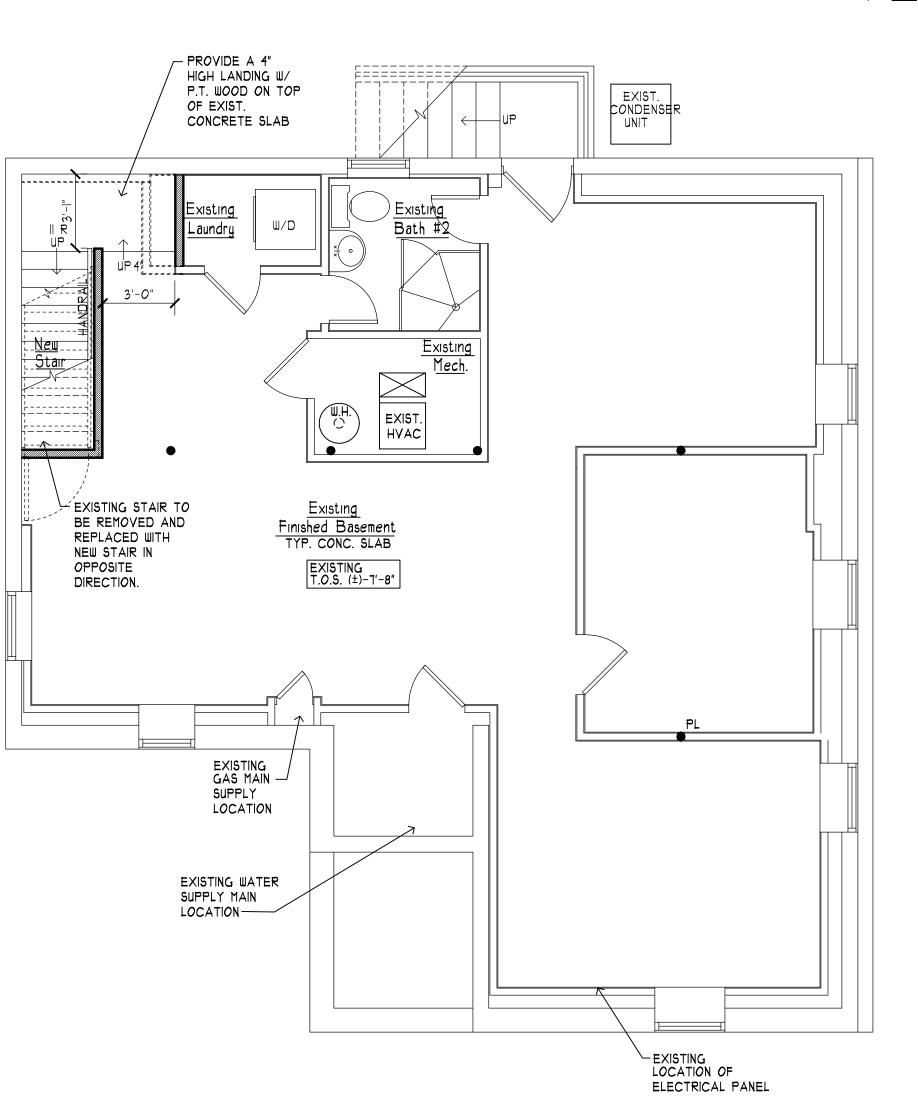




1.) INFO. TAKEN FROM SURVEY PREPARED BY: BRUNSWICK SURVEYING INCORPORATED LICENSED LAND SURVEYORS NEW JERSEY LICENSE NO. 27476
61 STELTON ROAD, PISCATAWAY, NJ 08854 DATED: NOVEMBER 01, 2016

SCALE: I" = 10'-0"





