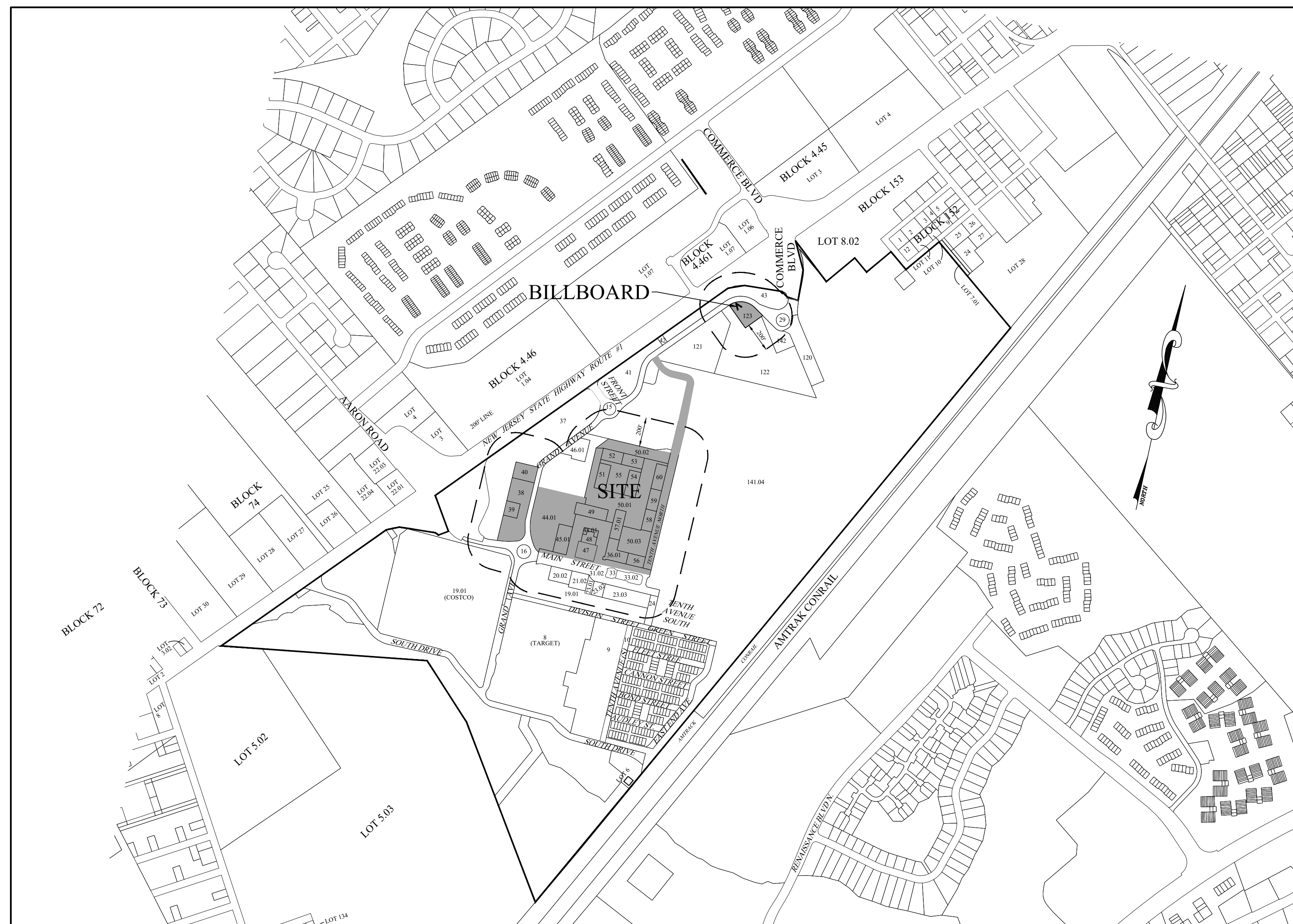


AMENDED PRELIMINARY & PHASE 1F FINAL SITE PLAN MAIN STREET NORTH BRUNSWICK

FOR
FOR BLOCK 141, LOTS 31.02,36.01,38,39,40,44.01,45.01,47,48,48.01,49
50.01,50.02,50.03,51,52,53,54,55,56,57.01,58,59,60,63.01,123
North Brunswick Township, Middlesex County, NJ

OWNERS WITHIN 200 FT.

BLOCK	LOT	OWNER NAME & ADDRESS	CONTACT
141	141.04	NORTH BRUNSWICK TOD ASSOCIATES, LLC 820 MORRIS TURNPIKE SHORT HILLS, NJ 07078	MIDDLESEX COUNTY PLANNING BOARD COUNTY ADMINISTRATION BUILDING 276 ELDER, 75 BAYARD STREET NEW BRUNSWICK, NJ 08901
141	15	NORTH BRUNSWICK TOD ASSOCIATES, LLC 820 MORRIS TURNPIKE SHORT HILLS, NJ 07078	ATTN: TOWNSHIP CLERK NORTH BRUNSWICK TOWNSHIP 710 HERMANN ROAD NORTH BRUNSWICK, NJ 08902
141	21.02	MAIN STREET HOTEL, LLC 2000 CORNWALL RD., STE 300 MONMOUTH JUNCTION, NJ 08852	PUBLIC SERVICE ELECTRIC & GAS CO. MANAGER - CORPORATE PROPERTIES 80 PARK PLACE, TEBB NEWARK, NJ 07102
141	16	NORTH BRUNSWICK TOD ASSOCIATES, LLC 820 MORRIS TURNPIKE SHORT HILLS, NJ 07078	VERIZON N.J. GEN. TAX ADMINISTRATION BROAD STREET, ROOM 305 NEWARK, NJ 07101
141	37	NORTH BRUNSWICK TOD ASSOCIATES, LLC 820 MORRIS TURNPIKE SHORT HILLS, NJ 07078	ATTN: MARGUERITE PRENDERVILLE CABLEVISION OF RARITAN VALLEY 275 CENTENNIAL AVENUE CN 6505 PISCATAWAY, NJ 08855-6805
141	33	NORTH BRUNSWICK TOD ASSOCIATES, LLC 820 MORRIS TURNPIKE SHORT HILLS, NJ 07078	DEPARTMENT OF TRANSPORTATION STATE OF NEW JERSEY 1035 PARKWAY TRENTON, NJ 08625
141	5	COSTCO WS CORP 2 PROP TAX DEPT 1174 999 LAKE DRIVE ISSAQUAH, WA 98027	CONSTRUCTION DEPARTMENT, MR. TIM ALLEN 12345 EASTERN TRANSDISCON CORP. 501 COOLIDGE STREET SOUTH PLAINFIELD, NJ 07080
141	2	NORTH BRUNSWICK TOD ASSOCIATES, LLC 820 MORRIS TURNPIKE SHORT HILLS, NJ 07078	SUNOCO PHELPE, LP. RIGHT-OF-WAY MONTELLO COMPLEX 525 FRETZTOWN ROAD SINNING SPRING, PA 19008
141	51	NBTOD PHASE 1F, LLC 820 MORRIS TURNPIKE SHORT HILLS, NJ 07078	
141	23.01	NORTH BRUNSWICK TOD ASSOCIATES, LLC 820 MORRIS TURNPIKE SHORT HILLS, NJ 07078	
141	19.01	NORTH BRUNSWICK TOD ASSOCIATES, LLC 820 MORRIS TURNPIKE SHORT HILLS, NJ 07078	
141	23.02	NORTH BRUNSWICK TOD ASSOCIATES, LLC 820 MORRIS TURNPIKE SHORT HILLS, NJ 07078	
141	20.02	NBTOD PARCEL, B2, LLC 2300 US ROUTE 1 NORTH BRUNSWICK, NJ 08902	
141	46.01	NBTOD PARCEL, B7, LLC 2300 US ROUTE 1 NORTH BRUNSWICK, NJ 08902	
141	23.03	NORTH BRUNSWICK TOD ASSOCIATES, LLC 820 MORRIS TURNPIKE SHORT HILLS, NJ 07078	
141	24	NORTH BRUNSWICK TOD ASSOCIATES, LLC 820 MORRIS TURNPIKE SHORT HILLS, NJ 07078	
141	29	NORTH BRUNSWICK TOD ASSOCIATES, LLC 820 MORRIS TURNPIKE SHORT HILLS, NJ 07078	
141	43	NORTH BRUNSWICK TOD ASSOCIATES, LLC 820 MORRIS TURNPIKE SHORT HILLS, NJ 07078	
141	120	NORTH BRUNSWICK TOD ASSOCIATES, LLC 820 MORRIS TURNPIKE SHORT HILLS, NJ 07078	
141	142	NORTH BRUNSWICK TOD ASSOCIATES, LLC 820 MORRIS TURNPIKE SHORT HILLS, NJ 07078	
141	122	NORTH BRUNSWICK TOD ASSOCIATES, LLC 820 MORRIS TURNPIKE SHORT HILLS, NJ 07078	
141	121	NORTH BRUNSWICK TOD ASSOCIATES, LLC 820 MORRIS TURNPIKE SHORT HILLS, NJ 07078	
141	2	NORTH BRUNSWICK TOD ASSOCIATES, LLC 820 MORRIS TURNPIKE SHORT HILLS, NJ 07078	



KEY MAP
SCALE: 1"=500'

GENERAL NOTES

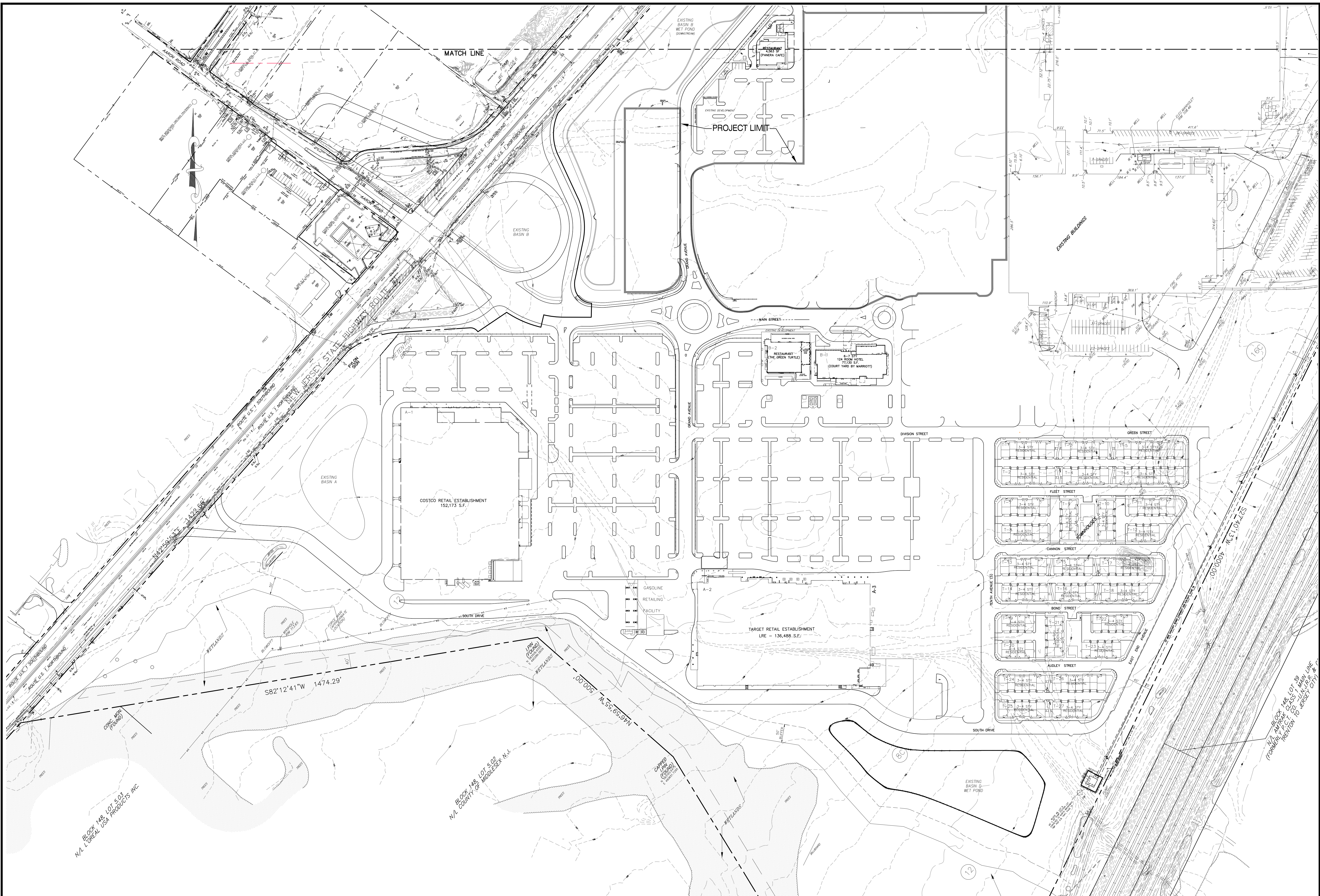
- OWNER / APPLICANT
NORTH BRUNSWICK TOD PHASE 1F, LLC
2300 US ROUTE 1
NORTH BRUNSWICK, NJ 08902
AND
NORTH BRUNSWICK TOD ASSOCIATES, LLC
2300 US ROUTE 1
NORTH BRUNSWICK, NJ 08902
- PROPERTY DESCRIPTION
- 2300 U.S. HIGHWAY ROUTE 1
- TAX MAP SHEETS #33,37
- TOTAL ACRES - 206.45 ACRES
- ZONING - I-2 ZONE
- TRANSIT-ORIENTED MIXED USE DEVELOPMENT
OVERLAY
- PROPOSED USES
- MIXED USE RESIDENTIAL AND NON-RESIDENTIAL
- PROPERTY TO BE REDEVELOPED IS OUTSIDE THE
100 YEAR FLOOD PLAIN.
- WATER MAIN TO BE OWNED BY NORTH BRUNSWICK TOWNSHIP.
- SANITARY SEWER MAINS AND SYSTEM TO BE OWNED BY DEVELOPER.
ITS SUCCESSORS AND ASSIGNS.
- A Restrictive Covenant has been filed which sets forth documentation that any
detention/retention/recharge facilities will be adequately maintained in accordance with the
standards of Middlesex County. Refer to the paragraph in the restrictive covenant entitled "Right
of County of Middlesex to maintain drainage basin". Conditions that affect non-county facilities
should be reviewed and approved by the appropriate jurisdictional agency.

SHEET INDEX

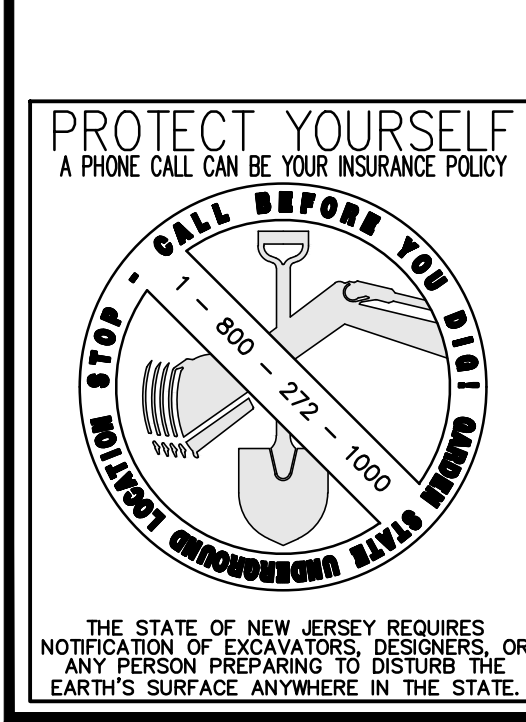
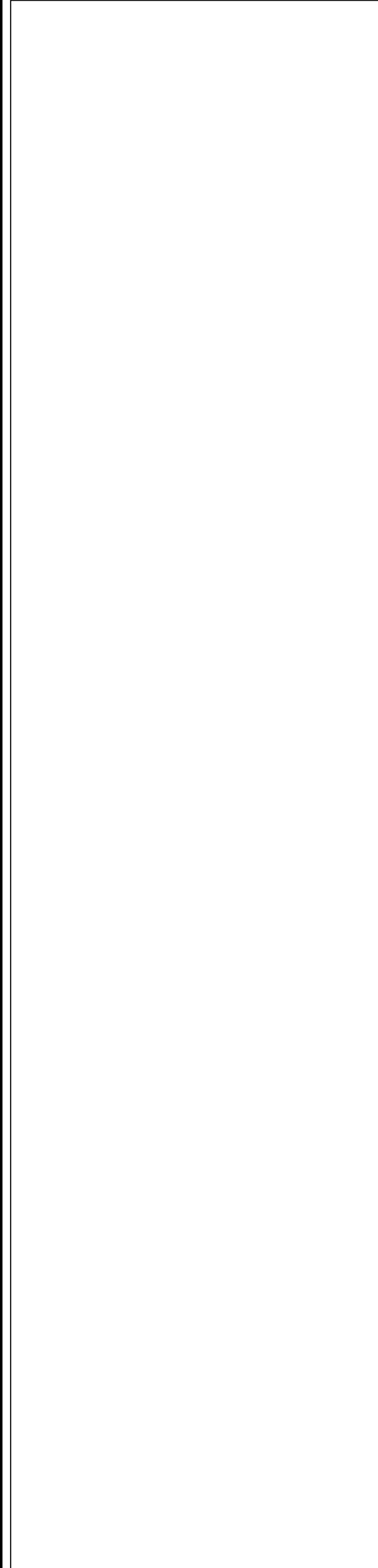
- COVER SHEET
- EXISTING CONDITIONS PLAN 'A'
- EXISTING CONDITIONS PLAN 'B'
- SUBDIVISION MAP
- OVERALL PLAN 'A'
- OVERALL PLAN 'B' AND BILLBOARD
- DEMOLITION PLAN
- DIMENSION PLAN
- GRADING PLAN
- UTILITY PLAN
- TENTH AVENUE CONNECTOR ROAD PLAN
- HARDSCAPE MATERIAL PLAN
- LANDSCAPE PLAN
- TOWNHOUSE LANDSCAPE PLAN
- LIGHTING PLAN
- BILLBOARD PLAN AND DETAILS
- SOIL EROSION AND SEDIMENT CONTROL PLAN
- ROAD PROFILES
- STORM AND SANITARY PROFILES
- SOIL EROSION AND SEDIMENT CONTROL DETAILS
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS
- SHAKE SHACK DETAILS
- STORM SEWER DETAILS
- SANITARY SEWER AND WATER DETAILS
- LANDSCAPE AND LIGHTING DETAILS
- LIGHTING DETAILS
- FIRE TRUCK AND GARBAGE TRUCK TURNING PLAN

Shared Parking Demand Worksheet
Weekday day Model

Phase 1F		601 Required - 635 Provided																				
North Brunswick Central Business District																						
Redevelopment Demand	Peak Factor	Unit	6am	7am	8am	9am	10am	11am	12m	1pm	2pm	3pm	4pm	5pm	6pm	7pm	8pm	9pm	10pm	11pm	12m	
1	n/a	n/a	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
2	4.5	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
3	4.5	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
4	4.5	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
5	1.5	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
6	3.0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
7	3.0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
8	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
9	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
10	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
11	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
12	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
13	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
14	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
15	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
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19	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
20	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
21	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
22	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
23	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
24	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
25	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
26	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
27	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
28	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
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39	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
40	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
41	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
42	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
43	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
44	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
45	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
46	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
47	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
48	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
49	0	1000 SF	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
50	0	1000 SF	0																			



revisions		
no.	date	description



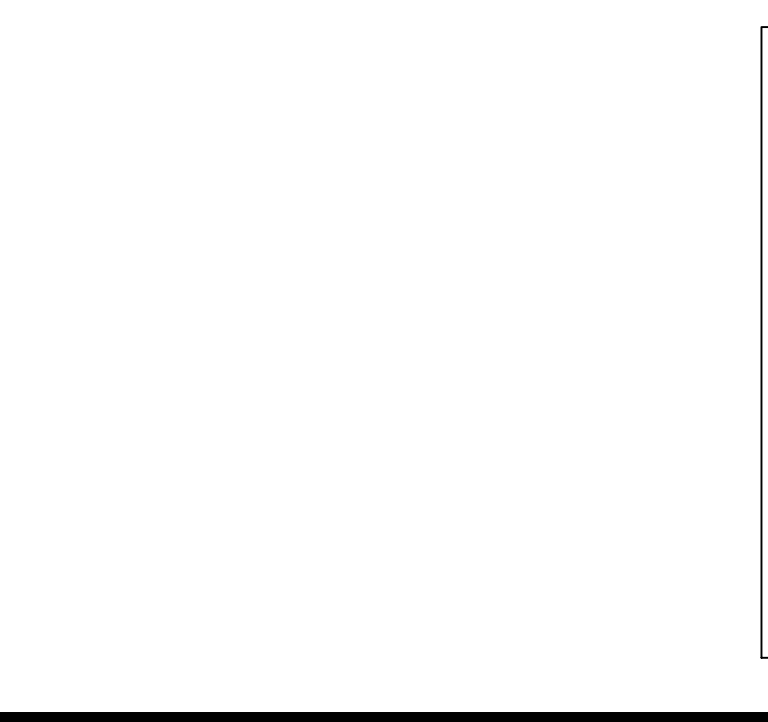
PROTECT YOURSELF
A PHONE CALL CAN BE YOUR INSURANCE POLICY

CALL BEFORE YOU DIAL
800-272-1000

THE STATE OF NEW JERSEY REQUIRES
NONY PUBLIC CONTRACTORS TO OBTAIN
ANY PERSON PREPARING TO DIGEST THE
EARTH'S SURFACE ANYWHERE IN THE STATE

- LEGEND**
EXISTING FEATURES
- EXIST. TREE LINE
 - EXIST. SANITARY MANHOLE
 - EXIST. INLET
 - EXIST. UTILITY POLE
 - EXIST. FIRE HYDRANT
 - EXIST. SPOT ELEVATION
 - EXIST. WATER LINE
 - EXIST. SANITARY SEWER
 - EXIST. STORM SEWER
 - EXIST. CONTOUR
 - EXIST. FENCE
 - EX. TOP CURB/GUTTER GRADE

- NOTES:**
- BOUNDARY INFORMATION SHOWN ON THIS PLAN IS BASED UPON A SURVEY OF PROPERTY BY CREST ENGINEERING ASSOCIATES DATED 4/11/11.
 - OWNER: NORTH BRUNSWICK T.O.D. ASSOCIATES, LLC.
 - TOPOGRAPHIC SURVEY BASED ON AERIAL TOPOGRAPHIC MAPPING PREPARED BY GILMORE & ASSOC. DATED 4/20/03, AND UPDATED BY CREST ENGINEERING ASSOC. IN JANUARY, 2011. VERTICAL DATUM: NAVD83.
 - ASBUILT INFORMATION SHOWN ON THIS PLAN IS BASED UPON AN ASBUILT PREPARED BY CREST ENGINEERING ASSOCIATES INC., DATED 9/18/13, LAST REVISED 9/20/14.
 - WETLANDS DELINEATION AND BUFFERS PER N.J.D.E.P. FILE #215-08-0003.2 FWW00001, DATED NOV. 16, 2010.
 - TOTAL WETLANDS AREA = 28.55 ACRES. TOTAL BUFFER AREA = 12.97 ACRES.
 - THE 100 YEAR FLOOD LIMIT DOES NOT FALL WITHIN THE PROJECT BOUNDARIES (PER LETTER OF MAP REVISION NO. 11-02-1340P, DATED 8-16-11).



