

PLOT PLAN

SCALE: 1" = 10'-0"

NOTES:

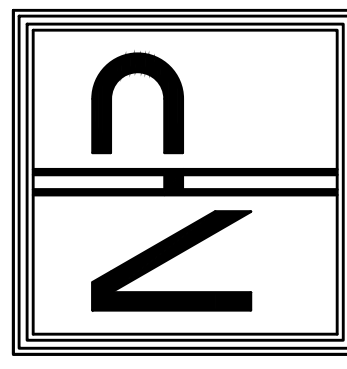
1) INFO. TAKEN FROM SURVEY PREPARED BY: BRUNSWICK SURVEYING, INCORPORATED
 LICENSED LAND SURVEYORS
 NEW JERSEY LICENSE NO. 21476
 41 STELTON ROAD, PISCATAWAY, NJ 08854
 DATED: NOVEMBER 01, 2014

RESIDENCIAL - ADDITION/ALTERATION
 581 ALLGAIR AVENUE, NORTH BRUNSWICK TOWNSHIP, NJ 08902
 LOT: 39 BLOCK: 198

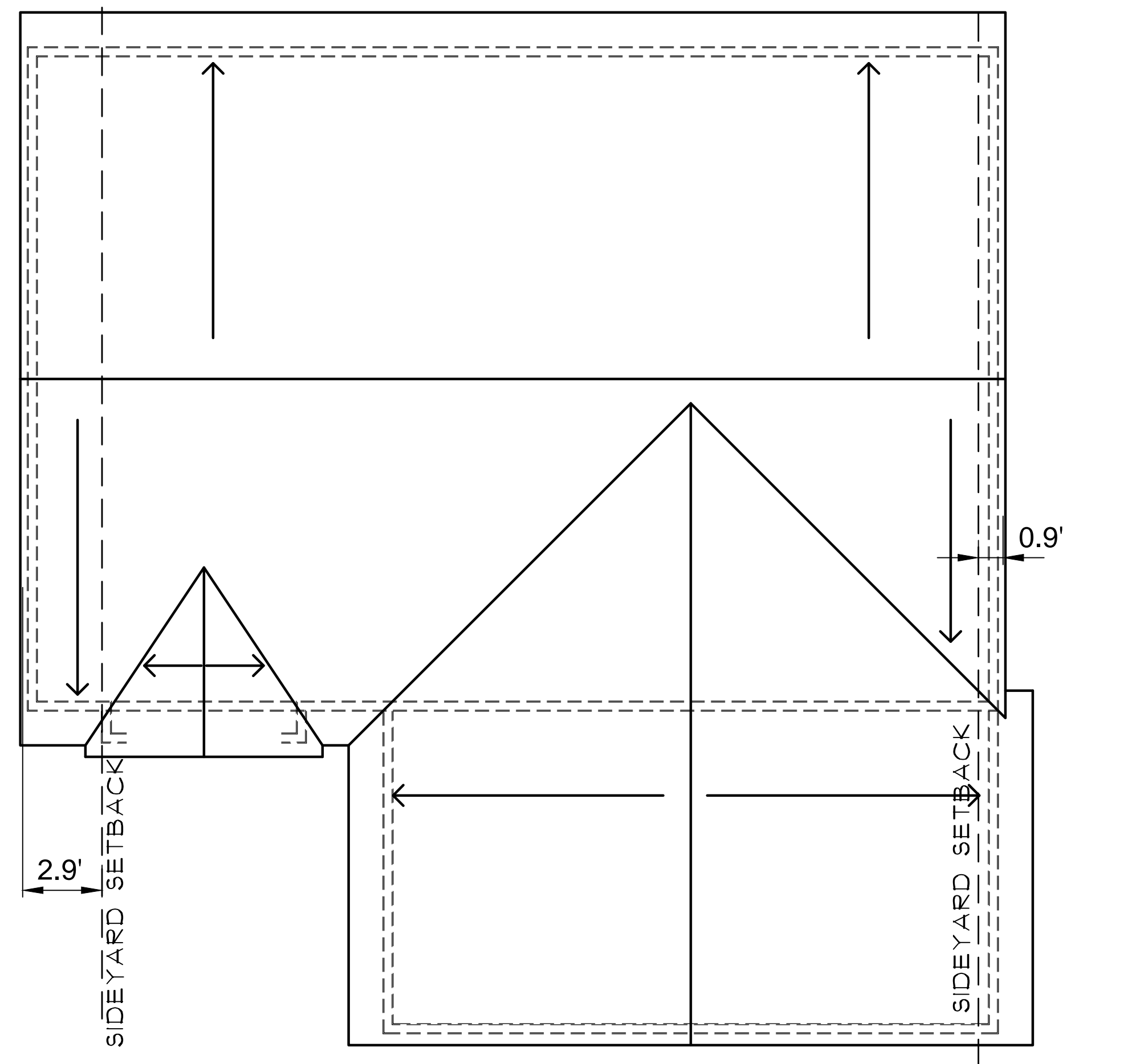
04-08-2022 PERMIT SET
 04-20-2022 VARIANCE