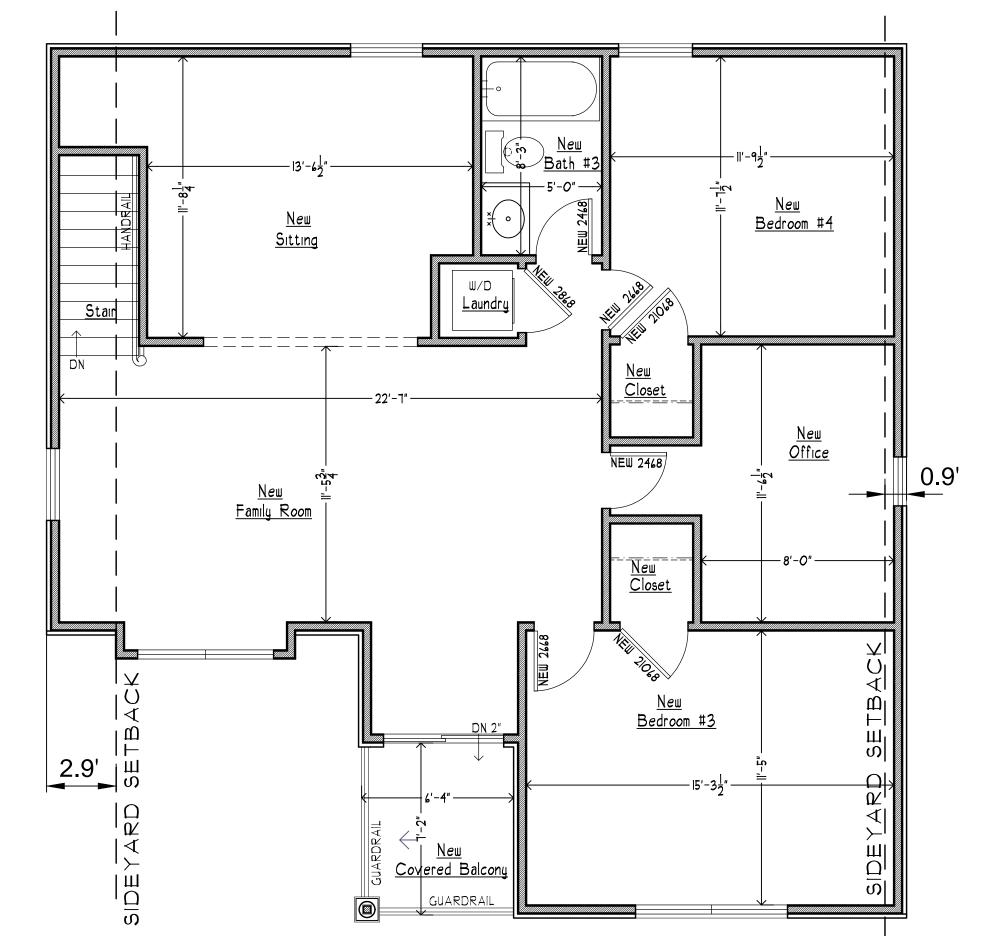
WALL LEGEND

EXISTING TO REMAIN NEW WALL

EXISTING TO BE REMOVED

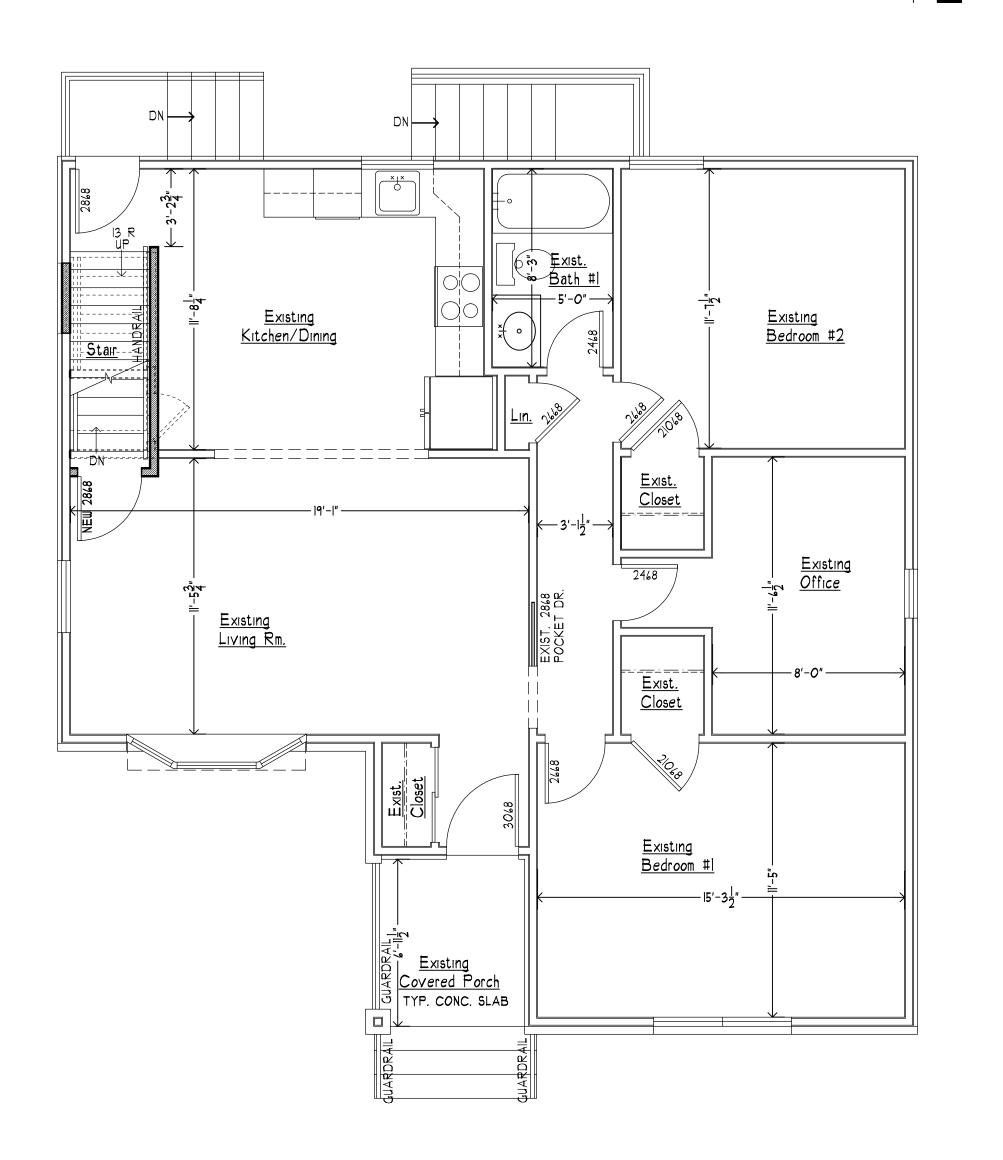
I.) SEE SD- AND SP- SHEETS FOR ADDITIONAL INFORMATION.