The Reynolds Group Inc.
Engineers
Landscape Architects
Land Surveyors
Planners
575 Route 28, Suite 110
Raritan, N.J. 08869
908-722-1500
Fax 908-722-7035
www.reynoldsgroup.com

State of New Jersey
Certificate of Authorization
Number: 240A27989200
21MH00004300

F. Mitchell Ardmán, P.E., P.P.
Jeffrey D. Reynolds, P.L.A.

AMENDED PRELIMINARY AND FINAL SITE PLAN PHASE 1F
BLOCK 141
LOTS 31,02,36,01,38,39,40,44,01,45,01,47,48,48,01,49,50,01,50,02,50,03,51,52,53,54,55,56,57,01,58,59,60,63,01,123
NORTH BRUNSWICK TOWNSHIP
MIDDLESEX COUNTY, NEW JERSEY

EXISTING CONDITIONS PLAN 'A'

job number: 21-042
drawing number: 2
scale: 1"=100'
checked by: FMA/AEC
drawn by: A.A.
date: 03/09/22
sheet XX of 29

LEGEND	
EXISTING FEATURES	
EXIST. TREE LINE	
EXIST. SANITARY MANHOLE	
EXIST. INLET	
EXIST. UTILITY POLE	
EXIST. FIRE HYDRANT	
EXIST. SPOT ELEVATION	
EXIST. WATER LINE	
EXIST. SANITARY SEWER	
EXIST. STORM SEWER	
EXIST. CONTOUR	
EXIST. FENCE	
EX. TOP CURB/GUTTER GRADE	



revisions		
no.	date	description

The Reynolds Group Inc.
 State of New Jersey
 Certificate of Authorization
 Number: 240A2798200
 21MH00004300
 F. Mitchell Ardman, P.E., P.P.
 Jeffrey D. Reynolds, P.L.A.

F. Mitchell Ardman
 F. MITCHEL ARDMAN
 N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

PROJECT: AMENDED PRELIMINARY AND FINAL SITE PLAN PHASE 1F
 BLOCK 141
 LOTS 31,02,36,01,38,39,40,44,01,45,01,47,48,48,01,49,50,01,50,02,50,03,51,52,53,54,55,56,57,01,58,59,60,63,01,123
 NORTH BRUNSWICK TOWNSHIP
 MIDDLESEX COUNTY, NEW JERSEY

job number	21-042	drawing number	3
scale	1"=100'	checked by	FMA/AEC
drawn by	A.A.	date	03/09/22
sheet	XX of 29		

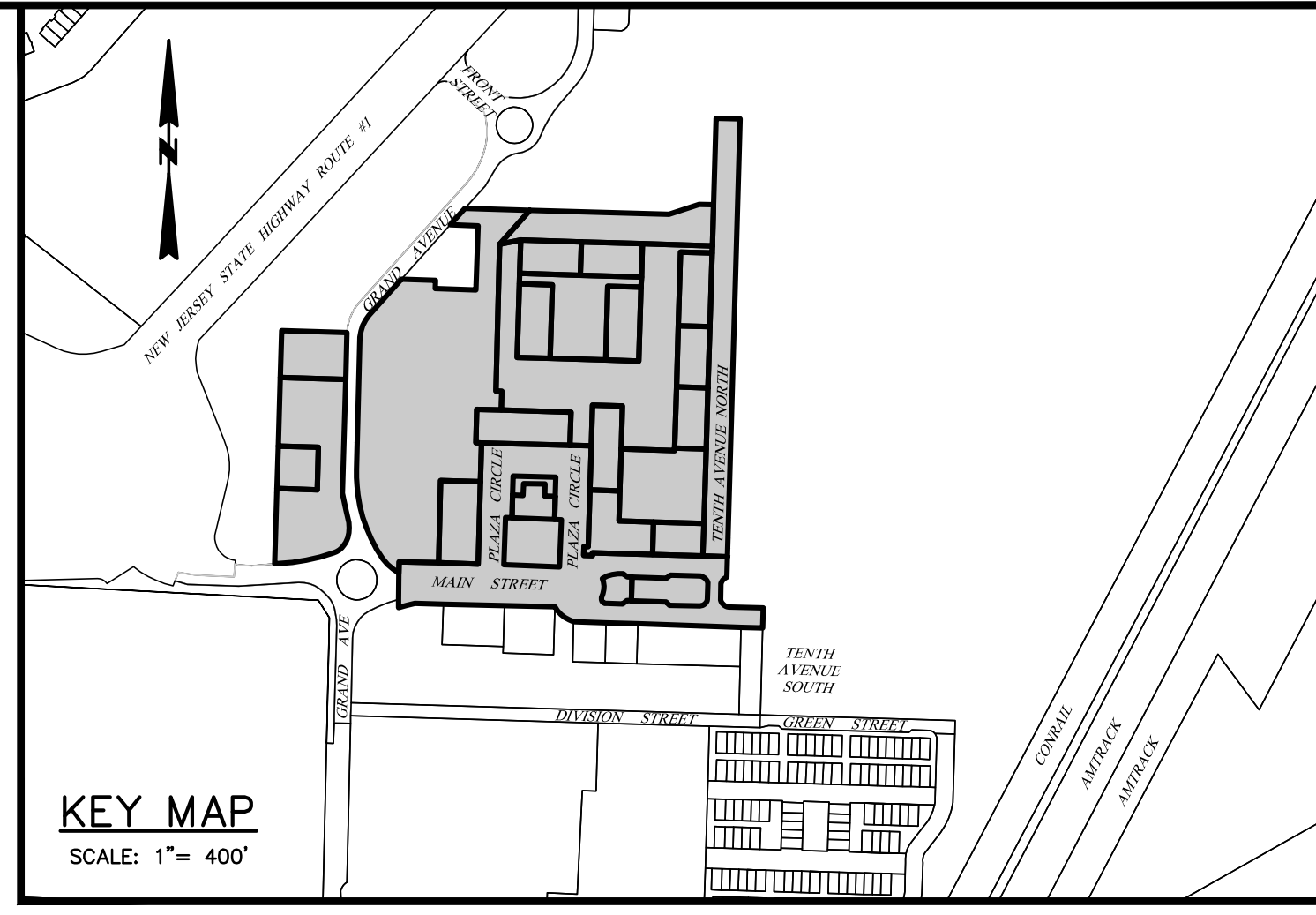
NOTES:
 1. BOUNDARY INFORMATION SHOWN ON THIS PLAN IS BASED UPON A SURVEY OF PROPERTY BY CREST ENGINEERING ASSOCIATES DATED 4/11/11.
 2. OWNER: NORTH BRUNSWICK T.O.D. ASSOCIATES, LLC.
 3. TOPOGRAPHIC SURVEY BASED ON AERIAL TOPOGRAPHIC MAPPING PREPARED BY GILMORE & ASSOC. DATED 4/20/03, AND UPDATED BY CREST ENGINEERING ASSOC. IN JANUARY, 2011. VERTICAL DATUM: NAVD83.
 4. ASBUILT INFORMATION SHOWN ON THIS PLAN IS BASED UPON AN ASBUILT PREPARED BY CREST ENGINEERING ASSOCIATES INC., DATED 9/16/13, LAST REVISED 8/20/14.
 5. WETLANDS DELINEATION AND BUFFERS PER N.J.D.E.P. FILE #P215-18-0003.2 F.W.D.0001, DATED NOV. 16, 2010.
 6. TOTAL WETLANDS AREA = 28.55 ACRES, TOTAL BUFFER AREA = 12.97 ACRES.
 7. THE 100 YEAR FLOOD LIMIT DOES NOT FALL WITHIN THE PROJECT BOUNDARIES (PER LETTER OF MAP REVISION NO. 11-02-134QP, DATED 8-16-11).

GRAPHIC SCALE
 (IN FEET)
 1 inch = 100 ft.

PROTECT YOURSELF
 A PHONE CALL CAN BE YOUR INSURANCE POLICY

THE STATE OF NEW JERSEY REQUIRES NOTICING A BOARD OF PROFESSIONALS DESTROYING OR ANY PERSON OR FIRM DESTROYING THE EARTH'S SURFACE ANYWHERE IN THE STATE

AREA TABLE					
EXISTING			PROPOSED		
LOT	SQ. FT. ±	ACRES ±	LOT	SQ. FT. ±	ACRES ±
31.02	129,487	2.973	31.03	118,300	2.717
33	4,300	0.099	38.02	20,527	0.471
33.02	11,127	0.255	38.03	19,834	0.455
36.01	17,357	0.398	39.02	17,987	0.413
38	56,667	1.301	40.02	24,423	0.561
39	9,400	0.216	44.02	18,363	0.445
40	16,703	0.383	44.03	72,633	1.667
44.01	181,568	4.168	44.04	83,591	1.919
45.01	18,135	0.416	45.02	22,768	0.523
47	14,300	0.328	47.02	10,899	0.250
48	6,800	0.156	48.02	10,380	0.238
48.01	3,100	0.071	49.02	115,527	2.652
49	17,160	0.394	50.02	14,265	0.327
50.01	110,233	2.531	50.03	25,905	0.595
50.02	39,794	0.914	51.02	164,847	3.784
50.03	34,710	0.797	57.02	52,968	1.216
51	13,455	0.309	63.02	43,032	1.217
52	11,115	0.255			
53	11,115	0.255	TOTAL	837,249	19.221
54	13,455	0.309			
55	29,093	0.668	EXISTING TO REMAIN		
56	9,039	0.208	33	4,300	0.099
57.01	14,888	0.342	33.02	11,127	0.255
58	10,582	0.243			
59	10,582	0.243	TOTAL	15,427	0.354
60	12,728	0.292			
63.01	45,783	1.051	TO REMAIN + PROPOSED	852,676	19.575
TOTAL	852,675	19.575			



MUNICIPAL CLERK

I HEREBY CERTIFY THAT THE LAYOUT OF ALL STREETS, AVENUES, ROADS, LANES OR ALLEYS SHOWN HEREON HAVE BEEN APPROVED BY THE TOWNSHIP OF NORTH BRUNSWICK, HOWEVER THIS IS NOT TO BE CONSTRUED AS AN ACCEPTANCE OF THE COMPLETED STREETS, AVENUES, ROADS, LANES OR ALLEYS AND DOES NOT OBLIGATE THE MUNICIPALITY FOR SAID IMPROVEMENTS OR MAINTENANCE OF SAME.

THE MONUMENTS SHOWN ON THIS MAP SHALL BE SET WITHIN THE TIME LIMIT PROVIDED IN THE "MUNICIPAL LAND USE LAW" P.L. 1975, c.281 (C.O. 1975-14) OR LOCAL ORDINANCE. I CERTIFY THAT A BOND HAS BEEN GIVEN TO THE MUNICIPALITY, GUARANTEEING THE FUTURE SETTING OF THE MONUMENTS AS DESIGNATED AND SHOWN ON THIS MAP.

MUNICIPAL CLERK _____ DATE _____

PLANNING BOARD

THIS IS TO CERTIFY THAT THE PLANNING BOARD OF THE TOWNSHIP OF NORTH BRUNSWICK IS THE "PROPER AUTHORITY" AND HAVING REVIEWED THIS MAP, FINDS IT TO BE IN COMPLIANCE WITH THE "MAP FILING LAW" AND HAS APPROVED THIS MAP FOR FILING IN THE OFFICE OF THE CLERK OF MIDDLESEX COUNTY ON OR BEFORE THE _____ DAY OF _____, 20____ AFTER THIS DATE MUNICIPAL APPROVAL SHALL EXPIRE.

PLANNING BOARD CHAIRMAN _____ DATE _____

PLANNING BOARD SECRETARY _____ DATE _____

OWNERS OF RECORD/APPLICANT

I HEREBY CERTIFY THAT NORTH BRUNSWICK TOD ASSOCIATES LLC IS THE OWNER OF THE PROPERTIES SHOWN HEREON, AND AS A MANAGING MEMBER, I HEREBY APPROVE OF THE FILING OF THIS MAP IN THE MIDDLESEX COUNTY CLERK'S OFFICE.

OWNER & APPLICANT
NORTH BRUNSWICK TOD ASSOCIATES LLC
2300 US ROUTE 1
NORTH BRUNSWICK, NJ 08902

MANAGING MEMBER _____ DATE _____

PLANNING BOARD ENGINEER

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IT CONFORMS WITH THE PROVISIONS OF THE "MAP FILING LAW", RESOLUTION OF APPROVAL AND THE MUNICIPAL ORDINANCES AND REQUIREMENTS.

PLANNING BOARD ENGINEER _____ DATE _____

revisions			
no.	date	description	by

LEGEND

--- TRACT LIMITS
--- BOUNDARY LINE TO REMAIN
--- BOUNDARY LINE TO BE REMOVED
--- PROPOSED BOUNDARY LINE
--- MONUMENT TO BE SET

OWNER / APPLICANT

NORTH BRUNSWICK TOD PHASE II, LLC
2300 US ROUTE 1
NORTH BRUNSWICK, NJ 08902
AND
NORTH BRUNSWICK TOD ASSOCIATES, LLC
2300 US ROUTE 1
NORTH BRUNSWICK, NJ 08902

NOTES

1. THE REYNOLDS GROUP, INC. AND/OR ITS EMPLOYEES ARE NOT LIABLE FOR ERRORS WITHIN, AND/OR OMISSIONS FROM ANY DOCUMENTS PROVIDED BY OTHERS.
2. DATUM & BOUNDARY INFORMATION BASED ON REFERENCE #S 2 & 3.
3. HORIZONTAL DATUM IS NAD1983

REFERENCES

1. OFFICIAL TAX MAP OF THE TOWNSHIP OF NORTH BRUNSWICK, SHEET NO. 33.01
2. MAP ENTITLED, "PROPOSED LOTS 20.02, 21.02 & 31.02 BLOCK 141, NORTH BRUNSWICK TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY" PREPARED BY CREST ENGINEERING ASSOCIATES INC. REVISED TO MARCH 15, 2016 AND RECORDED IN THE OFFICE OF THE MIDDLESEX COUNTY CLERK ON JUNE 8, 2016 AS FILED MAP NO. 6745 FILE NO. 989.
3. MAP ENTITLED, "FINAL SUBDIVISION PLAT LOTS: 19.01, 20.01, 21.01, 23.01, 23.02, 23.03, 31.01, 38.01, 44.01, 45.01, 48.01, 50.01, 50.02, 50.03, 57.01, 63.01 & 141.02 BLOCK 141, NORTH BRUNSWICK TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY" PREPARED BY CREST ENGINEERING ASSOCIATES INC. REVISED TO AUGUST 30, 2013 AND RECORDED IN THE OFFICE OF THE MIDDLESEX COUNTY CLERK ON NOVEMBER 17, 2015 AS FILED MAP NO. 6727 FILE NO. 989.
4. MAP ENTITLED, "MAIN STREET NB LOTS: 5.04, 7.01, 7.03 & 23 BLOCK 148, NORTH BRUNSWICK TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY" PREPARED BY CREST ENGINEERING ASSOCIATES INC. REVISED TO NOVEMBER 3, 2015 AND RECORDED IN THE OFFICE OF THE MIDDLESEX COUNTY CLERK ON SEPTEMBER 12, 2015 AS FILED MAP NO. 6656 FILE NO. 989.

The Reynolds Group Inc.
State of New Jersey
Certificate of Authorization
Number 246A2789200
Number 21M10004300
F. Mitchell Ardman, P.E., P.P.
Jeffrey D. Reynolds, P.L.A.

MAIN STREET N.B. PHASE 1F

drawing title
FINAL MAJOR SUBDIVISION MAP
of
BLOCK 141
LOTS 31.02, 33, 33.02, 36.01, 38 - 40,
44.01, 45.01, 47 - 48, 48.01, 49,
50.01, 50.02, 50.03, 51 - 56, 57.01,
58 - 60 & 63.01
TOWNSHIP OF NORTH BRUNSWICK
MIDDLESEX COUNTY, NEW JERSEY

job number
21-042

scale
1"=50'

checked by
HCL

drawn by
TW

date
03/09/22

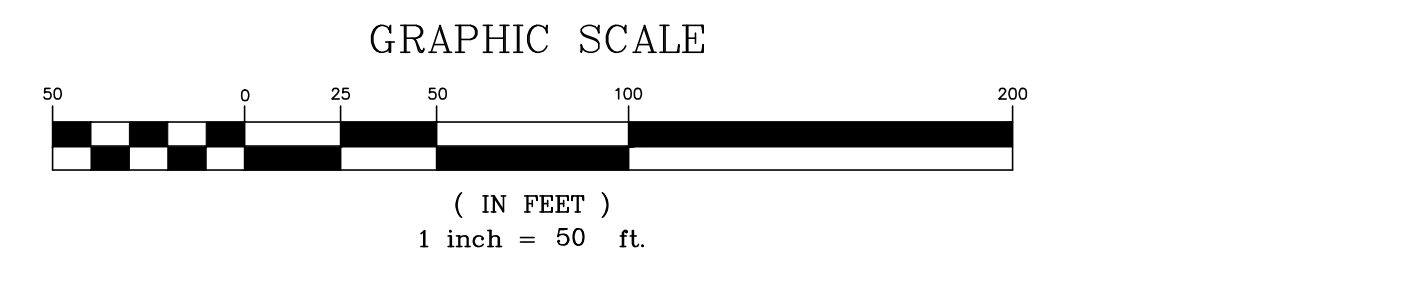
drawing number
4

sheet 4 of 29

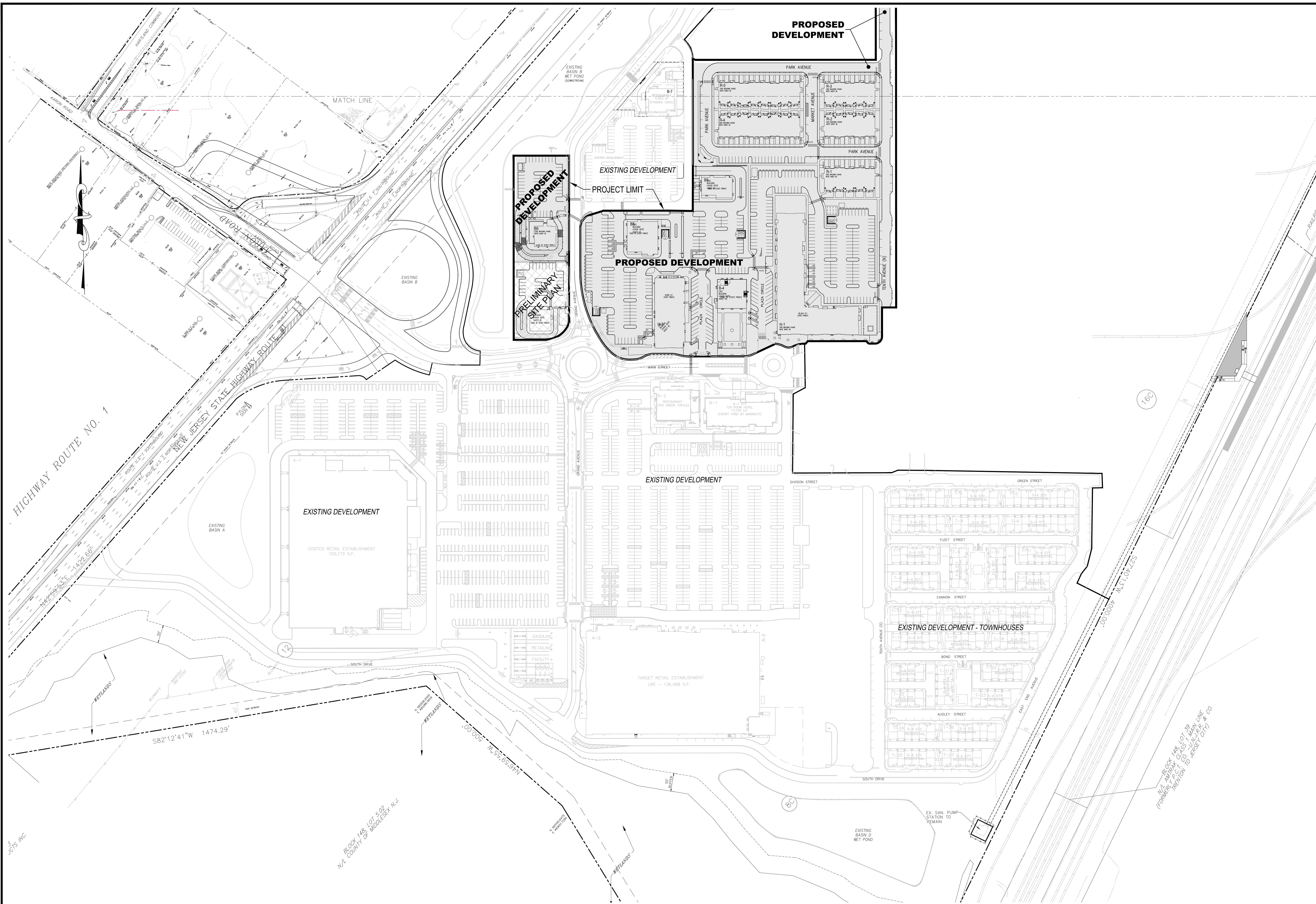
CERTIFICATION

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THIS LAND SURVEY DATED JANUARY 17, 2022 MEETS THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE MAP HAS BEEN MADE UNDER MY SUPERVISION AND COMPLIES WITH THE "MAP FILING LAW" AND THAT OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND, OR SET.