NIRAJ H. PATEL, AIA, NCARB
 NJ LIC. NO. AI 18891
 SEAL

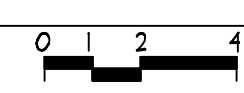
NOT VALID UNLESS SEALED
 NIRAJ H. PATEL AIA
 ARCHITECT NJ LICENSE: # AI 18891
 19 WYTHE CT., BELLE MEAD, NJ 08502
 TEL: 732-690-2384 E-MAIL: NIRAJ29@YAHOO.COM
 FAX: 801-527-0513



PLOT PLAN
 1-2



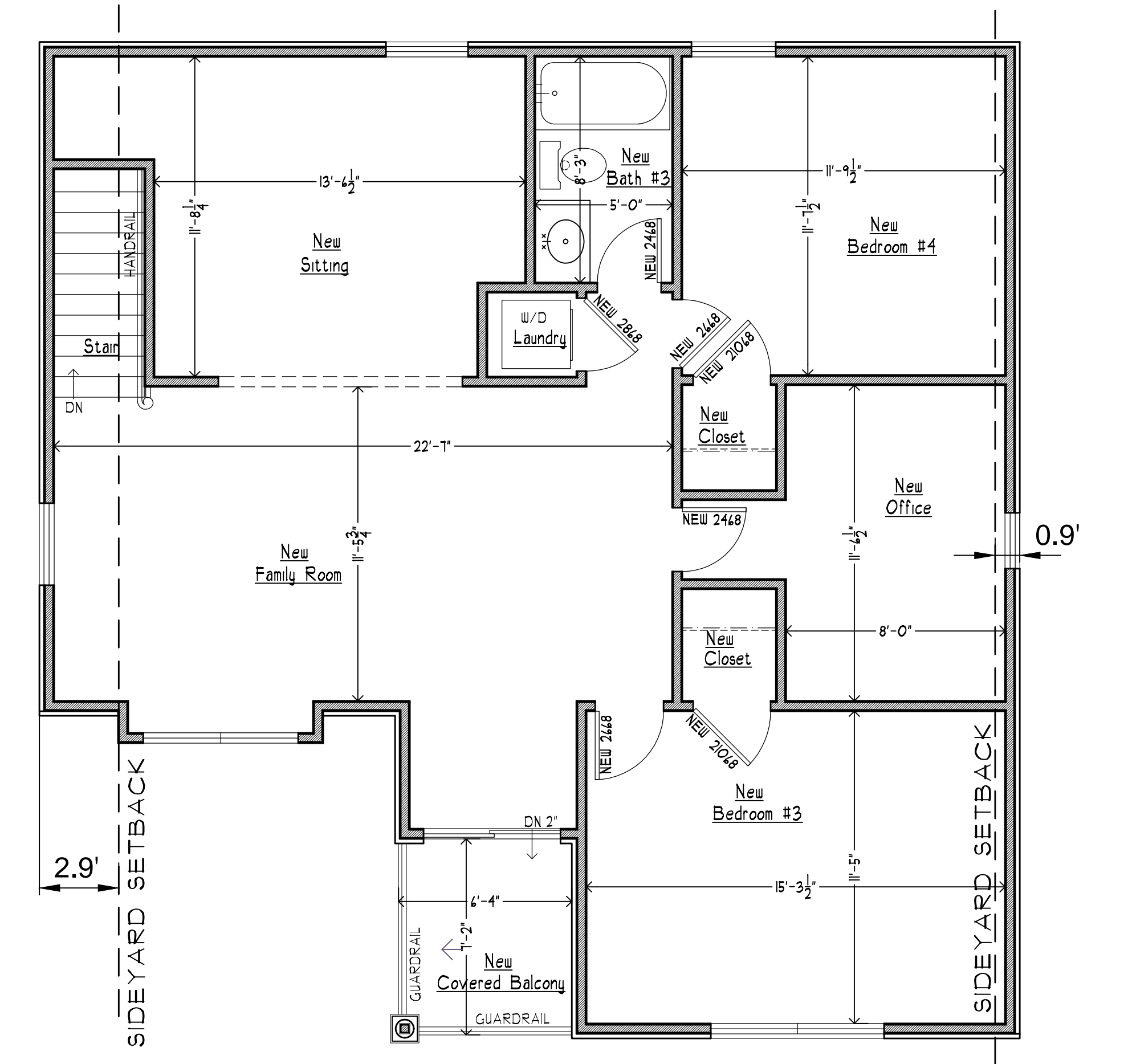
ROOF PLAN - SCHEMATIC



WALL LEGEND

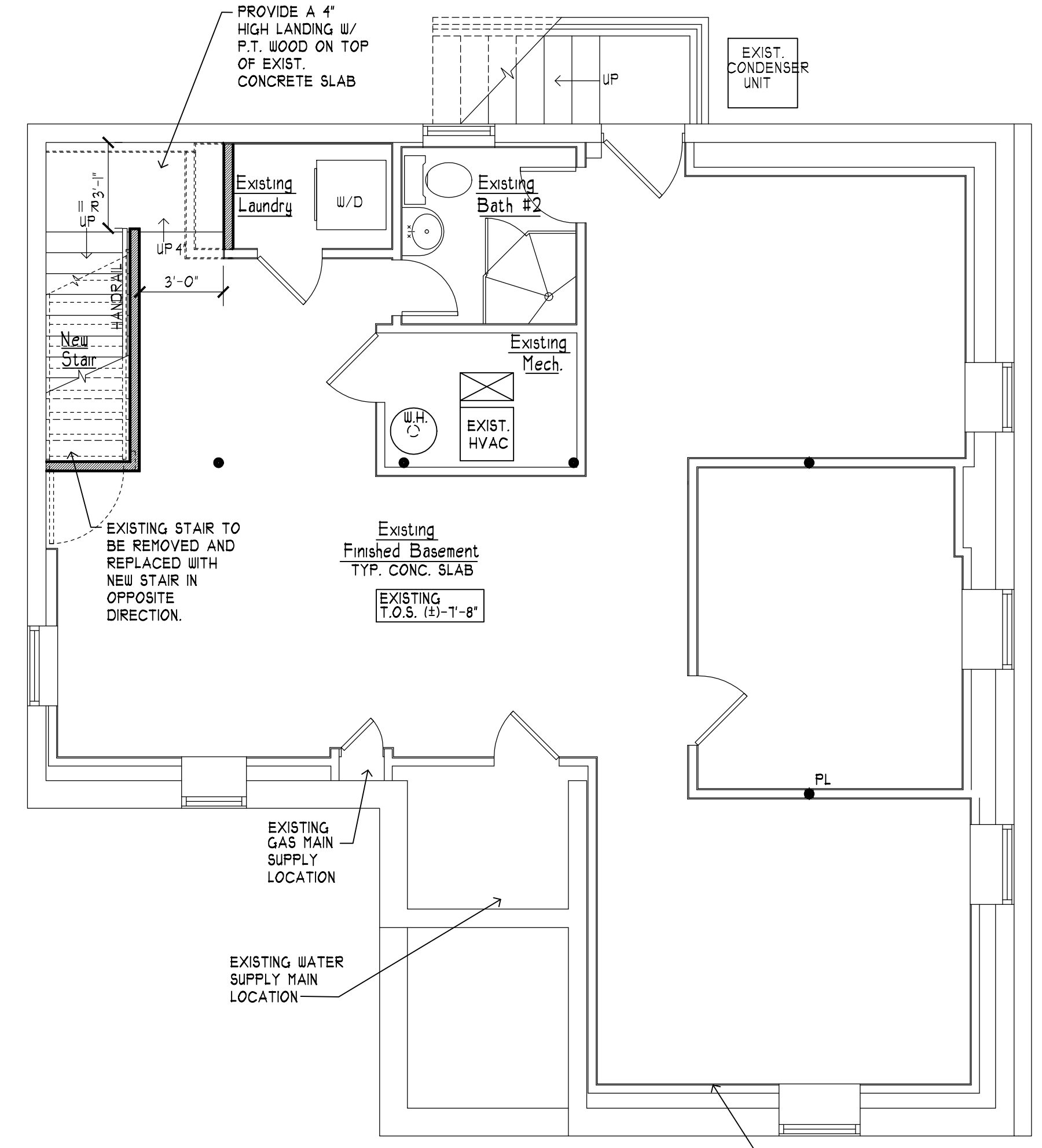
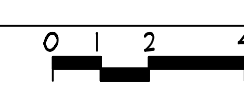
	EXISTING TO REMAIN
	NEW WALL
	EXISTING TO BE REMOVED

NOTES:
 1) SEE SD- AND SP- SHEETS FOR ADDITIONAL INFORMATION.
 2) ROOM SIZES SHOWN ARE APPROXIMATE, AND ARE NOT TO BE USED FOR CONSTRUCTION. SEE FRAMING PLANS FOR ACTUAL ROOM DIMENSIONS.