ROOM SIZES SHOWN ARE APPROXIMATE, AND ARE NOT TO BE USED FOR CONSTRUCTION. SEE FRAMING PLANS FOR ACTUAL ROOM DIMENSIONS.



UPPER LEVEL FLOOR PLAN - SCHEMATIC

ROOM SIZES ARE APPROXIMATE



MAIN LEVEL FLOOR PLAN - SCHEMATIC

ROOM SIZES ARE APPROXIMATE

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||||04-08-2022 PERMIT SET 06-20-2022 VARIANCE

NIRAJ H. PATEL, AIA, NCARB NJ LIC. NO. AI 18891

SEAL

NOT VALID UNLESS SEALED AAA

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FLOOR PLANS

NEU EFS 5"UCCO

S.F. 6"-0"

NEU EFS 5"UCCO

S.F. 6"-0"

NEU EFS 5"UCCO

S.F. 6"-0"

NEU EFS 5"UCCO

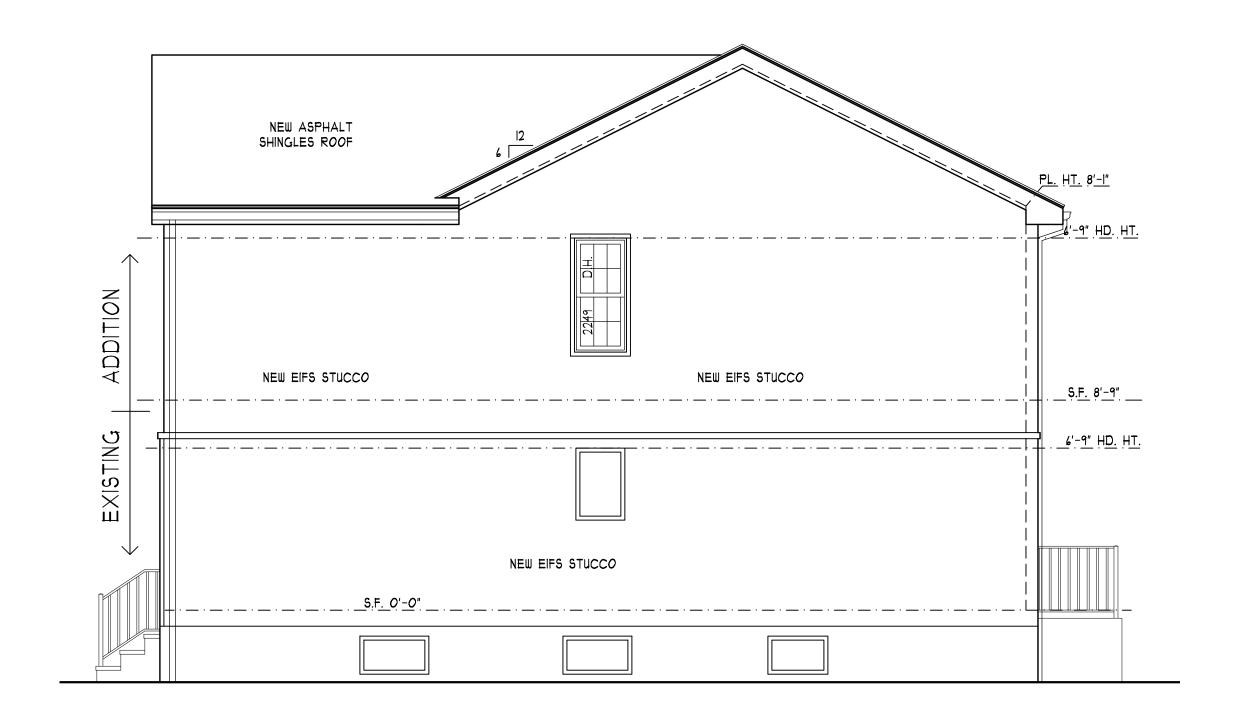