HOWARD C. LOPSHIRE DATE _____
PROFESSIONAL LAND SURVEYOR
NJ LIC. No. 24CS02680300

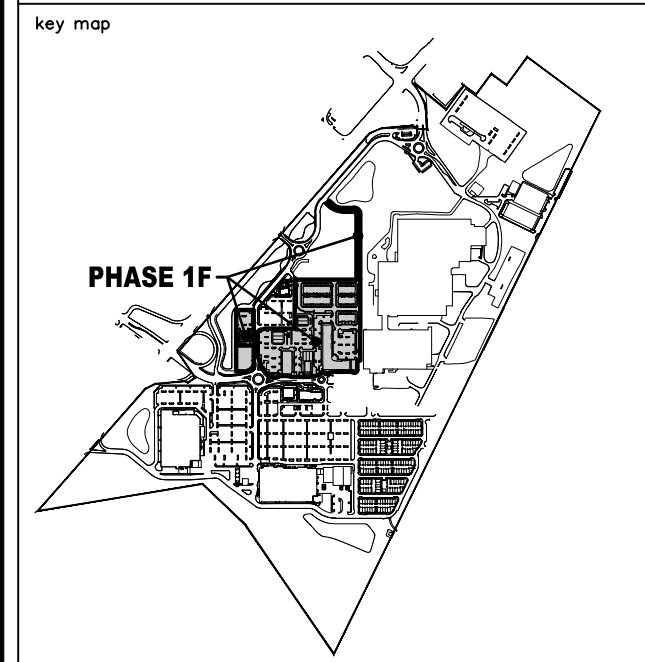


RECORDED IN THE MIDDLESEX COUNTY CLERK'S OFFICE ON _____
AS MAP NO. _____ IN FILE NO. _____



revisions		
no.	date	description

LEGEND	
	GAS VALVE
	GAS METER
	WATER VALVE
	HYDRANT
	WATER METER
	CURB STOP
	FIRE DEPT. CONNECTION
	DRAINAGE M.H.
	CURB INLET
	LAWN INLET
	SANITARY M.H.
	CLEANOUT
	BOLLARD
	SIGN
	LIGHT
	MAIL BOX
	GUY WIRE
	UTILITY POLE
	ELECTRIC M.H.
	CONIFEROUS TREE
	DECIDUOUS TREE
	FENCE
	RAILING
	WALL
	GATE POST
	WATER LINE
	GAS LINE
	ELECTRIC LINE
	SANITARY LINE
	OVERHEAD WIRES



RE Engineers
Landscape Architects
Land Surveyors
Planners
575 Route 28, Suite 110
Raritan, N.J. 08869
908-722-1500
Fax 908-722-7035
www.reynoldsgrp.com

The Reynolds Group Inc.

State of New Jersey
Certificate of Authorization
Number: 240A2798200
21MH00004300
F. Mitchel Ardmán, P.E., P.P.
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F. Mitchel Ardmán
F. MITCHEL ARDMAN
N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

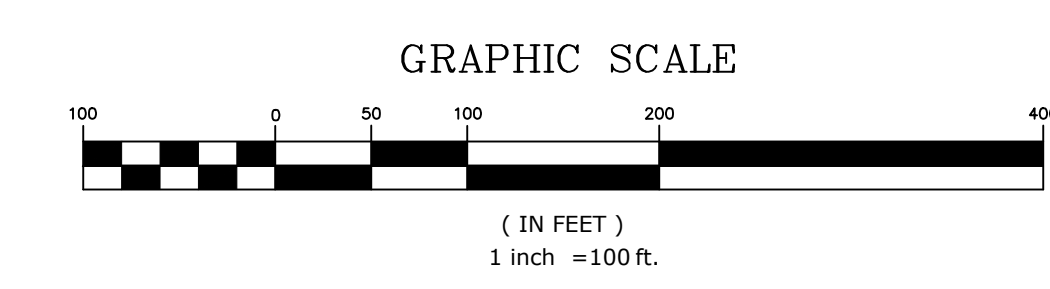
PROJECT
AMENDED PRELIMINARY AND FINAL SITE PLAN PHASE 1F
BLOCK 141
LOTS 31,02,36,01,38,39,40,44,01,45,01,47,48,48,01,49,50,01,50,02,50,03,51,52,53,54,55,56,57,01,58,59,60,63,01,123
NORTH BRUNSWICK TOWNSHIP
MIDDLESEX COUNTY, NEW JERSEY

DRAWING TITLE
OVERALL PLAN 'A'

job number 21-042	drawing number 5
scale 1"=100'	
checked by FMA/AEC	
drawn by A.A.	
date 03/09/22	sheet 5 of 29

NOTE: MIXED USE RETAIL/COMMERCIAL BUILDINGS SHOWN HEREON LIST S.F. OF COMMERCIAL SPACE PLUS THE NUMBER OF UNITS OF RESIDENTIAL SPACE.

■ DENOTES DEVELOPMENT AREA - THIS APPLICATION FOR AMENDED FINAL SITE PLAN APPROVAL.



PROTECT YOURSELF
A PHONE CALL CAN BE YOUR INSURANCE POLICY

STOP - CALL BEFORE YOU DIG!
1-800-372-1000
MISSED CALLS CAN BE DANGEROUS

THE STATE OF NEW JERSEY REQUIRES NOTIFYING OF RESIDENTS WHOSE PROPERTY OR ANY PERSON PREPARING TO DIGGERS THE EARTH'S SURFACE ANYWHERE IN THE STATE.

AFFORDABLE HOUSING NOTES:

12.2% OF THE RESIDENTIAL UNITS IN THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT SHALL BE "AFFORDABLE HOUSING UNITS," AS DEFINED IN §205-76.1.C OF CHAPTER 205 OF THE CODE OF THE TOWNSHIP OF NORTH BRUNSWICK ("ORDINANCE"). IF ALL OF THE 1,875 RESIDENTIAL UNITS IN THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT ARE APPROVED AND CONSTRUCTED AS PART OF THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT, THEN 229 OR 12.2% OF THESE RESIDENTIAL UNITS WILL BE AFFORDABLE HOUSING UNITS. THIS TOTAL OF 229 AFFORDABLE HOUSING UNITS SHALL SATISFY ANY AND ALL CURRENT AND FUTURE AFFORDABLE HOUSING OBLIGATIONS OF ANY KIND FOR THE ENTIRE FULL BUILD OUT OF THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT, PROVIDED THAT THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT DOES NOT CONTAIN MORE THAN 1,875 RESIDENTIAL UNITS. UNDER NO CIRCUMSTANCES WILL MORE THAN 229 RESIDENTIAL UNITS OF THE 1,875 TOTAL RESIDENTIAL UNITS IN THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT BE AFFORDABLE HOUSING UNITS.

BECAUSE THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT WILL PROVIDE SUCH AFFORDABLE HOUSING UNITS, NO DEVELOPMENT FEES, FEES-IN-LIEU OF AFFORDABLE HOUSING, OR ANY OTHER MONETARY OBLIGATION FOR AFFORDABLE HOUSING PURPOSES SHALL BE DUE AS A RESULT OF THE CONSTRUCTION OF ANY COMPONENT OF THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT.

ALL OF THE 229 AFFORDABLE HOUSING UNITS SHALL BE SUBJECT TO 30 YEAR DEED RESTRICTIONS IN CONFORMANCE WITH N.J.A.C. 5:80-26.5. ALL OF THE 229 AFFORDABLE HOUSING UNITS WILL BE "FAMILY UNITS," AS DEFINED IN §205-76.1.C OF THE ORDINANCE. ALL OF THE 229 AFFORDABLE HOUSING UNITS WILL BE RENTAL UNITS, AND WILL BE DISPERSED THROUGHOUT THE BUILDINGS IN THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT WHICH CONTAIN RENTAL UNITS. THE PERCENTAGE OF AFFORDABLE HOUSING UNITS IN ANY ONE BUILDING IN THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT SHALL NOT EXCEED 35% OF THE RESIDENTIAL UNITS IN THAT BUILDING.

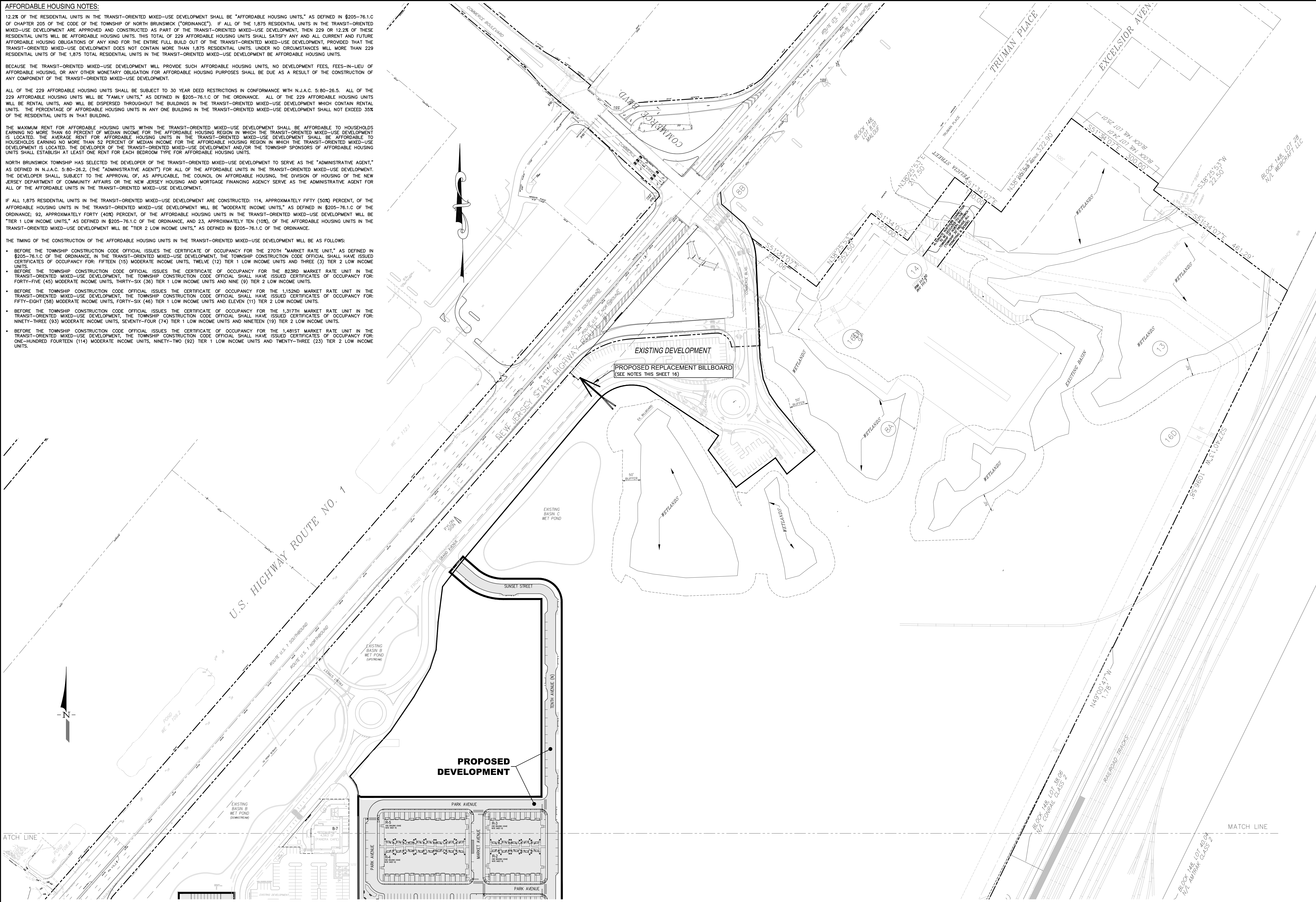
THE MAXIMUM RENT FOR AFFORDABLE HOUSING UNITS WITHIN THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT SHALL BE AFFORDABLE TO HOUSEHOLDS EARNING NO MORE THAN 60 PERCENT OF MEDIAN INCOME FOR THE AFFORDABLE HOUSING REGION IN WHICH THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT IS LOCATED. THE AVERAGE RENT FOR AFFORDABLE HOUSING UNITS IN THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT SHALL BE AFFORDABLE TO HOUSEHOLDS EARNING NO MORE THAN 52 PERCENT OF MEDIAN INCOME FOR THE AFFORDABLE HOUSING REGION IN WHICH THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT IS LOCATED. THE DEVELOPER OF THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT AND/OR THE TOWNSHIP SPONSORS OF AFFORDABLE HOUSING UNITS SHALL ESTABLISH AT LEAST ONE RENT FOR EACH BEDROOM TYPE FOR AFFORDABLE HOUSING UNITS.

NORTH BRUNSWICK TOWNSHIP HAS SELECTED THE DEVELOPER OF THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT TO SERVE AS THE "ADMINISTRATIVE AGENT," AS DEFINED IN N.J.A.C. 5:80-26.2, (THE "ADMINISTRATIVE AGENT") FOR ALL OF THE AFFORDABLE UNITS IN THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT. THE DEVELOPER SHALL, SUBJECT TO THE APPROVAL OF, AS APPLICABLE, THE COUNCIL ON AFFORDABLE HOUSING, THE DIVISION OF HOUSING OF THE NEW JERSEY DEPARTMENT OF COMMUNITY AFFAIRS OR THE NEW JERSEY HOUSING AND MORTGAGE FINANCING AGENCY SERVE AS THE ADMINISTRATIVE AGENT FOR ALL OF THE AFFORDABLE UNITS IN THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT.

IF ALL 1,875 RESIDENTIAL UNITS IN THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT ARE CONSTRUCTED: 114, APPROXIMATELY FIFTY (50%) PERCENT, OF THE AFFORDABLE HOUSING UNITS IN THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT WILL BE "MODERATE INCOME UNITS," AS DEFINED IN §205-76.1.C OF THE ORDINANCE; 92, APPROXIMATELY FORTY (40%) PERCENT, OF THE AFFORDABLE HOUSING UNITS IN THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT WILL BE "TIER 1 LOW INCOME UNITS," AS DEFINED IN §205-76.1.C OF THE ORDINANCE, AND 23, APPROXIMATELY TEN (10%), OF THE AFFORDABLE HOUSING UNITS IN THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT WILL BE "TIER 2 LOW INCOME UNITS," AS DEFINED IN §205-76.1.C OF THE ORDINANCE.

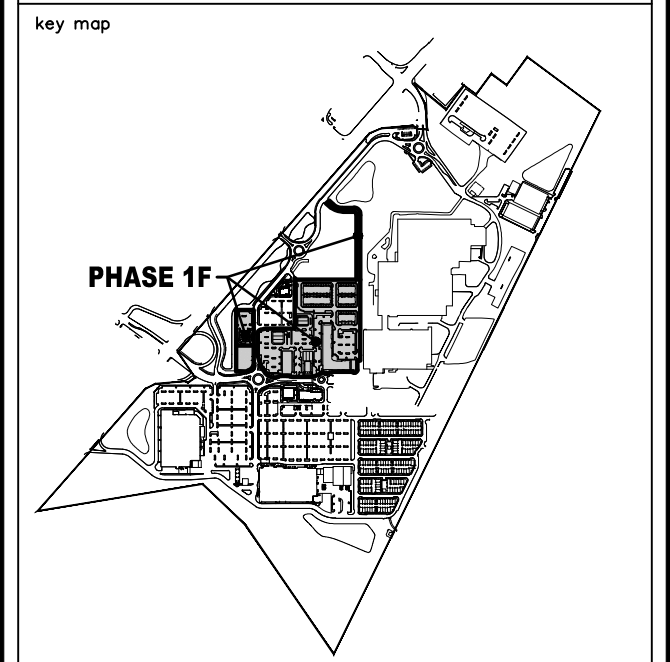
THE TIMING OF THE CONSTRUCTION OF THE AFFORDABLE HOUSING UNITS IN THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT WILL BE AS FOLLOWS:

- BEFORE THE TOWNSHIP CONSTRUCTION CODE OFFICIAL ISSUES THE CERTIFICATE OF OCCUPANCY FOR THE 270TH MARKET RATE UNIT, AS DEFINED IN §205-76.1.C OF THE ORDINANCE, IN THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT, THE TOWNSHIP CONSTRUCTION CODE OFFICIAL SHALL HAVE ISSUED CERTIFICATES OF OCCUPANCY FOR: FIFTEEN (15) MODERATE INCOME UNITS, TWELVE (12) TIER 1 LOW INCOME UNITS AND THREE (3) TIER 2 LOW INCOME UNITS.
- BEFORE THE TOWNSHIP CONSTRUCTION CODE OFFICIAL ISSUES THE CERTIFICATE OF OCCUPANCY FOR THE 823RD MARKET RATE UNIT IN THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT, THE TOWNSHIP CONSTRUCTION CODE OFFICIAL SHALL HAVE ISSUED CERTIFICATES OF OCCUPANCY FOR: FORTY-FIVE (45) MODERATE INCOME UNITS, THIRTY-SIX (36) TIER 1 LOW INCOME UNITS AND NINE (9) TIER 2 LOW INCOME UNITS.
- BEFORE THE TOWNSHIP CONSTRUCTION CODE OFFICIAL ISSUES THE CERTIFICATE OF OCCUPANCY FOR THE 1,150ND MARKET RATE UNIT IN THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT, THE TOWNSHIP CONSTRUCTION CODE OFFICIAL SHALL HAVE ISSUED CERTIFICATES OF OCCUPANCY FOR: FIFTY-EIGHT (58) MODERATE INCOME UNITS, FORTY-SIX (46) TIER 1 LOW INCOME UNITS AND ELEVEN (11) TIER 2 LOW INCOME UNITS.
- BEFORE THE TOWNSHIP CONSTRUCTION CODE OFFICIAL ISSUES THE CERTIFICATE OF OCCUPANCY FOR THE 1,317TH MARKET RATE UNIT IN THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT, THE TOWNSHIP CONSTRUCTION CODE OFFICIAL SHALL HAVE ISSUED CERTIFICATES OF OCCUPANCY FOR: NINETY-THREE (93) MODERATE INCOME UNITS, SEVENTY-FOUR (74) TIER 1 LOW INCOME UNITS AND NINETEEN (19) TIER 2 LOW INCOME UNITS.
- BEFORE THE TOWNSHIP CONSTRUCTION CODE OFFICIAL ISSUES THE CERTIFICATE OF OCCUPANCY FOR THE 1,481ST MARKET RATE UNIT IN THE TRANSIT-ORIENTED MIXED-USE DEVELOPMENT, THE TOWNSHIP CONSTRUCTION CODE OFFICIAL SHALL HAVE ISSUED CERTIFICATES OF OCCUPANCY FOR: ONE-HUNDRED FOURTEEN (114) MODERATE INCOME UNITS, NINETY-TWO (92) TIER 1 LOW INCOME UNITS AND TWENTY-THREE (23) TIER 2 LOW INCOME UNITS.



revisions	
no.	description

LEGEND	
	GAS VALVE
	GAS METER
	WATER VALVE
	HYDRANT
	WATER METER
	CURB STOP
	FIRE DEPT. CONNECTION
	DRAINAGE MH
	CURB INLET
	LAWN INLET
	SANITARY MH
	CLEANOUT
	SIGN
	LIGHT
	MAIL BOX
	GUY WIRE
	UTILITY POLE
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	DECIDUOUS TREE
	FENCE
	RAILING
	WALL
	GATE POST
	WATER LINE
	GAS LINE
	ELECTRIC LINE
	SANITARY LINE
	OVERHEAD WIRES



RE Engineers
Landscape Architects
Land Surveyors
Planners
575 Route 28, Suite 110
Raritan, N.J. 08869
908-722-1500
Fax 908-722-7035
www.reynoldsgroup.com

The Reynolds Group Inc.

State of New Jersey
Certificate of Authorization
Number: 24C047989200
21MH00004300
F. Mitchell Ardman, P.E., P.P.
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F. MITCHEL ARDMAN
N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

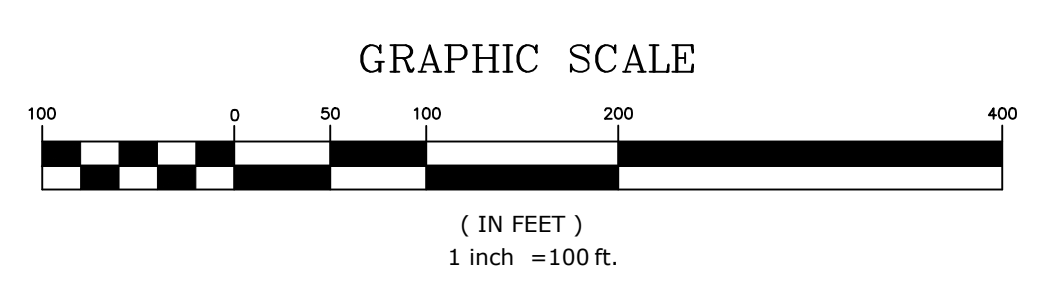
project
AMENDED PRELIMINARY AND FINAL SITE PLAN PHASE 1F
BLOCK 141
LOTS 31,02,36,01,38,39,40,44,01,45,01,47,48,48,01,49,50,01,50,02,50,03,51,52,53,54,55,56,57,01,58,59,60,63,01,123
NORTH BRUNSWICK TOWNSHIP
MIDDLESEX COUNTY, NEW JERSEY

drawing title
OVERALL PLAN 'B' AND BILLBOARD

job number 21-042	drawing number 6
scale 1"=100'	
checked by FMA/AEC	
drawn by A.A.	
date 03/09/22	sheet 6 of 29

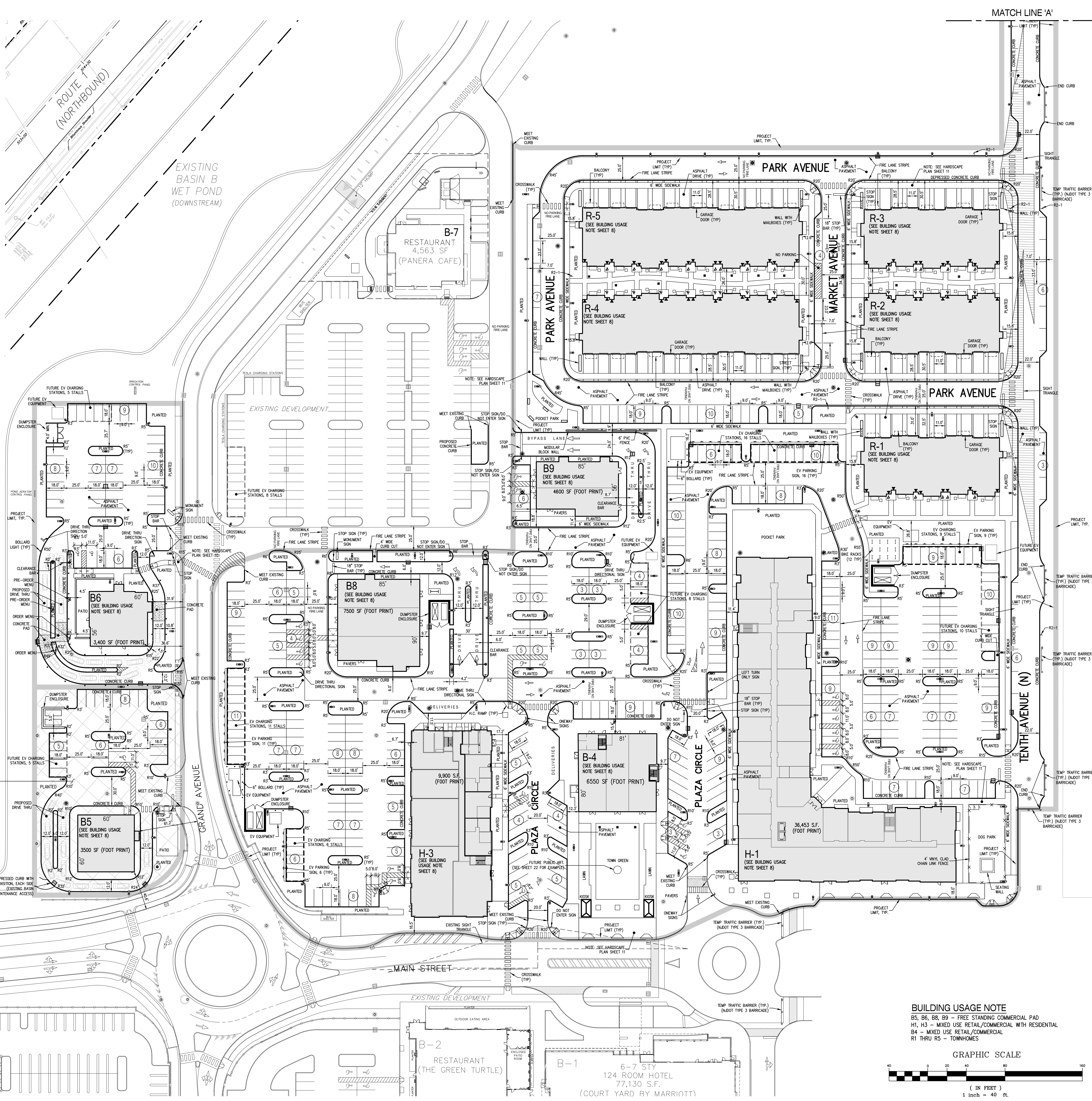
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A PHONE CALL CAN BE YOUR INSURANCE POLICY