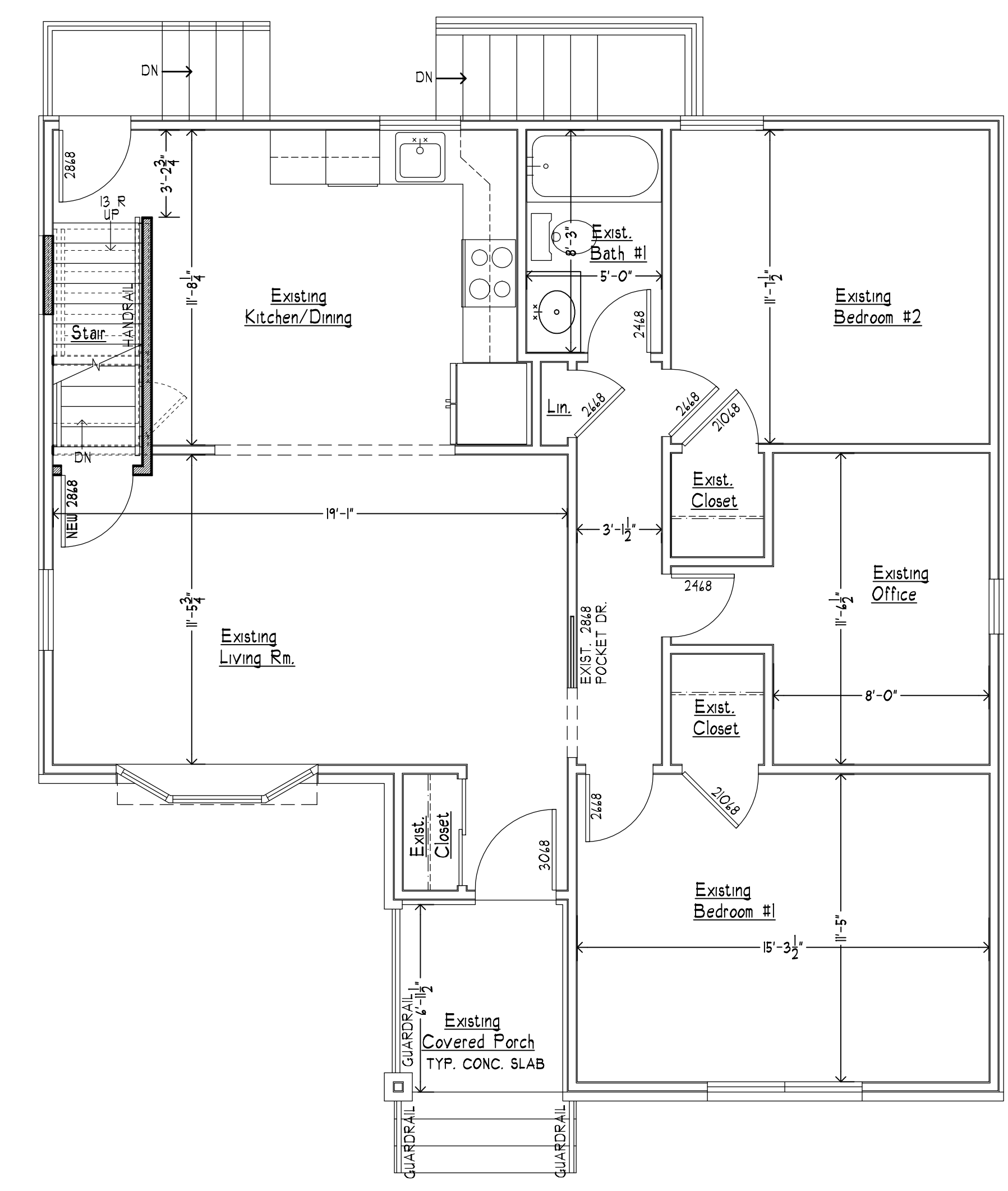
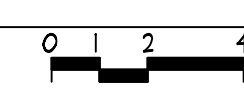
UPPER LEVEL FLOOR PLAN - SCHEMATIC