## LEFT SIDE ELEVATION

#### NOTES:

I.) SEE SD- & SP- SHEETS FOR ADDITIONAL INFORMATION.

T.O.S. -7'-8"

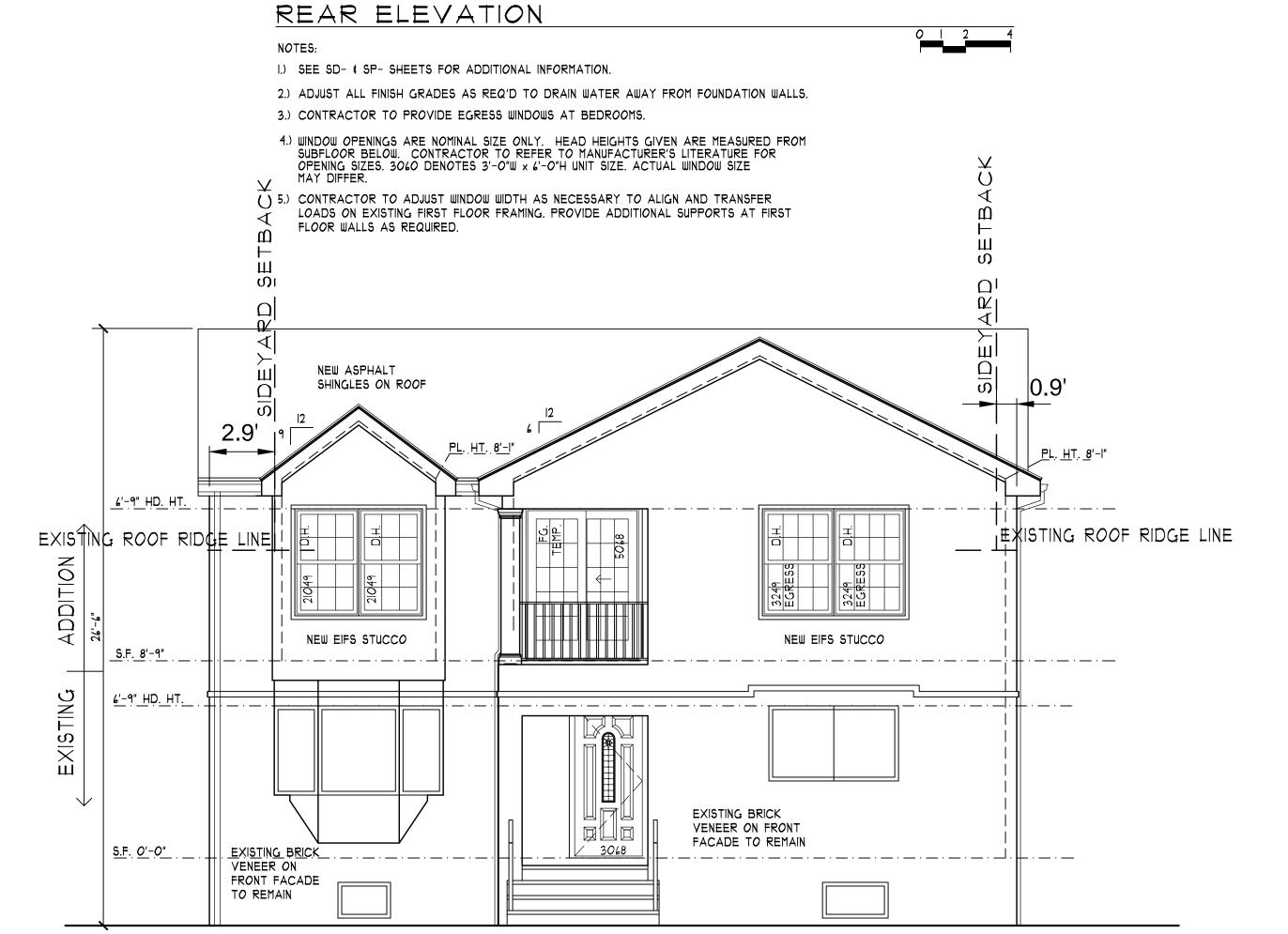
- 2.) ADJUST ALL FINISH GRADES AS REQ'D TO DRAIN WATER AWAY FROM FOUNDATION WALLS.
- 3.) CONTRACTOR TO PROVIDE EGRESS WINDOWS AT BEDROOMS.
- 4.) WINDOW OPENINGS ARE NOMINAL SIZE ONLY. HEAD HEIGHTS GIVEN ARE MEASURED FROM SUBFLOOR BELOW. CONTRACTOR TO REFER TO MANUFACTURER'S LITERATURE FOR OPENING SIZES. 3060 DENOTES 3'-0"W x 6'-0"H UNIT SIZE. ACTUAL WINDOW SIZE MAY DIFFER.
- 5.) CONTRACTOR TO ADJUST WINDOW WIDTH AS NECESSARY TO ALIGN AND TRANSFER LOADS ON EXISTING FIRST FLOOR FRAMING. PROVIDE ADDITIONAL SUPPORTS AT FIRST FLOOR WALLS AS REQUIRED.