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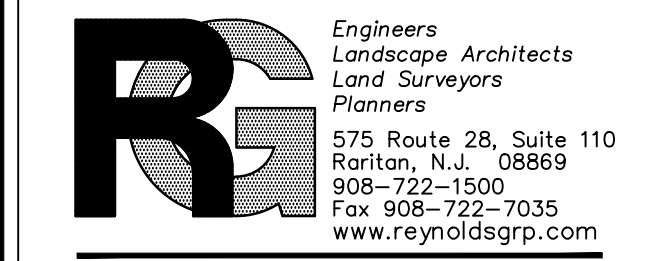
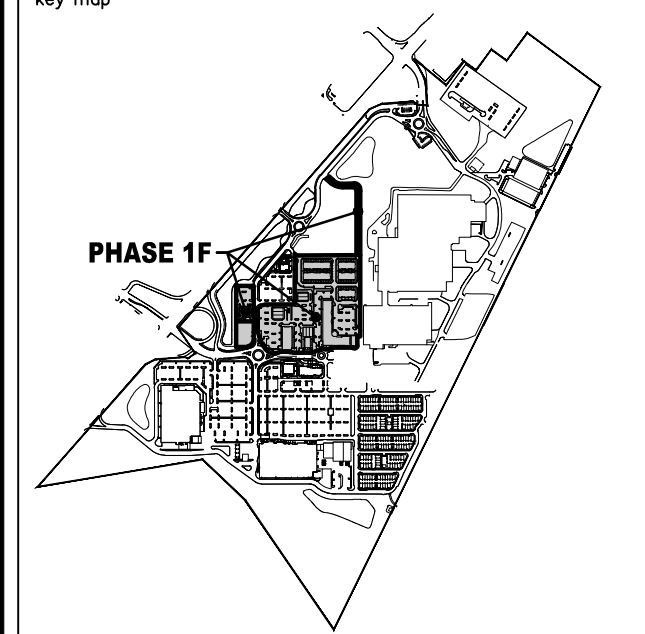
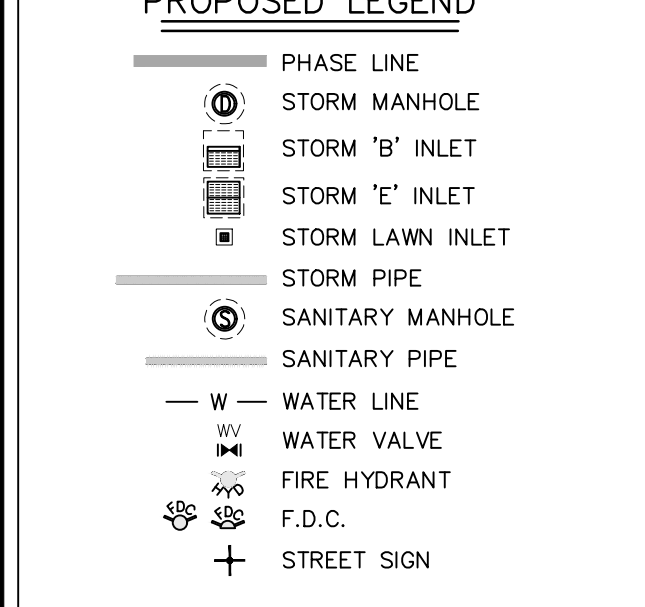
GENERAL NOTES:

- SITE INFORMATION SHOWN ARE BASED UPON APPROVED SITE PLANS, SUBDIVISION PLAN AND AS-BUILT PLANS PREPARED BY CREST ENGINEERING.
 - PRELIMINARY AND FINAL SITE PLAN: PANELS D & E DATED 8/2/2011, LAST REVISED 7/12/16.
 - SUBDIVISION PLAN: ALTA/NSPS LAND TITLE SURVEY FOR LOTS 36.01, 38, 39, 40, 44.01, 45.01, 47, 48, 48.01, 49, 50.01, 50.02, 50.03, 51, 52, 53, 54, 55, 56, 57.01, 58, 59 & 60; BLOCK 141, SIGNED BY GARY P. YURO, P.L.S. No. 43251, DATED 6/1/2021, NO REVISION.
 - AS-BUILT PLANS: PANEL 'D' DATED 9/16/2013, LOTS 5.04, 7.01, 7.03 & 23; BLOCK 148, SIGNED BY GARY P. YURO, P.L.S. No. 43251, SHEET 4 OF 8, DATED 9/16/2013, LAST REVISED 8/20/2014; PANEL 'E' DATED 9/16/2013, LOTS 5.04, 7.01, 7.03 & 23; BLOCK 148, SIGNED BY GARY P. YURO, P.L.S. No. 43251, SHEET 5 OF 8, DATED 9/16/2013, LAST REVISED 6/10/2014.
- ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION FOR SITE IMPROVEMENTS SHALL CONFORM TO NORTH BRUNSWICK TOWNSHIP CODES AND STANDARDS, THE STANDARDS OF THE RESPECTIVE UTILITY COMPANIES, AND THE N.J.D.O.T. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2019 (AS UPDATED), AS APPLICABLE.
- PROPOSED DEVELOPMENT SHALL BE IN COMPLIANCE WITH NJ BARRIER FREE AND A.D.A. REQUIREMENTS. RAMPS MUST COMPLY WITH CURRENT REQUIREMENTS IN PLACE DURING TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES, ROADS, PIPELINES, TREES, SHRUBBERY, GRASS AREA, ETC., DURING THE PROGRESS OF HIS WORK AND SHALL REMOVE FROM THE SITE ALL CUTTINGS, DRILLINGS, DEBRIS AND UNUSED MATERIALS UPON COMPLETION OF THE WORK. THE CONTRACTOR SHALL RESTORE THE SITE TO ITS ORIGINAL CONDITION, INCLUDING AT THE CONTRACTOR'S SOLE EXPENSE, THE REPLACEMENT OF GRASSED AREAS WHICH HAVE BEEN DAMAGED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SURROUNDING PROPERTY AND SHALL RESTORE ANY PROPERTY DAMAGED AS A RESULT OF HIS OPERATIONS. ALL RESTORATION WILL BE BORNE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SURROUNDING PROPERTY AND SHALL RESTORE ANY PROPERTY DAMAGED AS A RESULT OF HIS OPERATIONS. ALL RESTORATION WILL BE BORNE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL FIRE OFFICIAL FOR APPROPRIATE FIRE LANE MARKINGS.
- TRAFFIC AND PARKING SIGNS SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", U.S.D.O.T. FEDERAL HIGHWAY ADMINISTRATION, 2009 AND AS UPDATED.
- THE FREEHOLD SOIL CONSERVATION DISTRICT (FSCD) SHALL BE NOTIFIED A MINIMUM OF 72 HOURS PRIOR TO ANY SOIL DISTURBANCE (732) 683-8500.
- IN THAT N.J.S.A. 4:24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLETED FOR PERMANENT MEASURES, ALL WORK AROUND INDIVIDUAL BUILDINGS WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY. NOTATION FOR THIS SHOULD BE PROVIDED ON THE SITE PLAN AND WITHIN THE CONSTRUCTION SCHEDULE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY INCLUDING PROVISIONS OF ALL APPROPRIATE SAFETY MEASURES DEvised AND TRAINING REQUIRED.
- AS-BUILTS AS REQUIRED BY THE TOWNSHIP ENGINEERING DEPARTMENT TO BE PROVIDED PRIOR TO BOND RELEASE OR REDUCTION. THE AS-BUILTS SHALL INCLUDE THE STORMWATER MANAGEMENT SYSTEM AND RETAINING WALLS AS WELL AS THE OTHER STANDARD REQUIREMENTS IN SUFFICIENT DETAIL TO DOCUMENT THE PROJECT AS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED LINES, GRADES AND INTENT. SEE TOWNSHIP ENGINEERING DEPARTMENT FOR SPECIFIC REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON SUCH CONDITIONS COULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
- SEE ADDITIONAL CONSTRUCTION NOTES ON OTHER PLAN SHEETS IN THIS SET.



revisions		
no.	date	description

- EXISTING LEGEND**
- ⊕ GAS VALVE
 - ⊕ GAS METER
 - ⊕ WATER VALVE
 - ⊕ HYDRANT
 - ⊕ WATER METER
 - ⊕ CURB STOP
 - ⊕ FIRE DEPT. CONNECTION
 - ⊕ DRAINAGE MH
 - ⊕ CURB INLET
 - ⊕ LAWN INLET
 - ⊕ SANITARY MH
 - ⊕ CLEANOUT
 - ⊕ BOLLARD
 - ⊕ SIGN
 - ⊕ LIGHT
 - ⊕ MAIL BOX
 - ⊕ GUY WIRE
 - ⊕ UTILITY POLE
 - ⊕ ELECTRIC MH
 - ⊕ CONIFEROUS TREE
 - ⊕ DECIDUOUS TREE
 - X — FENCE
 - RAILING
 - WALL
 - ⊕ GATE POST
 - W — WATER LINE
 - G — GAS LINE
 - E — ELECTRIC LINE
 - S — SANITARY LINE
 - OH — OVERHEAD WIRES
- PROPOSED LEGEND**
- ⊕ PHASE LINE
 - ⊕ STORM MANHOLE
 - ⊕ STORM 'B' INLET
 - ⊕ STORM 'E' INLET
 - ⊕ STORM LAWN INLET
 - ⊕ STORM PIPE
 - ⊕ SANITARY MANHOLE
 - ⊕ SANITARY PIPE
 - W — WATER LINE
 - G — GAS LINE
 - E — ELECTRIC LINE
 - S — SANITARY LINE
 - ⊕ OH — OVERHEAD WIRES
 - ⊕ FIRE HYDRANT
 - ⊕ F.D.C.
 - ⊕ STREET SIGN

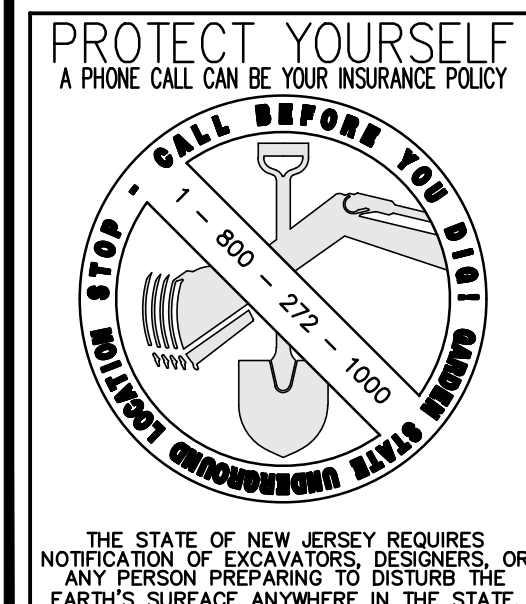


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AMENDED PRELIMINARY AND FINAL SITE PLAN PHASE 1F
 BLOCK 141
 LOTS 31,02,36.01,38,39,40,44.01,45.01,47,48,48.01,49,50.01,50.02,50.03,51,52,53,54,55,56,57,01,58,59,60,63,01,123
 NORTH BRUNSWICK TOWNSHIP
 MIDDLESEX COUNTY, NEW JERSEY

DIMENSION PLAN	
job number	21-042
scale	1"=40'
checked by	FMA/AEC
drawn by	A.A.
date	03/09/22
drawing number	8
sheet	8 of 29



BUILDING USAGE NOTE
 B5, B6, B8, B9 - FREE STANDING COMMERCIAL PAD
 H1, H3 - MIXED USE RETAIL/COMMERCIAL WITH RESIDENTIAL
 B4 - MIXED USE RETAIL/COMMERCIAL
 R1 THRU R5 - TOWNHOMES

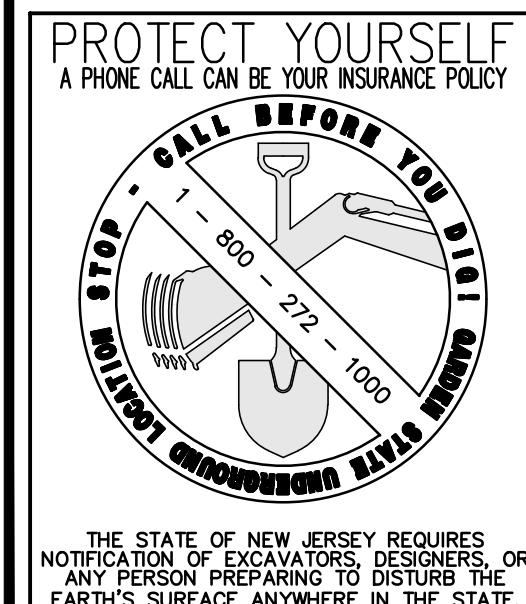
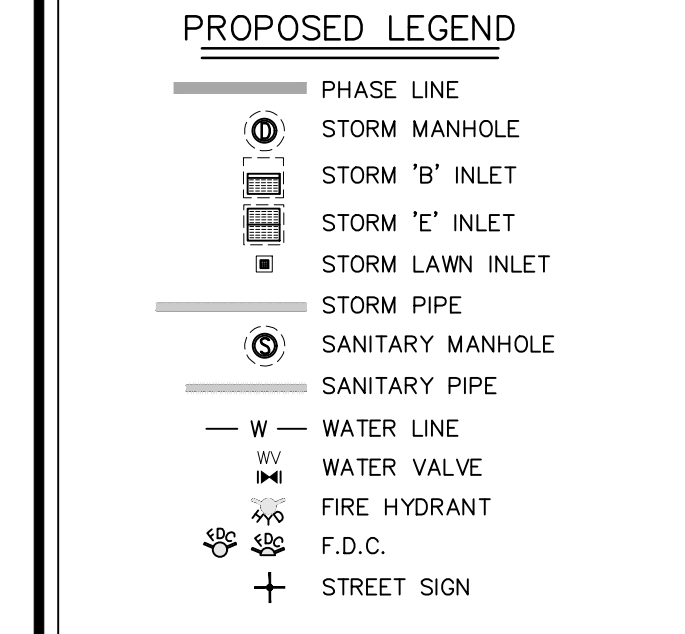
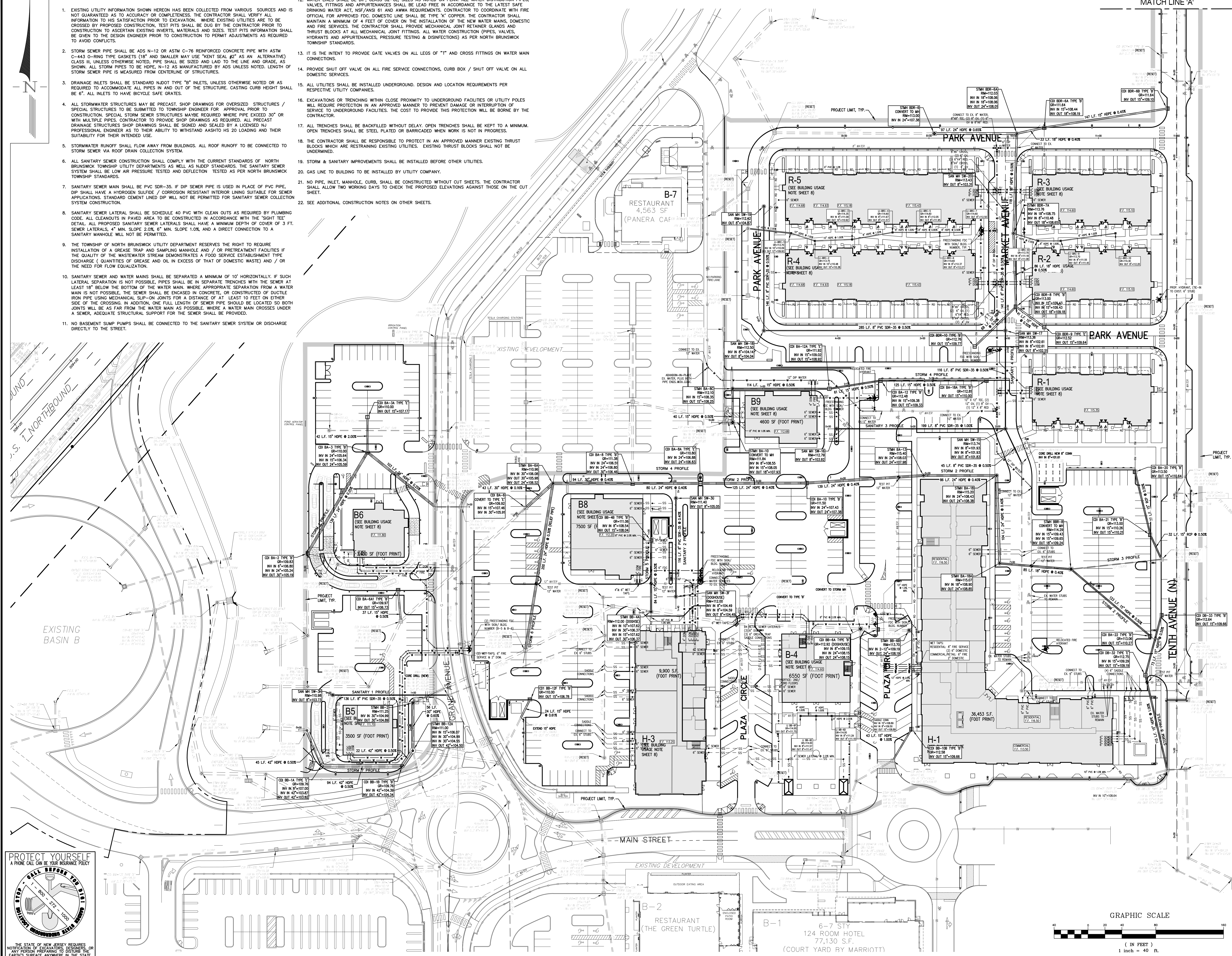
GRAPHIC SCALE
 (IN FEET)
 1 inch = 40 ft.