ROOM SIZES ARE APPROXIMATE



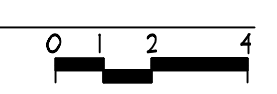
BASEMENT PLAN - SCHEMATIC

ROOM SIZES ARE APPROXIMATE



MAIN LEVEL FLOOR PLAN - SCHEMATIC

ROOM SIZES ARE APPROXIMATE

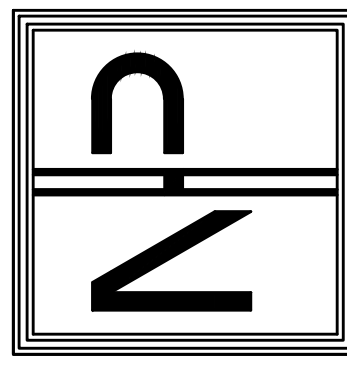


RESIDENTIAL - ADDITION/ALTERATION
 581 ALLGAI AVENUE, NORTH BRUNSWICK TOWNSHIP, NJ 08902
 LOT: 39 BLOCK: 198

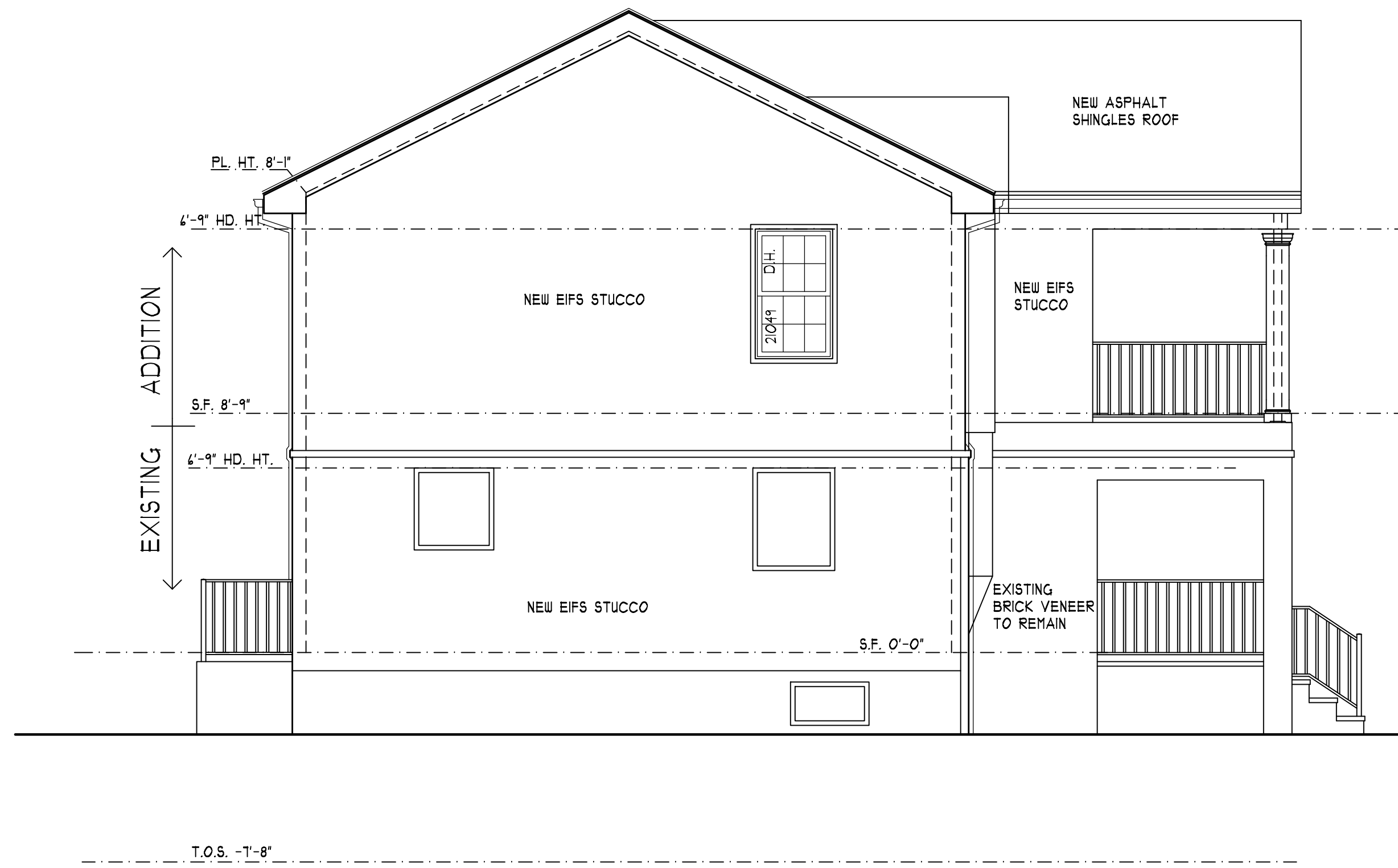