### RIGHT SIDE ELEVATION

#### NOTES

- 1.) SEE SD- & SP- SHEETS FOR ADDITIONAL INFORMATION.
- 2.) ADJUST ALL FINISH GRADES AS REQ'D TO DRAIN WATER AWAY FROM FOUNDATION WALLS.
- 3.) CONTRACTOR TO PROVIDE EGRESS WINDOWS AT BEDROOMS.
- 4.) WINDOW OPENINGS ARE NOMINAL SIZE ONLY. HEAD HEIGHTS GIVEN ARE MEASURED FROM SUBFLOOR BELOW. CONTRACTOR TO REFER TO MANUFACTURER'S LITERATURE FOR OPENING SIZES. 3040 DENOTES 3'-0"W x 6'-0"H UNIT SIZE. ACTUAL WINDOW SIZE MAY DIFFER.
- 5.) CONTRACTOR TO ADJUST WINDOW WIDTH AS NECESSARY TO ALIGN AND TRANSFER LOADS ON EXISTING FIRST FLOOR FRAMING. PROVIDE ADDITIONAL SUPPORTS AT FIRST FLOOR WALLS AS REQUIRED.



#### FRONT ELEVATION

T.O.S. -1'-8"

T.O.S. -7'-8"

### I.) SEE SD- & SP- SHEETS FOR ADDITIONAL INFORMATION.

- 2.) ADJUST ALL FINISH GRADES AS REQ'D TO DRAIN WATER AWAY FROM FOUNDATION WALLS.
- 3.) CONTRACTOR TO PROVIDE EGRESS WINDOWS AT BEDROOMS.
- 4.) WINDOW OPENINGS ARE NOMINAL SIZE ONLY. HEAD HEIGHTS GIVEN ARE MEASURED FROM SUBFLOOR BELOW. CONTRACTOR TO REFER TO MANUFACTURER'S LITERATURE FOR OPENING SIZES. 3040 DENOTES 3'-O"W x 6'-O"H UNIT SIZE. ACTUAL WINDOW SIZE
- 5.) CONTRACTOR TO ADJUST WINDOW WIDTH AS NECESSARY TO ALIGN AND TRANSFER LOADS ON EXISTING FIRST FLOOR FRAMING. PROVIDE ADDITIONAL SUPPORTS AT FIRST FLOOR WALLS AS REQUIRED.



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NIRAJ H. PATEL, AIA, NCARB NJ LIC. NO. AI 18891

04-08-2022 PERMIT SE

NIRAJ H. PATEL, AIA, NCARB NJ LIC. NO. AI 18891 SEAL

H. PATEL AI/
T NJ LICENSE: # AI 18891
CT., BELLE MEAD, NJ 0850
-2384 E-MAIL: NIRAJ29@YAHOO.CC