UTILITY NOTES:

- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS AND SIZES. TEST PITS INFORMATION SHALL BE GIVEN TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
- STORM SEWER PIPE SHALL BE ADS N-12 OR ASTM C-78 REINFORCED CONCRETE PIPE WITH ASTM C-443 O-RING TYPE GASKETS (18" AND SMALLER MAY USE "NENT SEAL #2" AS AN ALTERNATIVE) CLASS III, UNLESS OTHERWISE NOTED. PIPE SHALL BE SIZED AND LAID TO THE LINE AND GRADE, AS SHOWN. ALL STORM PIPES TO BE HOPE, N-12 AS MANUFACTURED BY ADS UNLESS NOTED. LENGTH OF STORM SEWER PIPE IS MEASURED FROM CENTERLINE OF STRUCTURES.
- DRAINAGE INLETS SHALL BE STANDARD N/DOT TYPE "B" INLETS, UNLESS OTHERWISE NOTED OR AS REQUIRED TO ACCOMMODATE ALL PIPES IN AND OUT OF THE STRUCTURE. CASTING CURB HEIGHT SHALL BE 6". ALL INLETS TO HAVE BICYCLE SAFE GRATES.
- ALL STORMWATER STRUCTURES MAY BE PRECAST. SHOP DRAWINGS FOR OVERSIZED STRUCTURES / SPECIAL STRUCTURES TO BE SUBMITTED TO TOWNSHIP ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION. SPECIAL STORM SEWER STRUCTURES MAYBE REQUIRED WHERE PIPE EXCEED 30" OR WITH MULTIPLE PIPES. CONTRACTOR TO PROVIDE SHOP DRAWINGS AS REQUIRED. ALL PRECAST DRAINAGE STRUCTURES SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A LICENSED NJ PROFESSIONAL ENGINEER AS TO THEIR ABILITY TO WITHSTAND AASHTO HS 20 LOADING AND THEIR SUITABILITY FOR THEIR INTENDED USE.
- STORMWATER RUNOFF SHALL FLOW AWAY FROM BUILDINGS. ALL ROOF RUNOFF TO BE CONNECTED TO STORM SEWER VIA ROOF DRAIN COLLECTION SYSTEM.
- ALL SANITARY SEWER CONSTRUCTION SHALL COMPLY WITH THE CURRENT STANDARDS OF NORTH BRUNSWICK TOWNSHIP UTILITY DEPARTMENTS AS WELL AS NJDEP STANDARDS. THE SANITARY SEWER SYSTEM SHALL BE LOW AIR PRESSURE, TESTED AND DEFLECTION TESTED AS PER NORTH BRUNSWICK TOWNSHIP STANDARDS.
- SANITARY SEWER MAIN SHALL BE PVC SDR-35. IF DIP SEWER PIPE IS USED IN PLACE OF PVC PIPE, DIP SHALL HAVE A HYDROGEN SULFIDE / CORROSION RESISTANT INTERIOR LINING SUITABLE FOR SEWER APPLICATIONS. STANDARD CEMENT LINED DIP WILL NOT BE PERMITTED FOR SANITARY SEWER COLLECTION SYSTEM CONSTRUCTION.
- SANITARY SEWER LATERAL SHALL BE SCHEDULE 40 PVC WITH CLEAN OUTS AS REQUIRED BY PLUMBING CODE. ALL CLEANOUTS IN PAVED AREA TO BE CONSTRUCTED IN ACCORDANCE WITH THE "SIGHT TIE" DETAIL. ALL PROPOSED SANITARY SEWER LATERALS SHALL HAVE A MINIMUM DEPTH OF COVER OF 3 FT. SEWER LATERALS, 4" MIN. SLOPE 2.0%, 6" MIN. SLOPE 1.0%, AND A DIRECT CONNECTION TO A SANITARY MANHOLE WILL NOT BE PERMITTED.
- THE TOWNSHIP OF NORTH BRUNSWICK UTILITY DEPARTMENT RESERVES THE RIGHT TO REQUIRE INSTALLATION OF A GREASE TRAP AND SAMPLING MANHOLE AND / OR PRETREATMENT FACILITIES IF THE QUALITY OF THE WASTEWATER STREAM DEMONSTRATES A FOOD SERVICE ESTABLISHMENT TYPE DISCHARGE (QUANTITIES OF GREASE AND OIL IN EXCESS OF THAT OF DOMESTIC WASTE) AND / OR THE NEED FOR FLOW EQUALIZATION.
- SANITARY SEWER AND WATER MAINS SHALL BE SEPARATED A MINIMUM OF 10' HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18" BELOW THE BOTTOM OF THE WATER MAIN, WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER MAIN AS POSSIBLE, WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER SHALL BE PROVIDED.
- NO BASEMENT SUMP PUMPS SHALL BE CONNECTED TO THE SANITARY SEWER SYSTEM OR DISCHARGE DIRECTLY TO THE STREET.
- WATER LINES SHALL BE DIP, CLASS 52-CL, SIZES AS NOTED ON PLAN. ALL WATER DISTRIBUTION PIPES, VALVES, FITTINGS AND APPURTENANCES SHALL BE LEAD FREE IN ACCORDANCE TO THE LATEST SAFE DRINKING WATER ACT, NSF/ANSI 61 AND ANWA REQUIREMENTS. CONTRACTOR TO COORDINATE WITH FIRE OFFICIAL FOR APPROVED FDC. DOMESTIC LINE SHALL BE TYPE "K" COPPER. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET OF COVER ON THE INSTALLATION OF THE NEW WATER MAINS, DOMESTIC AND FIRE SERVICES. THE CONTRACTOR SHALL PROVIDE MECHANICAL JOINT RETAINER GLANDS AND THRUST BLOCKS AT ALL MECHANICAL JOINT FITTINGS. ALL WATER CONSTRUCTION (PIPES, VALVES, HYDRANTS AND APPURTENANCES, PRESSURE TESTING & DISINFECTIONS) AS PER NORTH BRUNSWICK TOWNSHIP STANDARDS.
- IT IS THE INTENT TO PROVIDE GATE VALVES ON ALL LEAS OF "T" AND CROSS FITTINGS ON WATER MAIN CONNECTIONS.
- PROVIDE SHUT OFF VALVE ON ALL FIRE SERVICE CONNECTIONS, CURB BOX / SHUT OFF VALVE ON ALL DOMESTIC SERVICES.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND. DESIGN AND LOCATION REQUIREMENTS PER RESPECTIVE UTILITY COMPANIES.
- EXCAVATIONS OR TRENCHING WITHIN CLOSE PROXIMITY TO UNDERGROUND FACILITIES OR UTILITY POLES WILL REQUIRE PROTECTION IN AN APPROVED MANNER TO PREVENT DAMAGE OR INTERRUPTION OF SERVICE TO UNDERGROUND FACILITIES. THE COST TO PROVIDE THIS PROTECTION WILL BE BORNE BY THE CONTRACTOR.
- ALL TRENCHES SHALL BE BACKFILLED WITHOUT DELAY. OPEN TRENCHES SHALL BE KEPT TO A MINIMUM. OPEN TRENCHES SHALL BE STEEL PLATED OR BARRICADED WHEN WORK IS NOT IN PROGRESS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT IN AN APPROVED MANNER EXISTING THRUST BLOCKS WHICH ARE RESTRAINING EXISTING UTILITIES. EXISTING THRUST BLOCKS SHALL NOT BE UNDERMINED.
- STORM & SANITARY IMPROVEMENTS SHALL BE INSTALLED BEFORE OTHER UTILITIES.
- GAS LINE TO BUILDING TO BE INSTALLED BY UTILITY COMPANY.
- NO PIPE, INLET, MANHOLE, CURB, SHALL BE CONSTRUCTED WITHOUT CUT SHEETS. THE CONTRACTOR SHALL ALLOW TWO WORKING DAYS TO CHECK THE PROPOSED ELEVATIONS AGAINST THOSE ON THE CUT SHEET.
- SEE ADDITIONAL CONSTRUCTION NOTES ON OTHER SHEETS.

revisions		
no.	date	description

- EXISTING LEGEND**
- ⊕ GAS VALVE
 - ⊕ GAS METER
 - ⊕ WATER VALVE
 - ⊕ HYDRANT
 - ⊕ WATER METER
 - ⊕ CURB STOP
 - ⊕ FIRE DEPT. CONNECTION
 - ⊕ DRAINAGE MH
 - ⊕ CURB INLET
 - ⊕ SANITARY MH
 - ⊕ LAMP
 - ⊕ SIGN
 - ⊕ MAIL BOX
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 - ⊕ GATE POST
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 - ⊕ SANITARY LINE
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 - ⊕ STREET SIGN



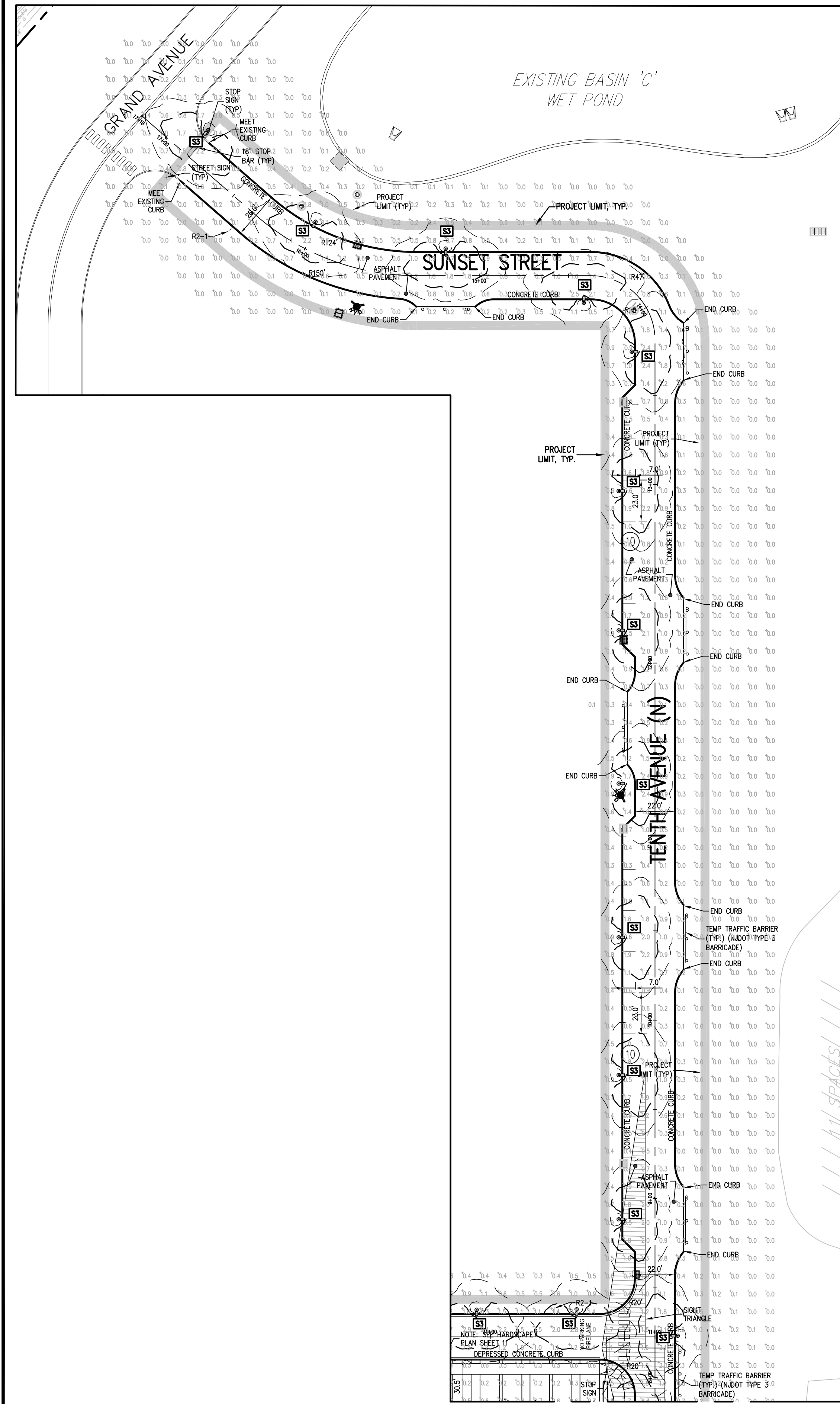
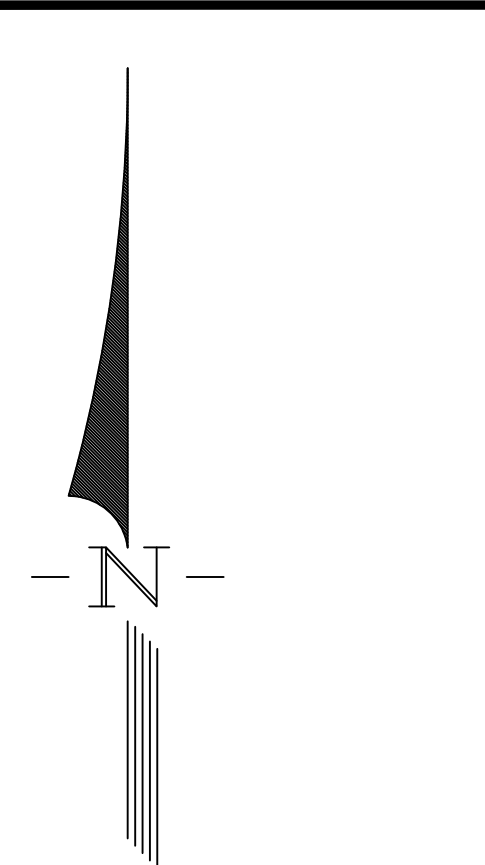
The Reynolds Group Inc.
 State of New Jersey
 Certificate of Authorization
 Number: 24C021798200
 21MHC0004300
 F. Mitchell Ardman, P.E., P.P.
 Jeffrey D. Reynolds, P.L.A.

F. Mitchell Ardman
F. MITCHEL ARDMAN
 N.J. PROFESSIONAL ENGINEER, NO. 34317

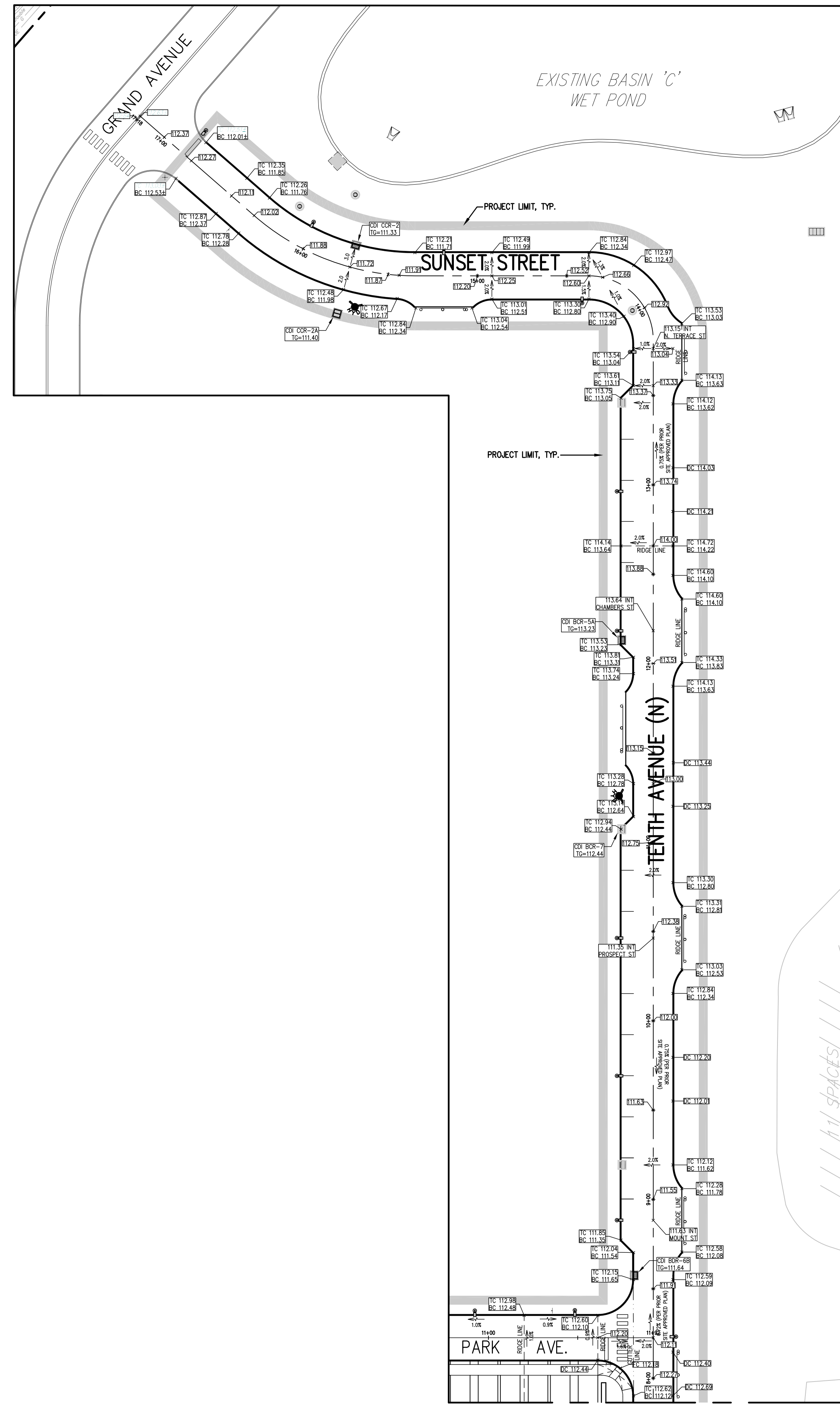
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 SHEET 141
 LOTS 31.02,36.01,38,39,40,44.01,45.01,47,48,48.01,49,50,01,50.02,50.03,51,52,53,54,55,56,57,01,58,59,60,63,01,123
 NORTH BRUNSWICK TOWNSHIP
 MIDDLESEX COUNTY, NEW JERSEY

UTILITY PLAN

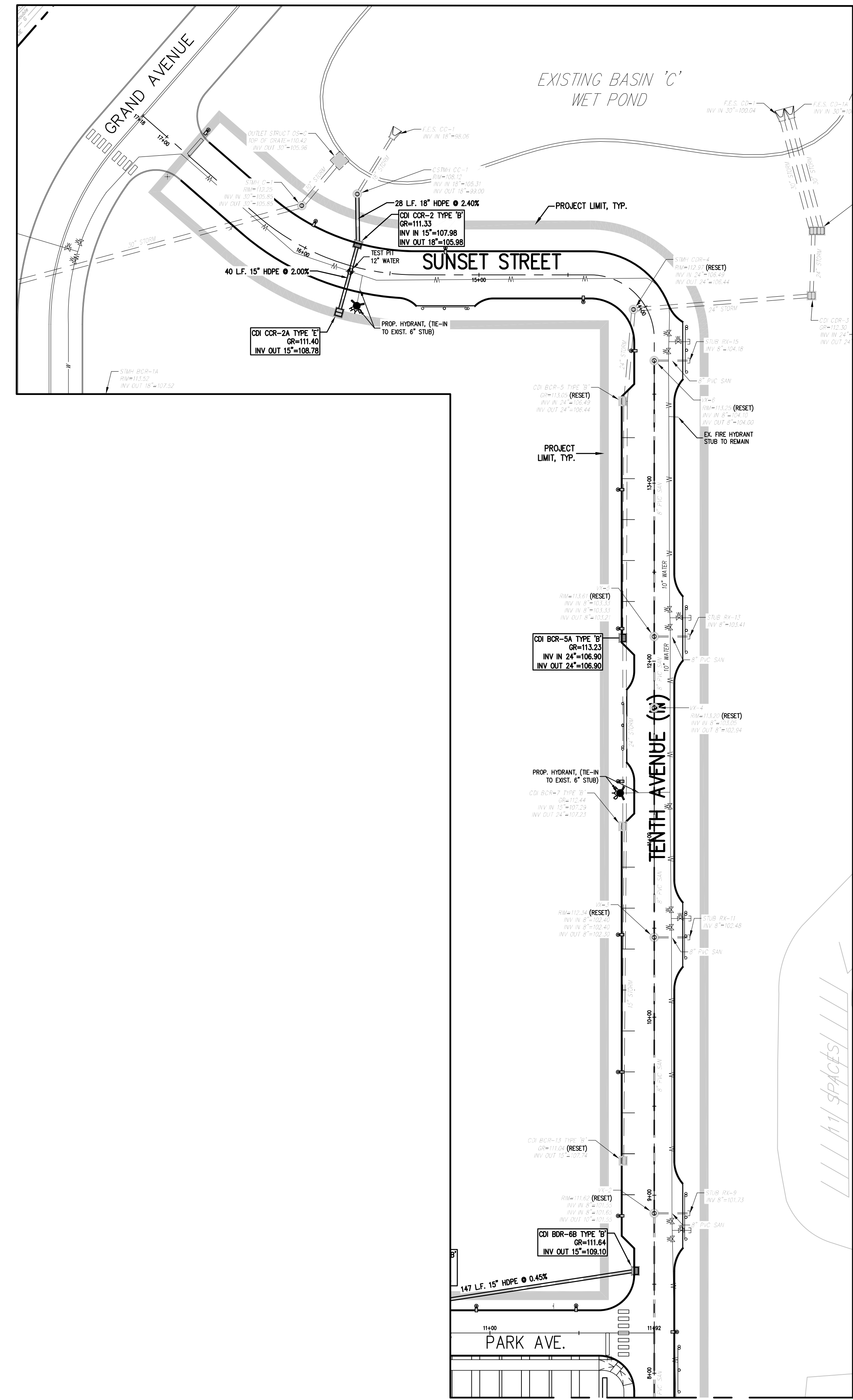
job number: 21-042
 drawing number: 10
 scale: 1"=40'
 checked by: FMA/AEC
 drawn by: A.A.
 date: 03/09/22
 sheet 10 of 29



MATCH LINE 'A'
DIMENSION AND LIGHTING
PLAN



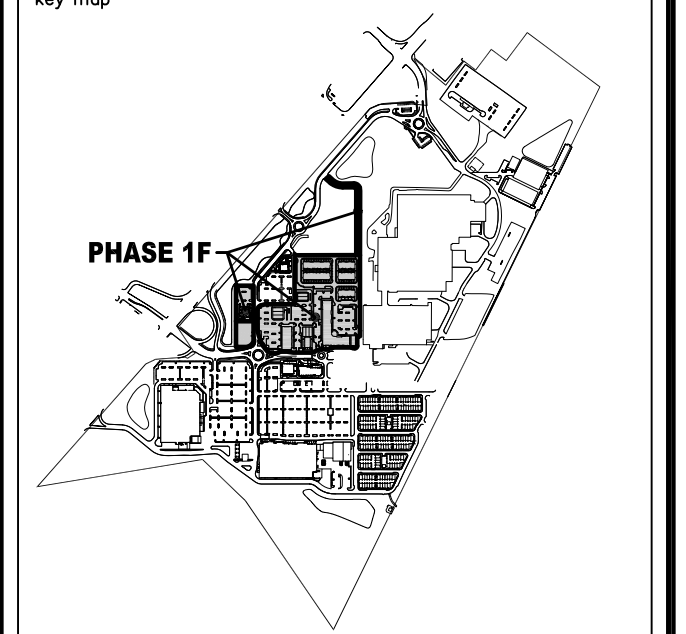
MATCH LINE 'A'
GRADING PLAN



MATCH LINE 'A'
UTILITY PLAN

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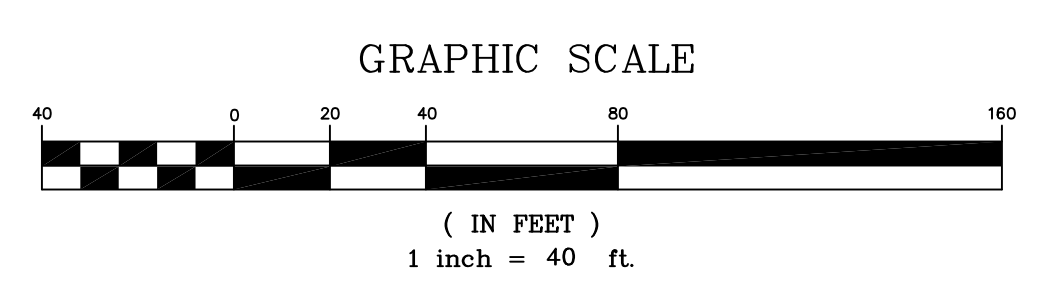
State of New Jersey
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Number: 240A27989200
21MH00004300
F. Mitchell Ardman, P.E., P.P.
Jeffrey D. Reynolds, P.L.A.