04-08-2022 PERMIT SET
 04-20-2022 VARIANCE

NIRAJ H. PATEL, AIA, NCARB
 NJ LIC. NO. AI 18891
 SEAL

NIRAJ H. PATEL AIA
 ARCHITECT NJ LICENSE: # AI 18891
 19 WYTHE CT., BELLE MEAD, NJ 08502
 TEL: 732-690-2384 E-MAIL: NIRAJ29@YAHOO.COM
 FAX: 801-327-0313



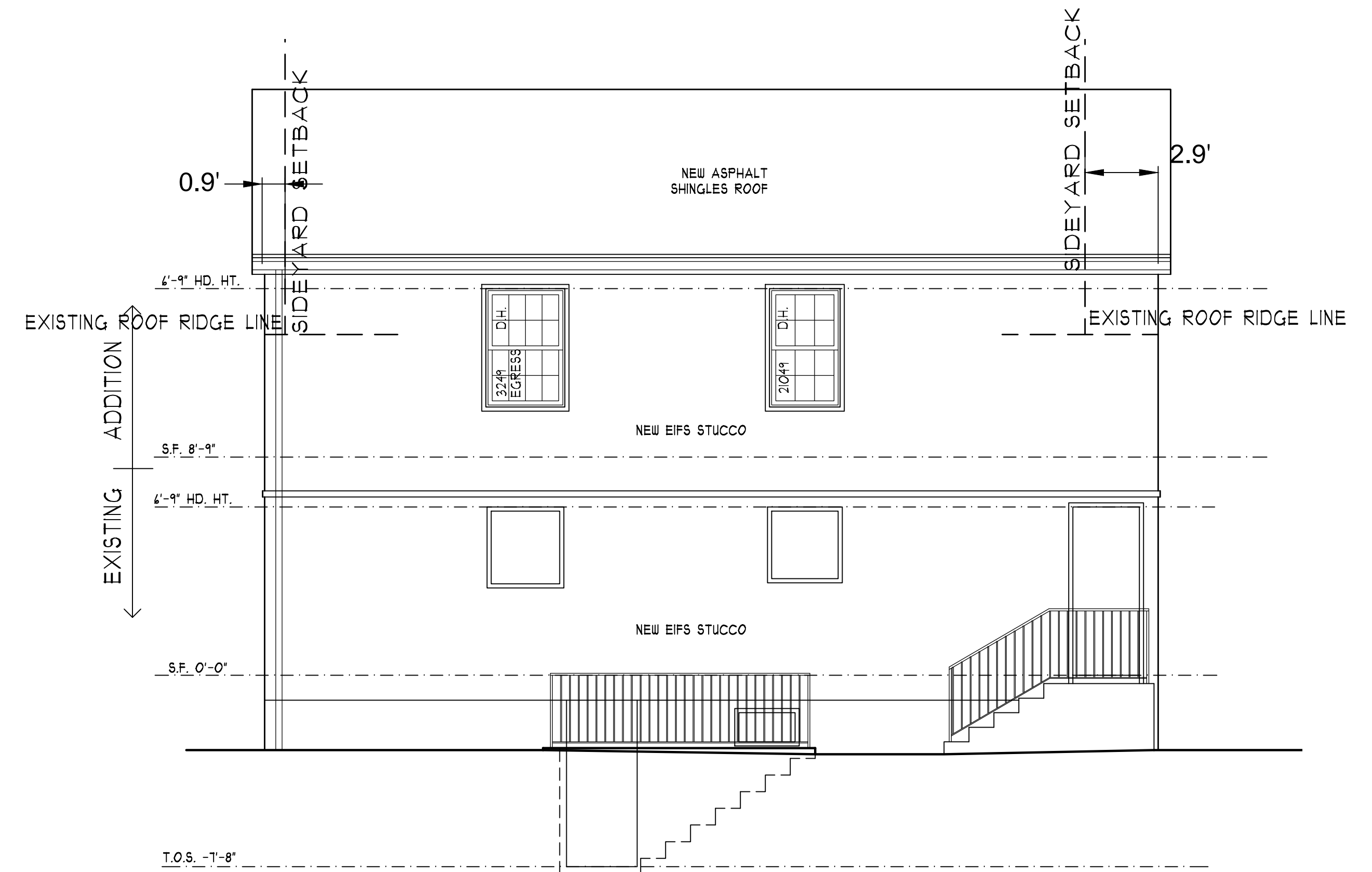
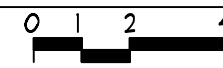
FLOOR PLANS
 A-1