F. Mitchell Ardman
F. MITCHEL ARDMAN
N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

project
**AMENDED PRELIMINARY
AND FINAL SITE PLAN
PHASE 1F
BLOCK 141**
LOTS 31,02,36,01,38,39,40,44,01,45,01,
47,48,48,01,49,50,01,50,02,50,03,51,52,
53,54,55,56,57,01,58,59,60,63,01,123
NORTH BRUNSWICK TOWNSHIP
MIDDLESEX COUNTY, NEW JERSEY

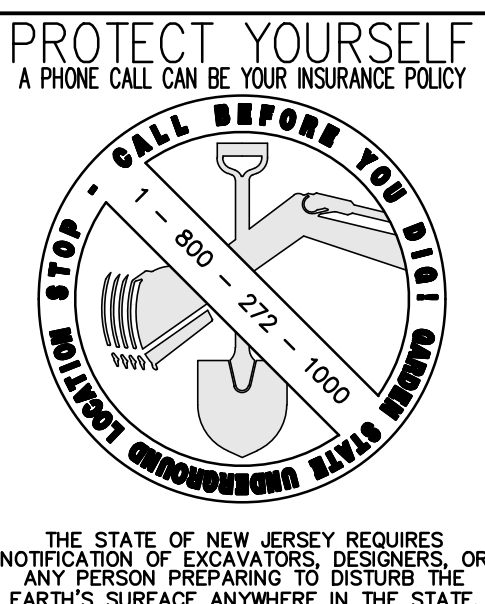
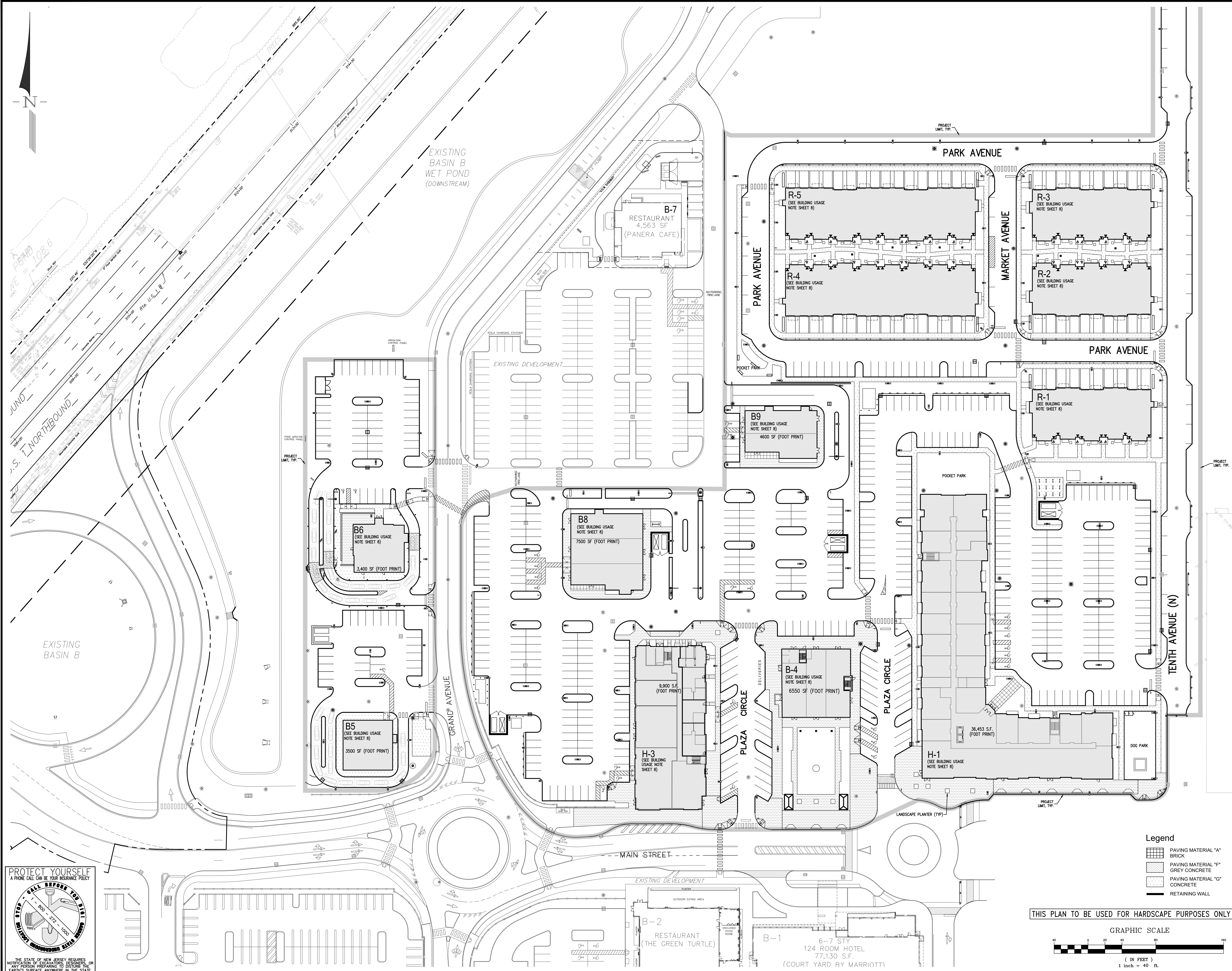
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CONNECTOR ROAD PLAN**

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scale 1"=40'	
checked by FMA/AEC	
drawn by A.A.	
date 03/09/22	sheet 11 of 29



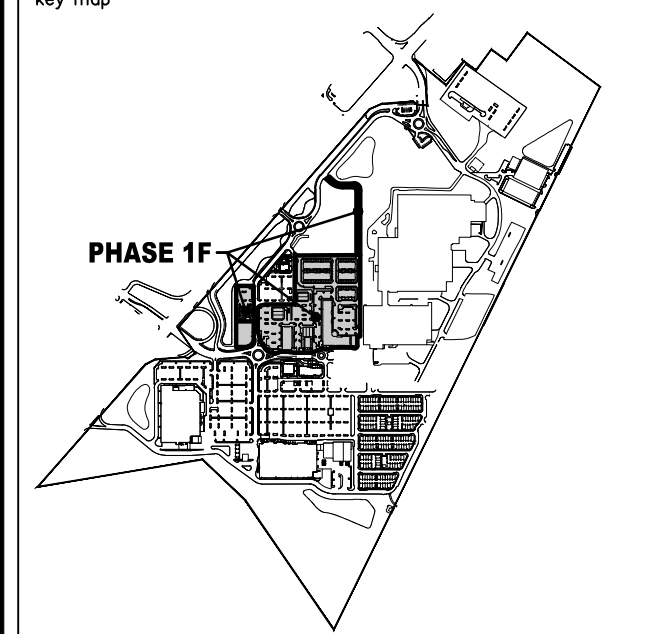
PROTECT YOURSELF
A PHONE CALL CAN BE YOUR INSURANCE POLICY

THE STATE OF NEW JERSEY REQUIRES
NOTICE TO ANY PERSON WHOSE PROPERTY OR
EARTH'S SURFACE ANYWHERE IN THE STATE



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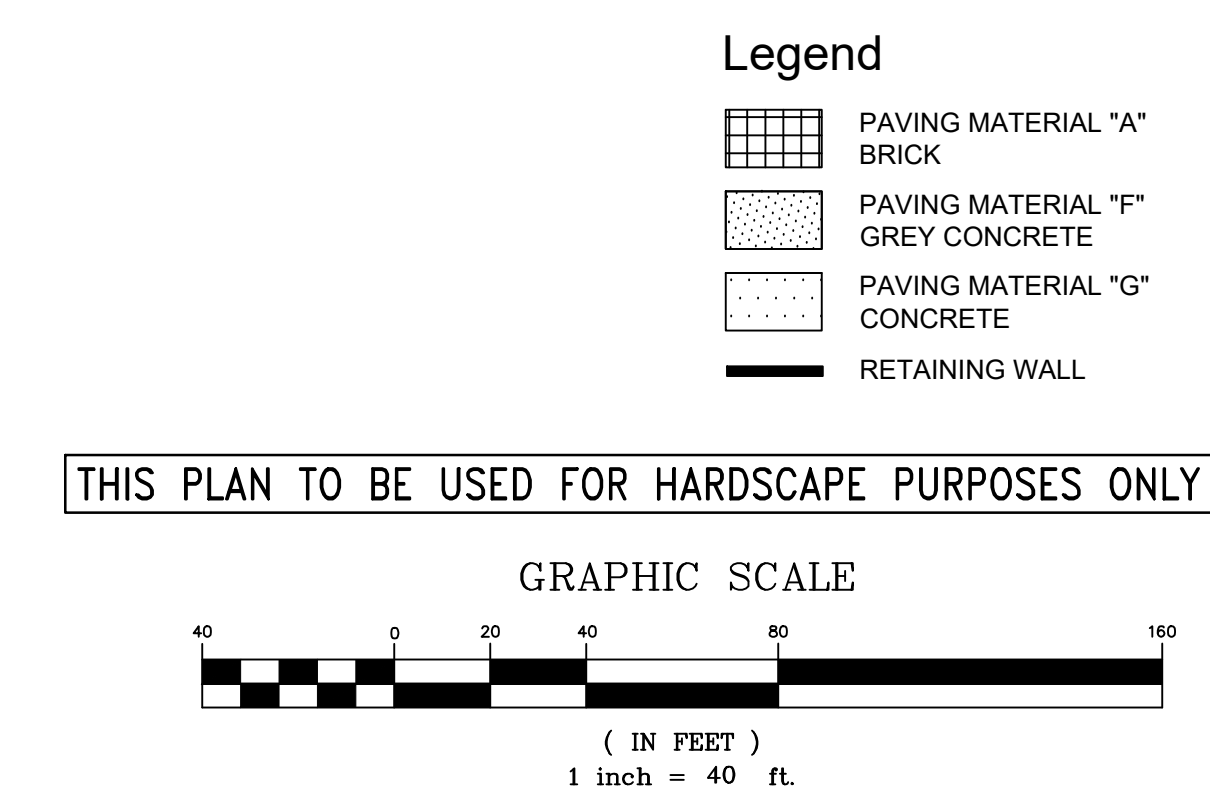
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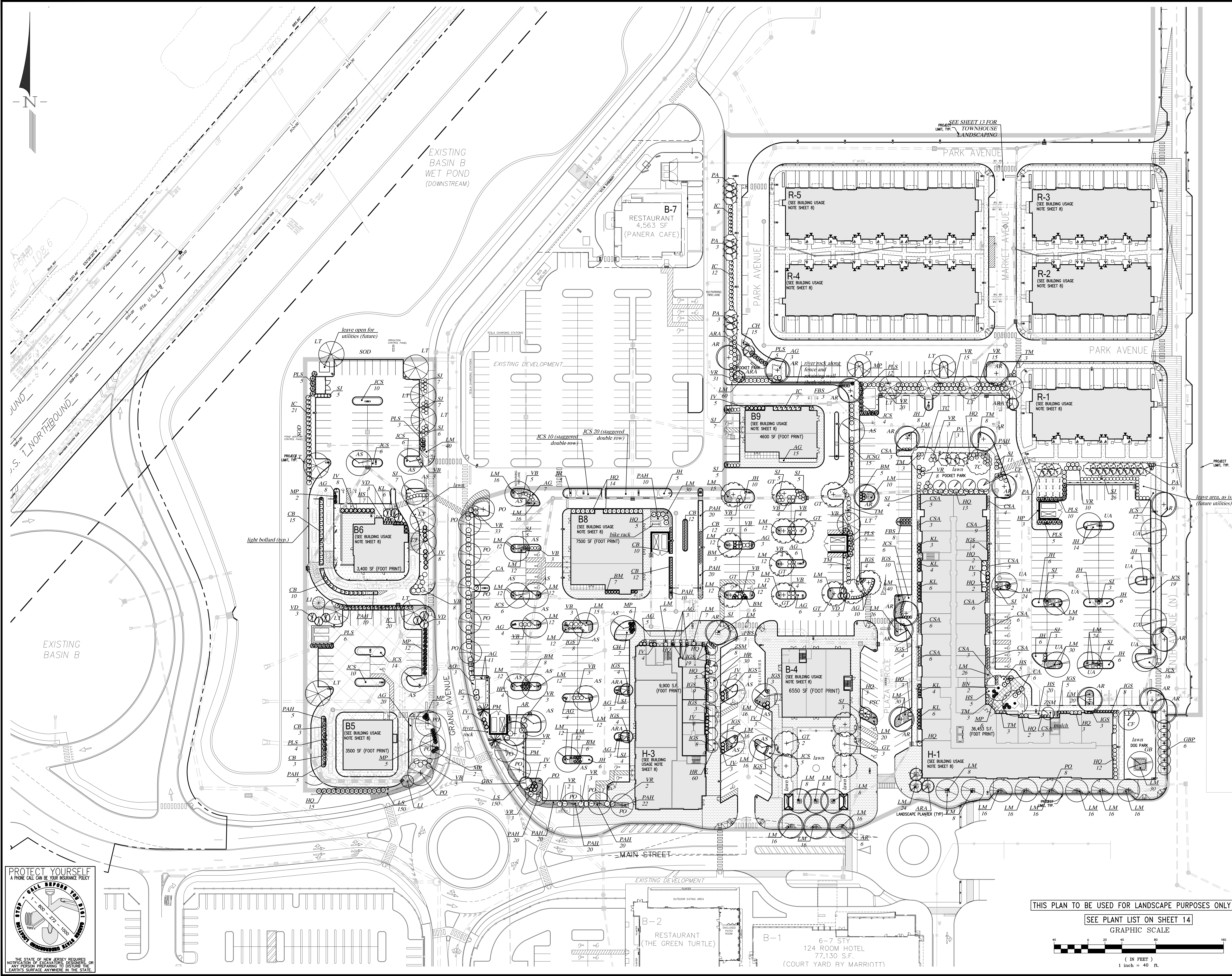
F. MITCHEL ARDMAN
 F. MITCHEL ARDMAN, P.E., P.P.
 Jeffrey D. Reynolds, P.L.A.
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 Certificate of Authorization
 Number: 240A2798200
 21MH0004300

F. MITCHEL ARDMAN
 F. MITCHEL ARDMAN
 N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

PROJECT: AMENDED PRELIMINARY AND FINAL SITE PLAN PHASE 1F
 BLOCK 141
 LOTS 31,02,36,01,38,39,40,44,01,45,01,47,48,48,01,49,50,01,50,02,50,03,51,52,53,54,55,56,57,01,58,59,60,63,01,123
 NORTH BRUNSWICK TOWNSHIP
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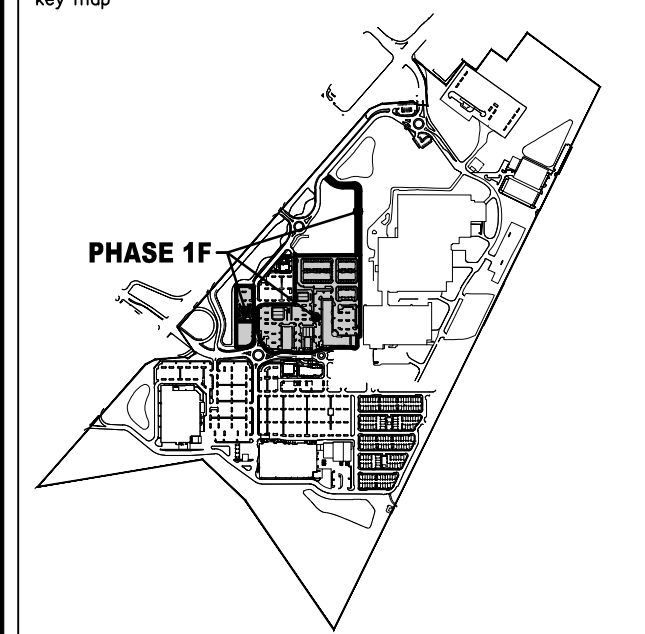
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job number	21-042
scale	1"=40'
checked by	FMA/AEC
drawn by	A.A.
date	03/09/22
drawing number	12
sheet	12 of 29





revisions		
no.	date	description

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NORTH BRUNSWICK TOWNSHIP
MIDDLESEX COUNTY, NEW JERSEY

job number	21-042	drawing number	13
scale	1"=40'		
checked by	FMA/AEC		
drawn by	A.A.		
date	03/09/22	sheet	13 of 29

PROTECT YOURSELF
A PHONE CALL CAN BE YOUR INSURANCE POLICY

CALL BEFORE YOU DIG!
800-322-1000

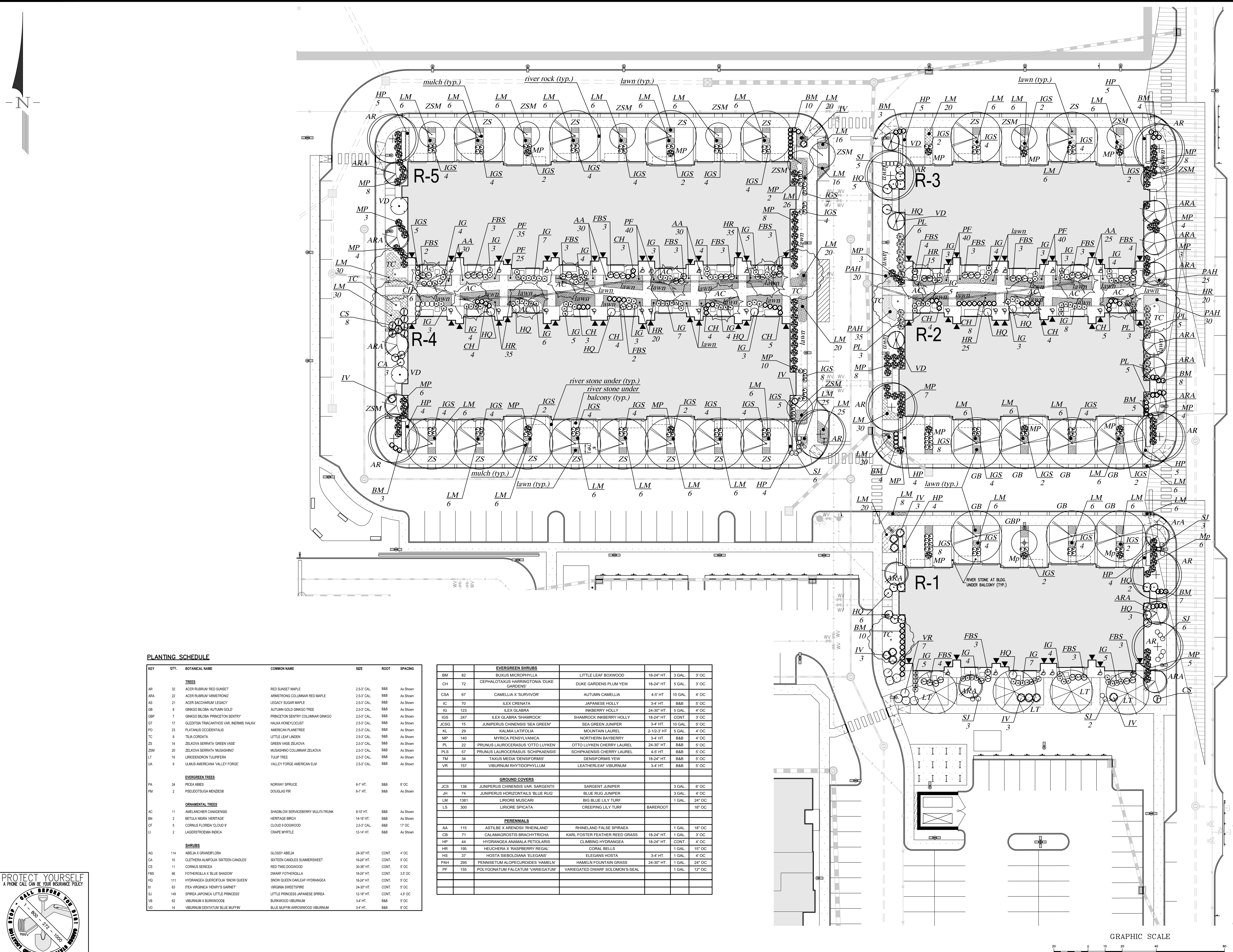
THE STATE OF NEW JERSEY REQUIRES NOTICE TO ADJACENT PROPERTY OWNERS OF ANY WORK OR REPAIRS THAT DISTURBS OR MAY DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

THIS PLAN TO BE USED FOR LANDSCAPE PURPOSES ONLY

SEE PLANT LIST ON SHEET 14

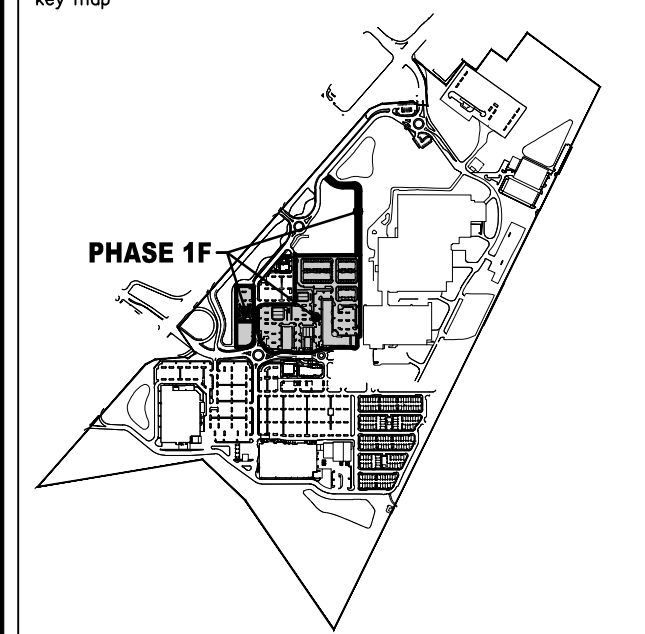
GRAPHIC SCALE

1 inch = 40 ft.



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PLANTING SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING
TREES						
AR	32	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	2.5'-3' CAL.	B&B	As Shown
ARA	22	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG COLUMNAR RED MAPLE	2.5'-3' CAL.	B&B	As Shown
AS	21	ACER SACCHARUM 'LEGACY'	LEGACY SUGAR MAPLE	2.5'-3' CAL.	B&B	As Shown
GB	8	QUERCUS BELONIA 'AUTUMN GOLD'	AUTUMN GOLD OAK	2.5'-3' CAL.	B&B	As Shown
GBF	7	QUERCUS BELONIA 'PRINCETON SENTRY'	PRINCETON SENTRY COLUMNAR OAK	2.5'-3' CAL.	B&B	As Shown
GT	17	QUERCUS TRACANTHOS VAR. 'INERMIS HAUKE'	HAUKE HONEYLOCUST	2.5'-3' CAL.	B&B	As Shown
PO	23	PLATANUS OCCIDENTALIS	AMERICAN PLATANUS	2.5'-3' CAL.	B&B	As Shown
TC	8	TRILIAC CORDATA	LITTLE LEAF LINDEN	2.5'-3' CAL.	B&B	As Shown
ZS	14	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	2.5'-3' CAL.	B&B	As Shown
ZSM	20	ZELKOVA SERRATA 'MUSASHINO'	MUSASHINO COLUMNAR ZELKOVA	2.5'-3' CAL.	B&B	As Shown
LT	19	LIRIODENDRON TULIPIFERA	TULIP TREE	2.5'-3' CAL.	B&B	As Shown
VA	9	ULMUS AMERICANA 'VALLEY FORGE'	VALLEY FORGE AMERICAN ELM	2.5'-3' CAL.	B&B	As Shown
EVERGREEN TREES						
PA	24	PICEA ABIES	NORWAY SPRUCE	6'-7' HT.	B&B	8' OC
PM	2	PSEUDOTSUGA MENZESII	DOUGLAS FIR	6'-7' HT.	B&B	As Shown
ORNAMENTAL TREES						
AC	11	AMELANCHIER CANADENSIS	SHAOBLOW SERVICEBERRY MULTI-TRUNK	8-10' HT.	B&B	As Shown
BH	2	BETULA NIGRA 'HERITAGE'	HERITAGE BIRCH	14-16' HT.	B&B	As Shown
CF	5	CORNUS FLORIDA 'CLOUD 9'	CLOUD 9 DOGWOOD	2.5'-3' CAL.	B&B	17' OC
U	2	LAGERSTRÖMIA INDICA	CRAPE MYRTLE	12-14' HT.	B&B	As Shown
SHRUBS						
AG	114	ABELIA X GRANDIFLORA	GLOSSY ABELIA	24-30" HT.	CONT.	4' OC
CA	10	CLETHRA ALNIFOLIA 'SIXTEEN CANDLES'	SIXTEEN CANDLES SUMMERSWEET	18-24" HT.	CONT.	5' OC
CS	11	CORNUS SERICEA	RED TWE DOGWOOD	30-36" HT.	CONT.	5' OC
FBS	66	FOTHERGILLIA X 'BLUE SHADOW'	DWARF FOTHERGILLIA	18-24" HT.	CONT.	3.5' OC
HQ	111	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	SNOW QUEEN DANIELA HYDRANGEA	18-24" HT.	CONT.	5' OC
IV	63	ITEA VIRGINICA 'HERRY'S GARNET'	VIRGINIA SWEETPIPE	24-30" HT.	CONT.	5' OC
SJ	149	SPREEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS JAPANESE SPREA	12-18" HT.	CONT.	4.5' OC
VB	62	VIBURNUM X BURKWOODII	BURKWOOD VIBURNUM	3-4' HT.	B&B	5' OC
VD	14	VIBURNUM DENTATUM 'BLUE MUFFIN'	BLUE MUFFIN ARROWWOOD VIBURNUM	3-4' HT.	B&B	8' OC

EVERGREEN SHRUBS						
BM	82	BUXUS MICROPHYLLA	LITTLE LEAF BOXWOOD	18-24" HT.	3 GAL.	3' OC
GH	72	CEPHALOTAXUS HARRINGTONIA 'DUKE GARDENS'	DUKE GARDENS PLUM YEW	18-24" HT.	5 GAL.	3' OC
CSA	67	CAMELLIA X 'SURVIVOR'	AUTUMN CAMELLIA	4-5' HT.	10 GAL.	4' OC
IG	70	ILEX CRENATA	JAPANESE HOLLY	3-4' HT.	B&B	5' OC
IG	123	ILEX GLABRA	INKBERRY HOLLY	24-30" HT.	5 GAL.	4' OC
IGS	247	ILEX GLABRA 'SHAWBROOK'	SHAWBROOK INKBERRY HOLLY	18-24" HT.	CONT.	3' OC
JCS	15	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	3-4' HT.	10 GAL.	5' OC
KL	29	KALMA LATIFOLIA	MOUNTAIN LAUREL	2-1/2'-3' HT.	5 GAL.	4' OC
MP	140	MYRTICA PENNSYLVANICA	NORTHERN BAYBERRY	3-4' HT.	B&B	4' OC
PL	22	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN CHERRY LAUREL	24-30" HT.	B&B	5' OC
PLS	57	PRUNUS LAUROCERASUS 'SCHIPKAENSIS'	SCHIPKAENSIS CHERRY LAUREL	4-5' HT.	B&B	5' OC
TM	34	TAXUS MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	18-24" HT.	B&B	5' OC
VR	157	VIBURNUM RHYTIDOPHYLLUM	LEATHERLEAF VIBURNUM	3-4' HT.	B&B	5' OC
GROUND COVERS						
JCS	138	JUNIPERUS CHINENSIS VAR. 'SARGENTII'	SARGENT JUNIPER	3 GAL.	6' OC	
JH	74	JUNIPERUS HORIZONTALIS 'BLUE RUG'	BLUE RUG JUNIPER	3 GAL.	4' OC	
LM	1381	LIRIORE MUSCARI	BIG BLUE LILY TURF	1 GAL.	24" OC	
LS	300	LIRIORE SPICATA	CREeping LILY TURF	BAREROOT	18" OC	
PERENNIALS						
AA	115	ASTILBE X ARENDsii 'RHEINLAND'	RHEINLAND FALSE SPIRAEA	1 GAL.	18" OC	
GB	71	CALAMAGROSTIS BRACHYTRICHA	KARL FOSTER FEATHER REED GRASS	18-24" HT.	1 GAL.	3' OC
HP	44	HYDRANGEA ANAMALA PETOLARIS	CLIMBING HYDRANGEA	18-24" HT.	CONT.	4' OC
HR	185	HEUCHERA X 'RASPBERRY REGAL'	CORAL BELLS	1 GAL.	12" OC	
HS	37	HOSTA SIEBOLDIANA 'ELEGANS'	ELEGANS HOSTA	3-4" HT.	1 GAL.	4" OC
PAH	295	PENNETUM ALOPECUROIDES 'HAMELIN'	HAMELIN FOUNTAIN GRASS	24-30" HT.	1 GAL.	24" OC
PF	155	POLYGONATUM FALCATUM 'VARIEGATUM'	VARIEGATED DWARF SOLOMON'S SEAL	1 GAL.	12" OC	



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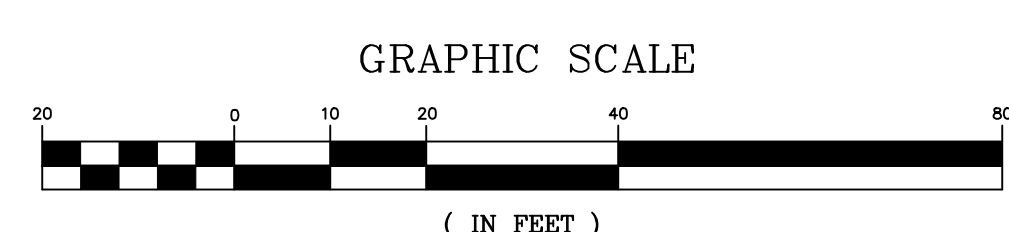
State of New Jersey
 Certificate of Authorization
 Number: 24042798200
 21MH00004300
 F. Mitchell Ardman, P.E., P.P.
 Jeffrey D. Reynolds, P.L.A.

F. Mitchell Ardman
 F. MITCHEL ARDMAN
 N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

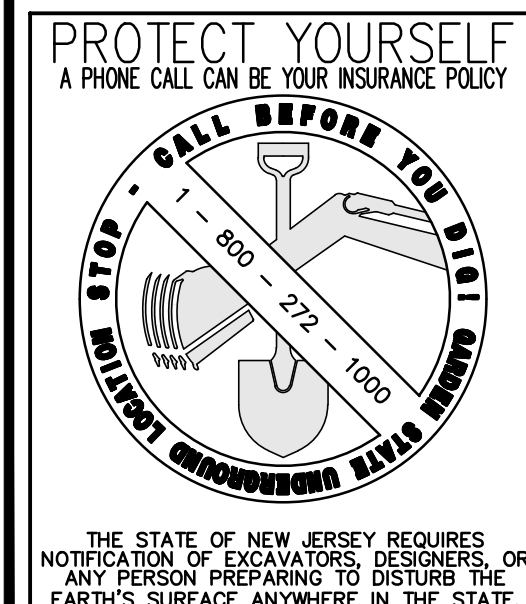
PROJECT
AMENDED PRELIMINARY AND FINAL SITE PLAN PHASE 1F
 BLOCK 141
 LOTS 31,02,36,01,38,39,40,44,01,45,01,47,48,48,01,49,50,01,50,02,50,03,51,52,53,54,55,56,57,01,58,59,60,63,01,123
 NORTH BRUNSWICK TOWNSHIP
 MIDDLESEX COUNTY, NEW JERSEY

drawing title
TOWNHOUSE LANDSCAPING PLAN

job number	21-042	drawing number	
scale	1"=20'		
checked by	FMA/AEC		
drawn by	A.A.		
date	03/09/22	sheet	14 of 29

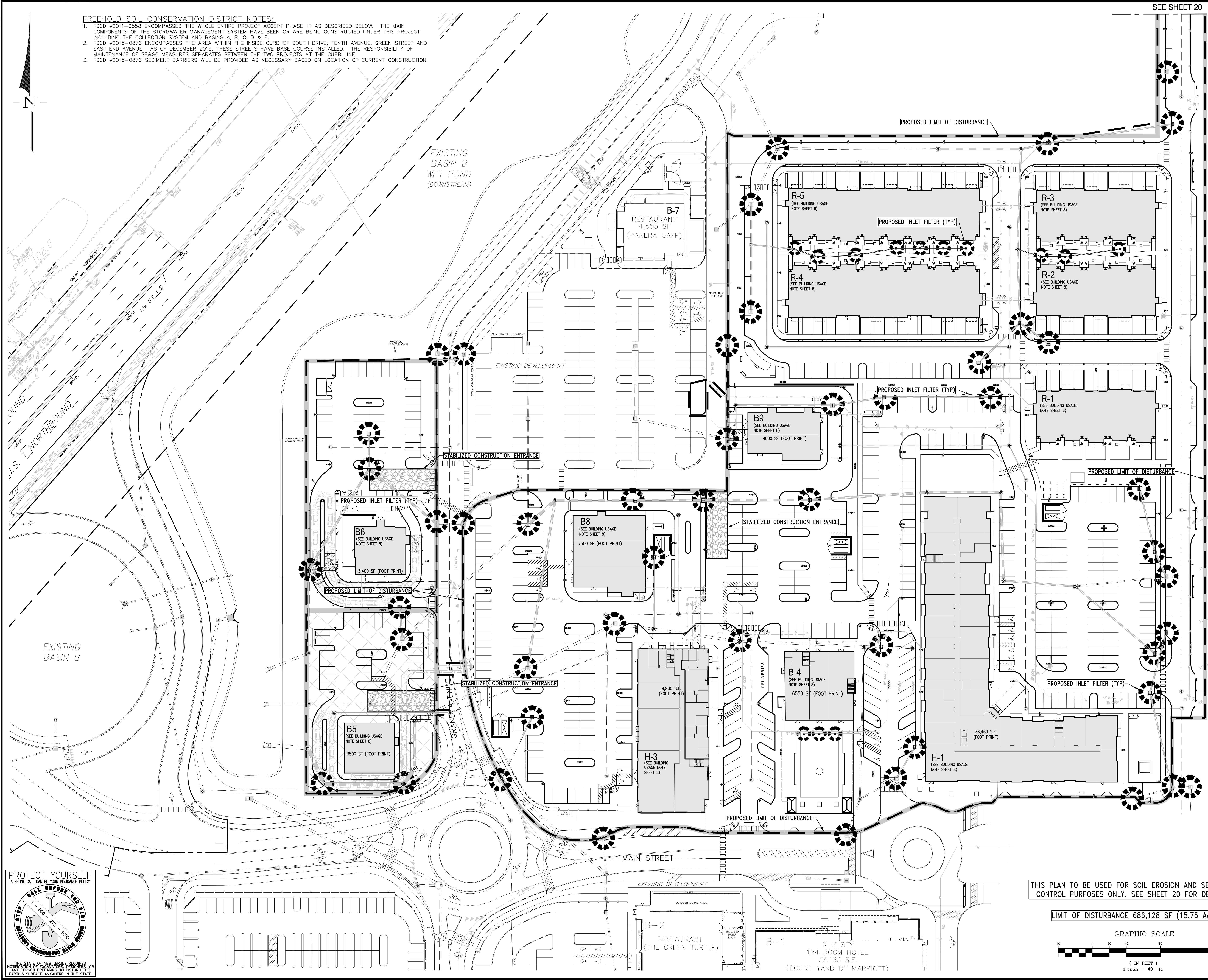
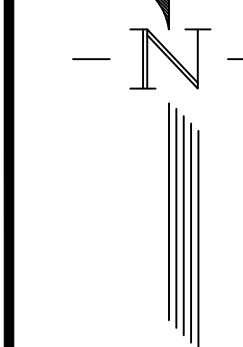


THIS PLAN TO BE USED FOR LANDSCAPE PURPOSES ONLY



FREEHOLD SOIL CONSERVATION DISTRICT NOTES:

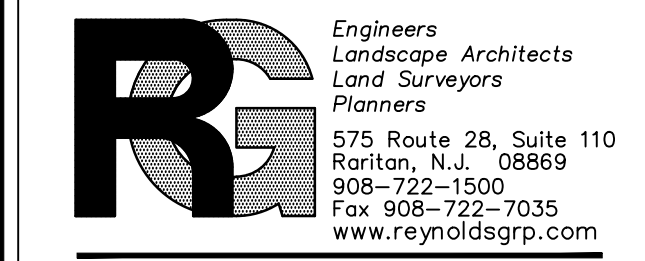
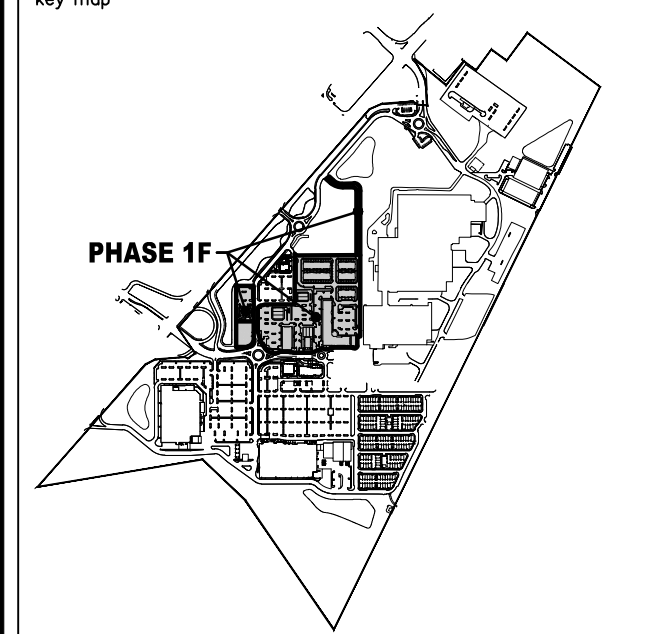
- FSCD #2011-0558 ENCOMPASSED THE WHOLE ENTIRE PROJECT ACCEPT PHASE 1F AS DESCRIBED BELOW. THE MAIN COMPONENTS OF THE STORMWATER MANAGEMENT SYSTEM HAVE BEEN OR ARE BEING CONSTRUCTED UNDER THIS PROJECT INCLUDING THE COLLECTION SYSTEM AND BASINS A, B, C, D & E.
- FSCD #2015-0876 ENCOMPASSES THE AREA WITHIN THE INSIDE CURB OF SOUTH DRIVE, TENTH AVENUE, GREEN STREET AND EAST END AVENUE. AS OF DECEMBER 2015, THESE STREETS HAVE BASE COURSE INSTALLED. THE RESPONSIBILITY OF MAINTENANCE OF SE&S MEASURES SEPARATES BETWEEN THE TWO PROJECTS AT THE CURB LINE.
- FSCD #2015-0876 SEDIMENT BARRIERS WILL BE PROVIDED AS NECESSARY BASED ON LOCATION OF CURRENT CONSTRUCTION.



revisions		
no.	date	description

EXISTING LEGEND	
	GAS VALVE
	GAS METER
	WATER VALVE
	HYDRANT
	WATER METER
	CURB STOP
	FIRE DEPT. CONNECTION
	DRAINAGE MH
	CURB INLET
	LAWN INLET
	SANITARY MH
	CLEANOUT
	BOLLARD
	SIGN
	LIGHT
	MAIL BOX
	GUY WIRE
	UTILITY POLE
	ELECTRIC MH
	CONFIROUS TREE
	DECIDUOUS TREE
	FENCE
	RAILING
	WALL
	GATE POST
	WATER LINE
	GAS LINE
	ELECTRIC LINE
	SANITARY LINE
	OVERHEAD WIRES

PROPOSED LEGEND	
	PHASE LINE
	STORM MANHOLE
	STORM 'B' INLET
	STORM 'E' INLET
	STORM LAWN INLET
	STORM PIPE
	SANITARY MANHOLE
	SANITARY PIPE
	WATER LINE
	WATER VALVE
	FIRE HYDRANT
	F.D.C.
	STREET SIGN



The Reynolds Group Inc.

State of New Jersey
 Certificate of Authorization
 Number: 240A27989200
 21MH00004300
 F. Mitchell Ardman, P.E., P.P.
 Jeffrey D. Reynolds, P.L.A.

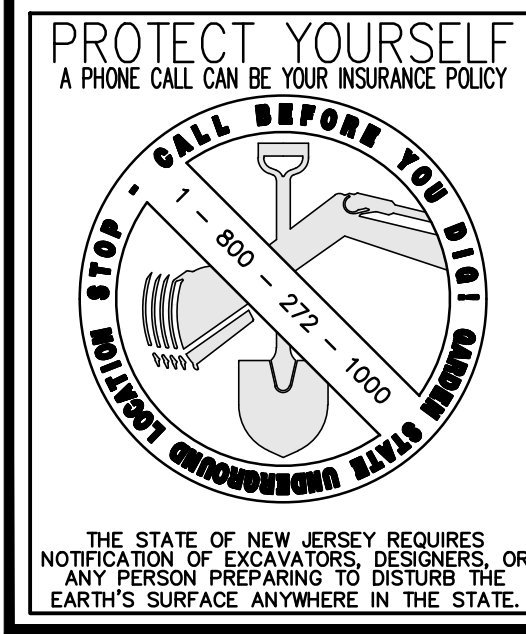
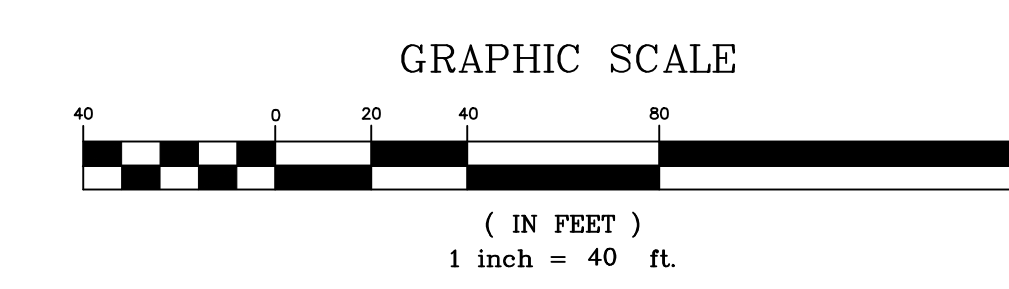
F. MITCHEL ARDMAN
 N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

PROJECT: AMENDED PRELIMINARY AND FINAL SITE PLAN PHASE 1F
 BLOCK 141
 LOTS 31,02,36,01,38,39,40,44,01,45,01,47,48,48,01,49,50,01,50,02,50,03,51,52,53,54,55,56,57,01,58,59,60,63,01,123
 NORTH BRUNSWICK TOWNSHIP
 MIDDLESEX COUNTY, NEW JERSEY

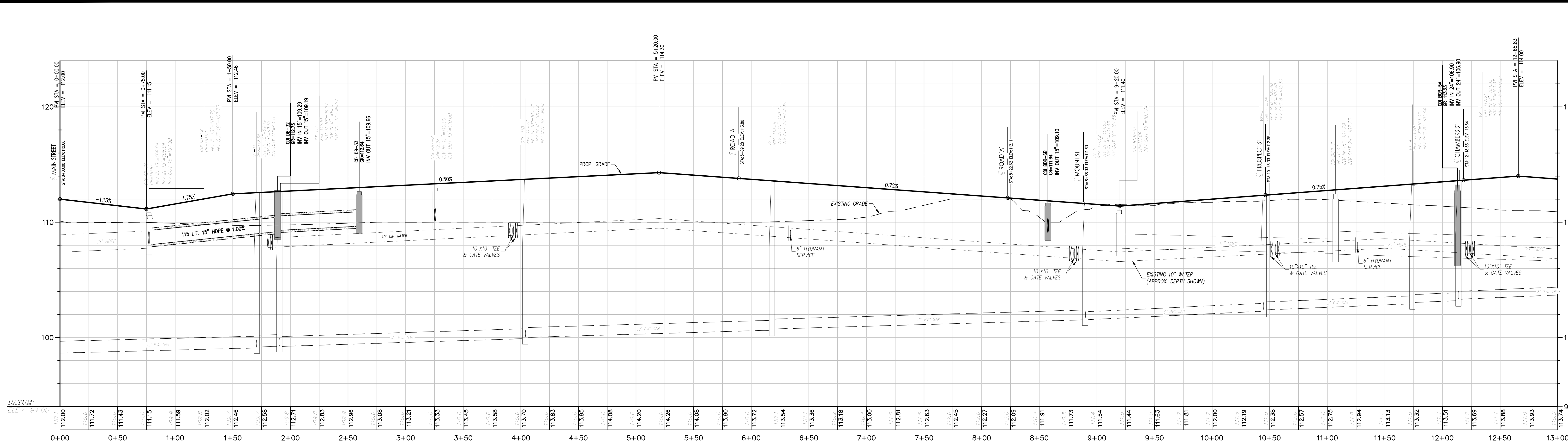
SOIL EROSION AND SEDIMENT CONTROL PLAN

THIS PLAN TO BE USED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY. SEE SHEET 20 FOR DETAILS

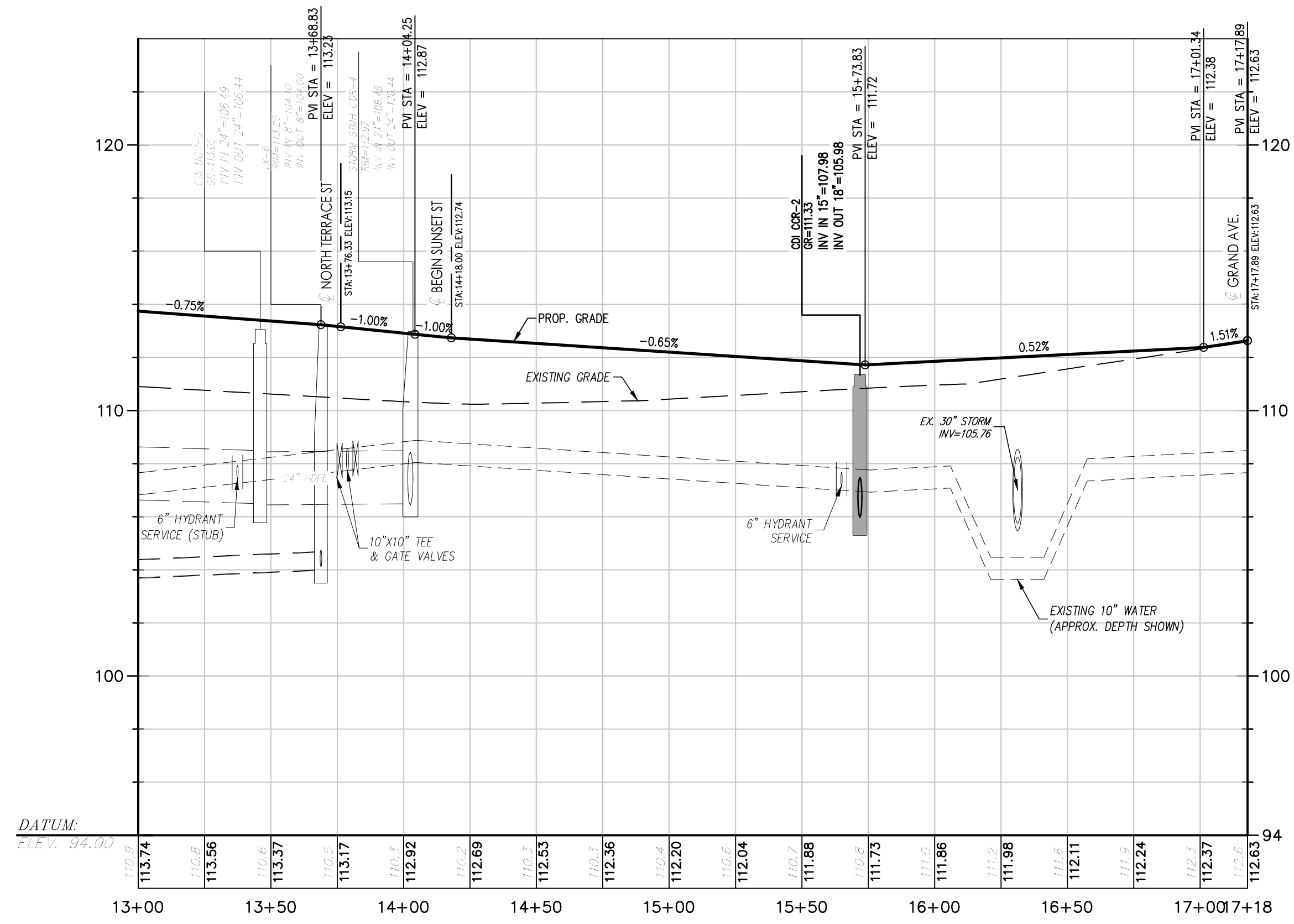
LIMIT OF DISTURBANCE 686,128 SF (15.75 Ac.)