LEFT SIDE ELEVATION

NOTES:

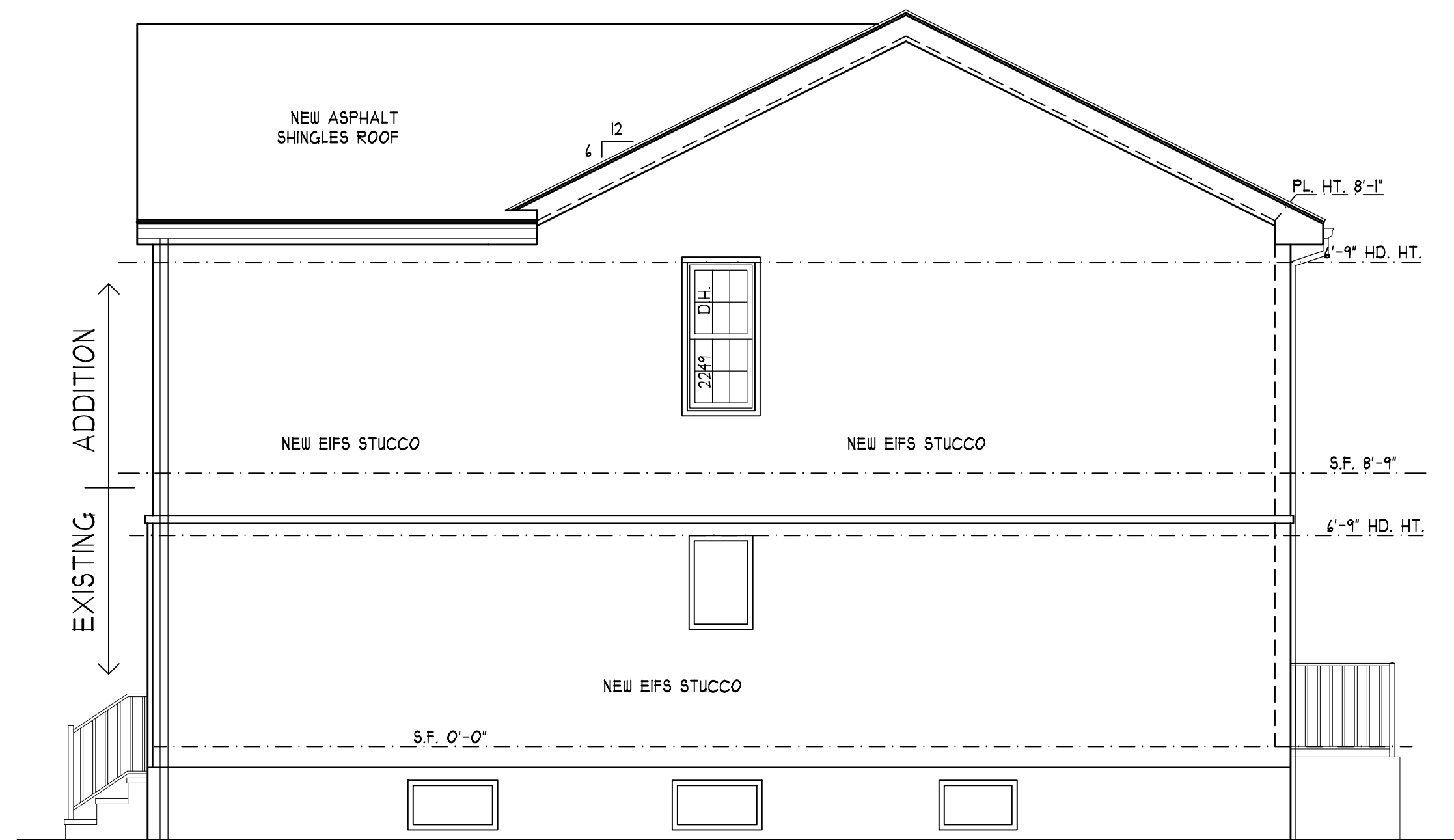
- 1) SEE SD- 1 SP- SHEETS FOR ADDITIONAL INFORMATION.
- 2) ADJUST ALL FINISH GRADES AS REQ'D TO DRAIN WATER AWAY FROM FOUNDATION WALLS.
- 3) CONTRACTOR TO PROVIDE EGRESS WINDOWS AT BEDROOMS.
- 4) WINDOW OPENINGS ARE NOMINAL SIZE ONLY. HEAD HEIGHTS GIVEN ARE MEASURED FROM SUBFLOOR BELOW. CONTRACTOR TO REFER TO MANUFACTURER'S LITERATURE FOR OPENING SIZES. 3040 DENOTES 3'-0" W x 4'-0" H UNIT SIZE. ACTUAL WINDOW SIZE MAY DIFFER.
- 5) CONTRACTOR TO ADJUST WINDOW WIDTH AS NECESSARY TO ALIGN AND TRANSFER LOADS ON EXISTING FIRST FLOOR FRAMING. PROVIDE ADDITIONAL SUPPORTS AT FIRST FLOOR WALLS AS REQUIRED.



REAR ELEVATION

NOTES:

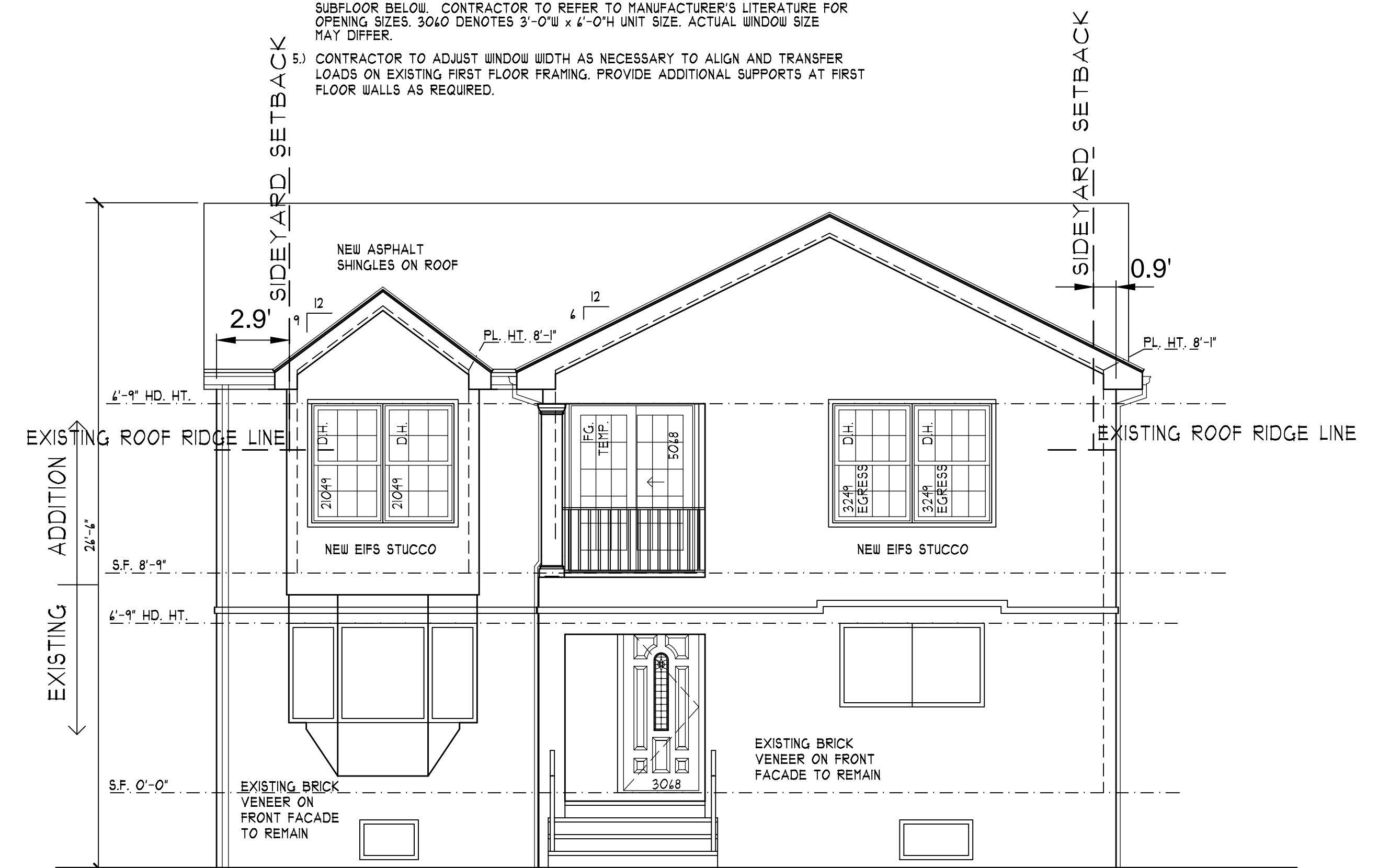
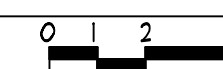
- 1) SEE SD- 1 SP- SHEETS FOR ADDITIONAL INFORMATION.
- 2) ADJUST ALL FINISH GRADES AS REQ'D TO DRAIN WATER AWAY FROM FOUNDATION WALLS.
- 3) CONTRACTOR TO PROVIDE EGRESS WINDOWS AT BEDROOMS.
- 4) WINDOW OPENINGS ARE NOMINAL SIZE ONLY. HEAD HEIGHTS GIVEN ARE MEASURED FROM SUBFLOOR BELOW. CONTRACTOR TO REFER TO MANUFACTURER'S LITERATURE FOR OPENING SIZES. 3040 DENOTES 3'-0" W x 4'-0" H UNIT SIZE. ACTUAL WINDOW SIZE MAY DIFFER.
- 5) CONTRACTOR TO ADJUST WINDOW WIDTH AS NECESSARY TO ALIGN AND TRANSFER LOADS ON EXISTING FIRST FLOOR FRAMING. PROVIDE ADDITIONAL SUPPORTS AT FIRST FLOOR WALLS AS REQUIRED.



RIGHT SIDE ELEVATION

NOTES:

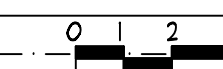
- 1) SEE SD- 1 SP- SHEETS FOR ADDITIONAL INFORMATION.
- 2) ADJUST ALL FINISH GRADES AS REQ'D TO DRAIN WATER AWAY FROM FOUNDATION WALLS.
- 3) CONTRACTOR TO PROVIDE EGRESS WINDOWS AT BEDROOMS.
- 4) WINDOW OPENINGS ARE NOMINAL SIZE ONLY. HEAD HEIGHTS GIVEN ARE MEASURED FROM SUBFLOOR BELOW. CONTRACTOR TO REFER TO MANUFACTURER'S LITERATURE FOR OPENING SIZES. 3040 DENOTES 3'-0" W x 4'-0" H UNIT SIZE. ACTUAL WINDOW SIZE MAY DIFFER.
- 5) CONTRACTOR TO ADJUST WINDOW WIDTH AS NECESSARY TO ALIGN AND TRANSFER LOADS ON EXISTING FIRST FLOOR FRAMING. PROVIDE ADDITIONAL SUPPORTS AT FIRST FLOOR WALLS AS REQUIRED.



FRONT ELEVATION

NOTES:

- 1) SEE SD- 1 SP- SHEETS FOR ADDITIONAL INFORMATION.
- 2) ADJUST ALL FINISH GRADES AS REQ'D TO DRAIN WATER AWAY FROM FOUNDATION WALLS.
- 3) CONTRACTOR TO PROVIDE EGRESS WINDOWS AT BEDROOMS.
- 4) WINDOW OPENINGS ARE NOMINAL SIZE ONLY. HEAD HEIGHTS GIVEN ARE MEASURED FROM SUBFLOOR BELOW. CONTRACTOR TO REFER TO MANUFACTURER'S LITERATURE FOR OPENING SIZES. 3040 DENOTES 3'-0" W x 4'-0" H UNIT SIZE. ACTUAL WINDOW SIZE MAY DIFFER.
- 5) CONTRACTOR TO ADJUST WINDOW WIDTH AS NECESSARY TO ALIGN AND TRANSFER LOADS ON EXISTING FIRST FLOOR FRAMING. PROVIDE ADDITIONAL SUPPORTS AT FIRST FLOOR WALLS AS REQUIRED.



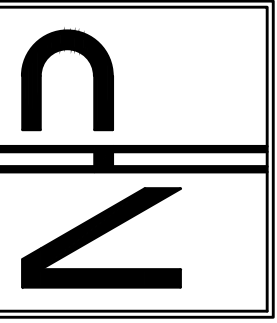
RESIDENCIAL - ADDITION/ALTERATION
581 ALLGAIR AVENUE, NORTH BRUNSWICK TOWNSHIP, NJ 08902
LOT: 39 BLOCK: 198

04-08-2022 PERMIT SET
04-20-2022 VARIANCE

NIRAJ H. PATEL, AIA, NCARB
NJ LIC. NO. AI 18891

NOT VALID UNLESS SEALED

NIRAJ H. PATEL AIA
ARCHITECT NJ LICENSE: # AI 18891
19 WYTHE CT., BELLE MEAD, NJ 08502
TEL: 732-690-2384 E-MAIL: NIRAJ29@YAHOO.COM
FAX: 801-327-0313



ELEVATIONS
A - 2