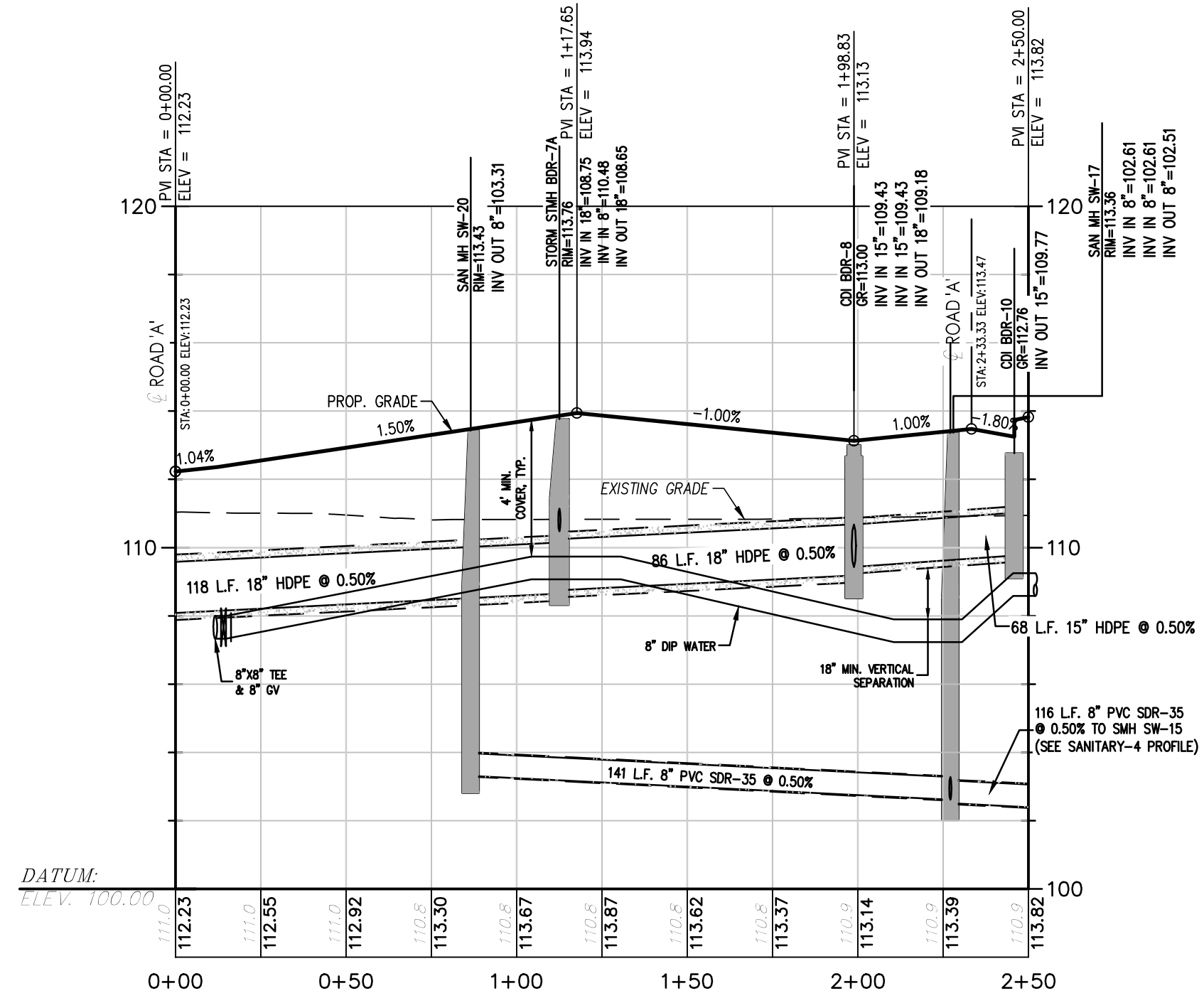
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drawn by A.A.	
date 03/09/22	sheet 17 of 29



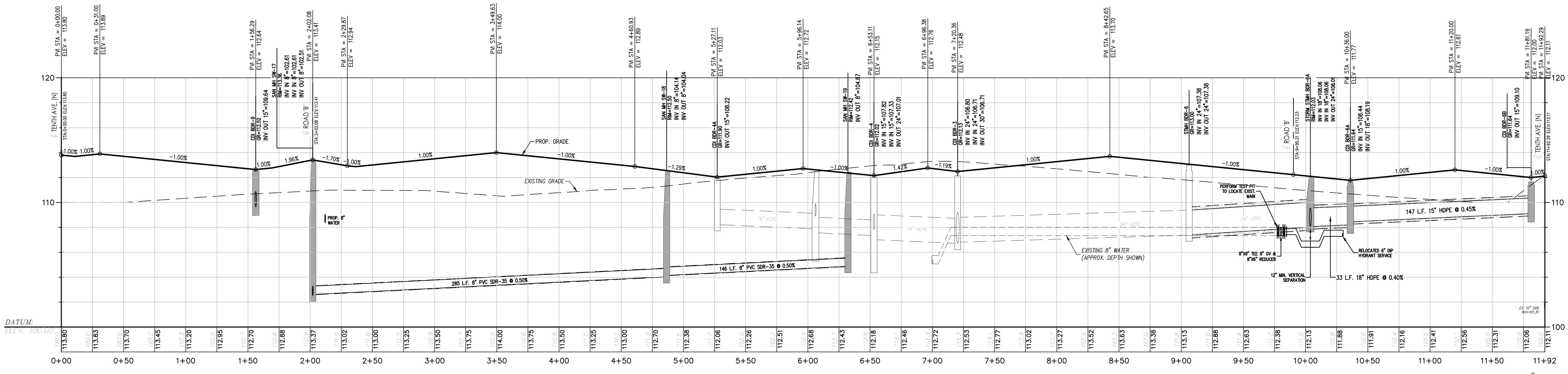
TENTH AVE (NORTH) PROFILE



SUNSET STREET
(STA. 14+18 - GRAND AVE)



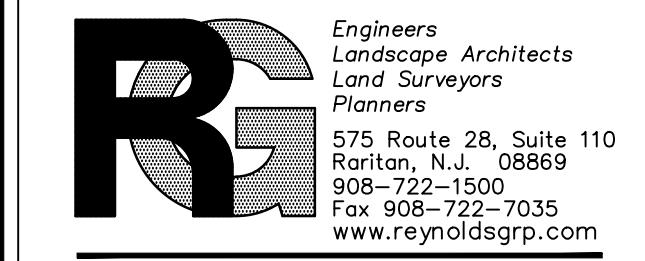
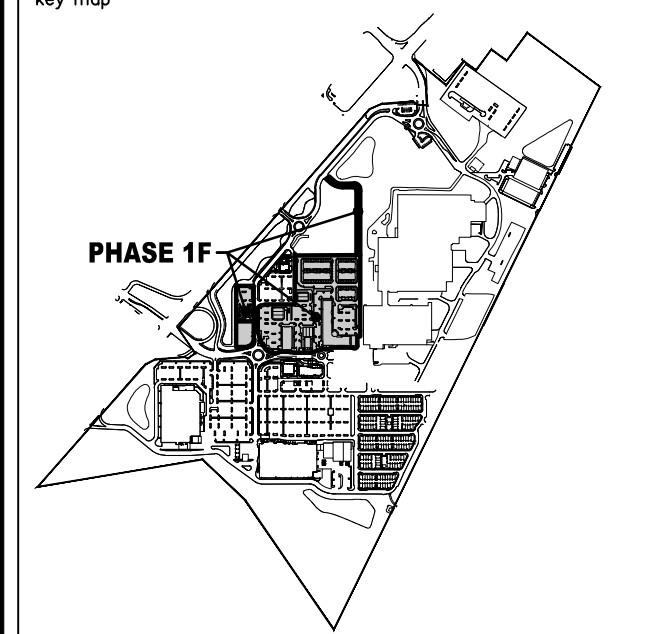
ROAD 'B' PROFILE



ROAD 'A' PROFILE

revisions		
no.	date	description

- EXISTING LEGEND**
- ⊕ GAS VALVE
 - ⊕ GAS METER
 - ⊕ WATER VALVE
 - ⊕ HYDRANT
 - ⊕ WATER METER
 - ⊕ CURB STOP
 - ⊕ FIRE DEPT. CONNECTION
 - ⊕ DRAINAGE MH
 - ⊕ CURB INLET
 - ⊕ LAWN INLET
 - ⊕ SANITARY MH
 - ⊕ CLEANOUT
 - ⊕ BOLLARD
 - ⊕ SIGN
 - ⊕ LIGHT
 - ⊕ MAIL BOX
 - ⊕ GUY WIRE
 - ⊕ UTILITY POLE
 - ⊕ ELECTRIC MH
 - ⊕ CONIFEROUS TREE
 - ⊕ DECIDUOUS TREE
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 - ⊕ RAILING
 - ⊕ WALL
 - ⊕ GATE POST
 - ⊕ WATER LINE
 - ⊕ GAS LINE
 - ⊕ ELECTRIC LINE
 - ⊕ SANITARY LINE
 - ⊕ OVERHEAD WIRES
- PROPOSED LEGEND**
- PHASE LINE
 - ⊕ STORM MANHOLE
 - ⊕ STORM 'B' INLET
 - ⊕ STORM 'E' INLET
 - ⊕ STORM LAWN INLET
 - STORM PIPE
 - ⊕ SANITARY MANHOLE
 - SANITARY PIPE
 - WATER LINE
 - ⊕ WATER VALVE
 - ⊕ FIRE HYDRANT
 - ⊕ F.D.C.
 - ⊕ STREET SIGN



The Reynolds Group Inc.

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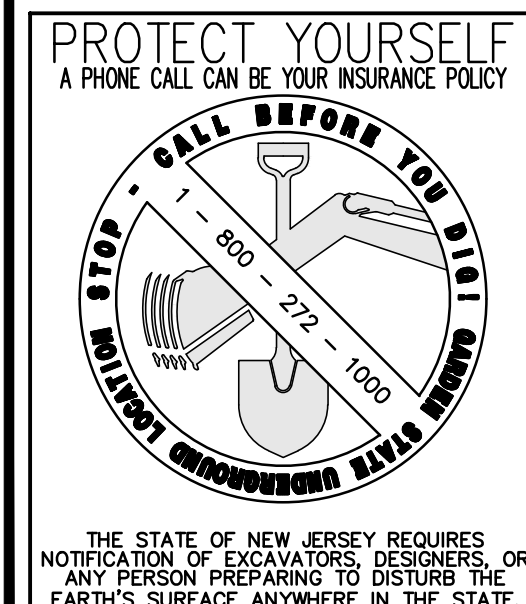
F. Mitchell Ardman, P.E., P.P.
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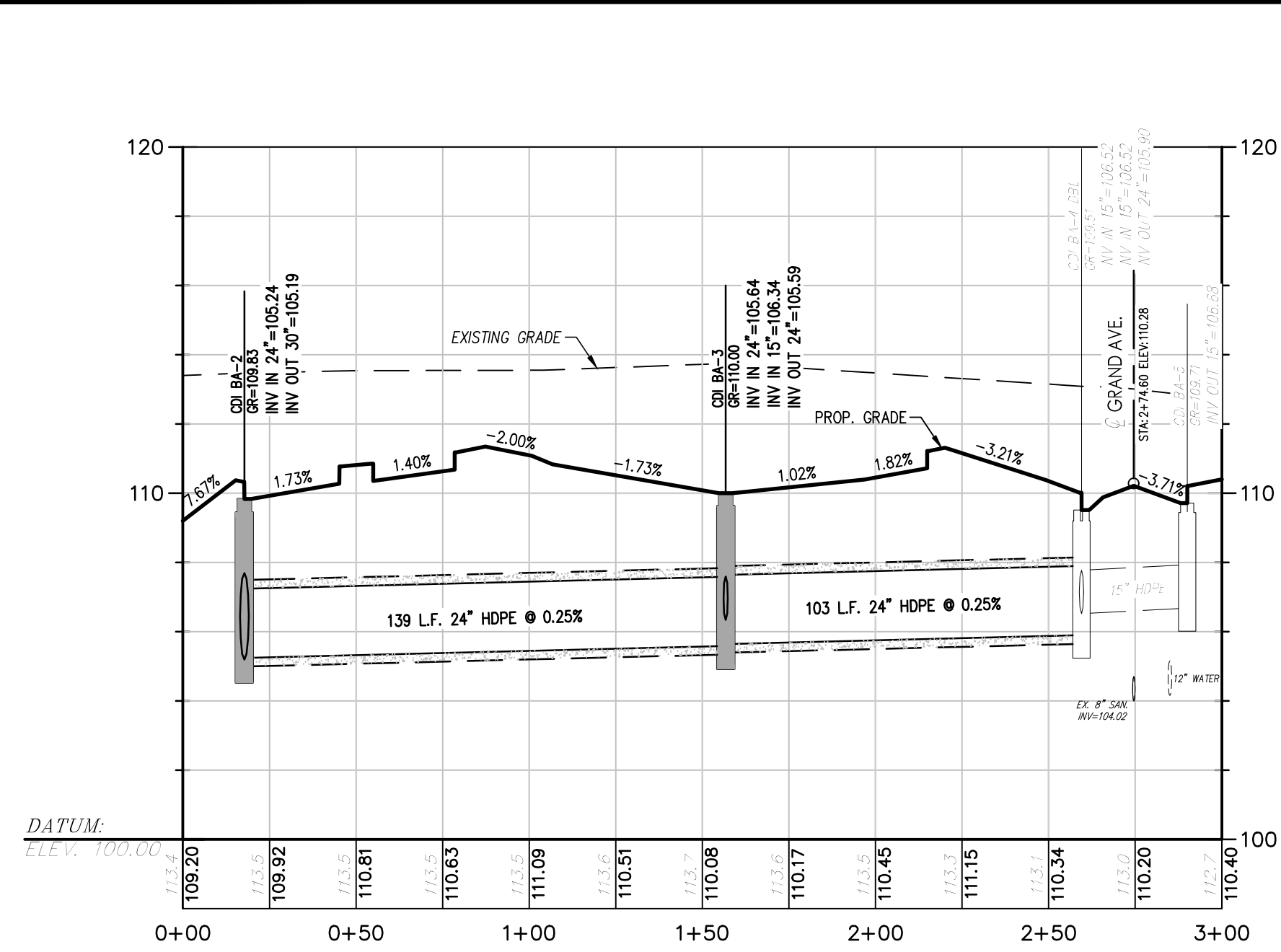
F. Mitchell Ardman
F. MITCHEL ARDMAN
N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

PROJECT
**AMENDED PRELIMINARY
AND FINAL SITE PLAN
PHASE 1F**
BLOCK 141
LOTS 31, 32, 36, 01, 38, 39, 40, 44, 01, 45, 01,
47, 48, 48, 01, 49, 50, 01, 50, 02, 50, 03, 51, 52,
53, 54, 55, 56, 57, 01, 58, 59, 60, 63, 01, 123
NORTH BRUNSWICK TOWNSHIP
MIDDLESEX COUNTY, NEW JERSEY

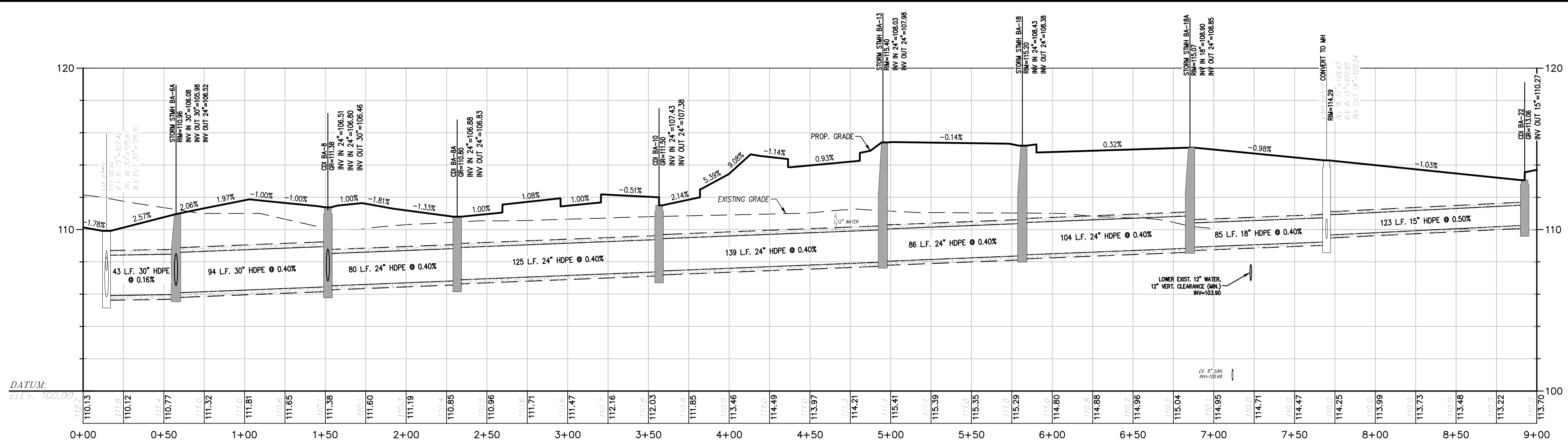
ROAD PROFILES

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scale	AS SHOWN		
checked by	FMA/AEC		
drawn by	A.A.		
date	03/09/22	sheet 18 of 29	

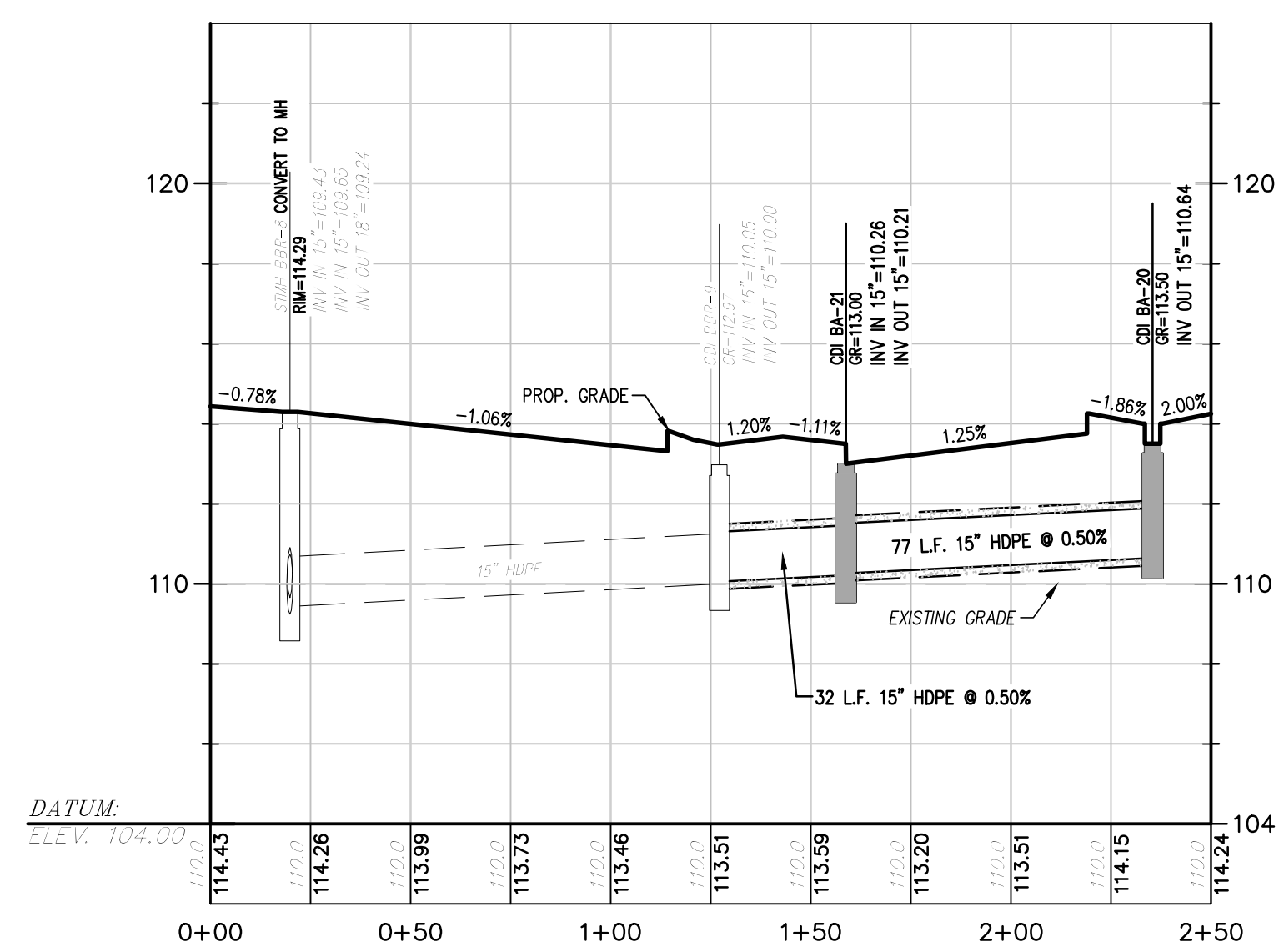




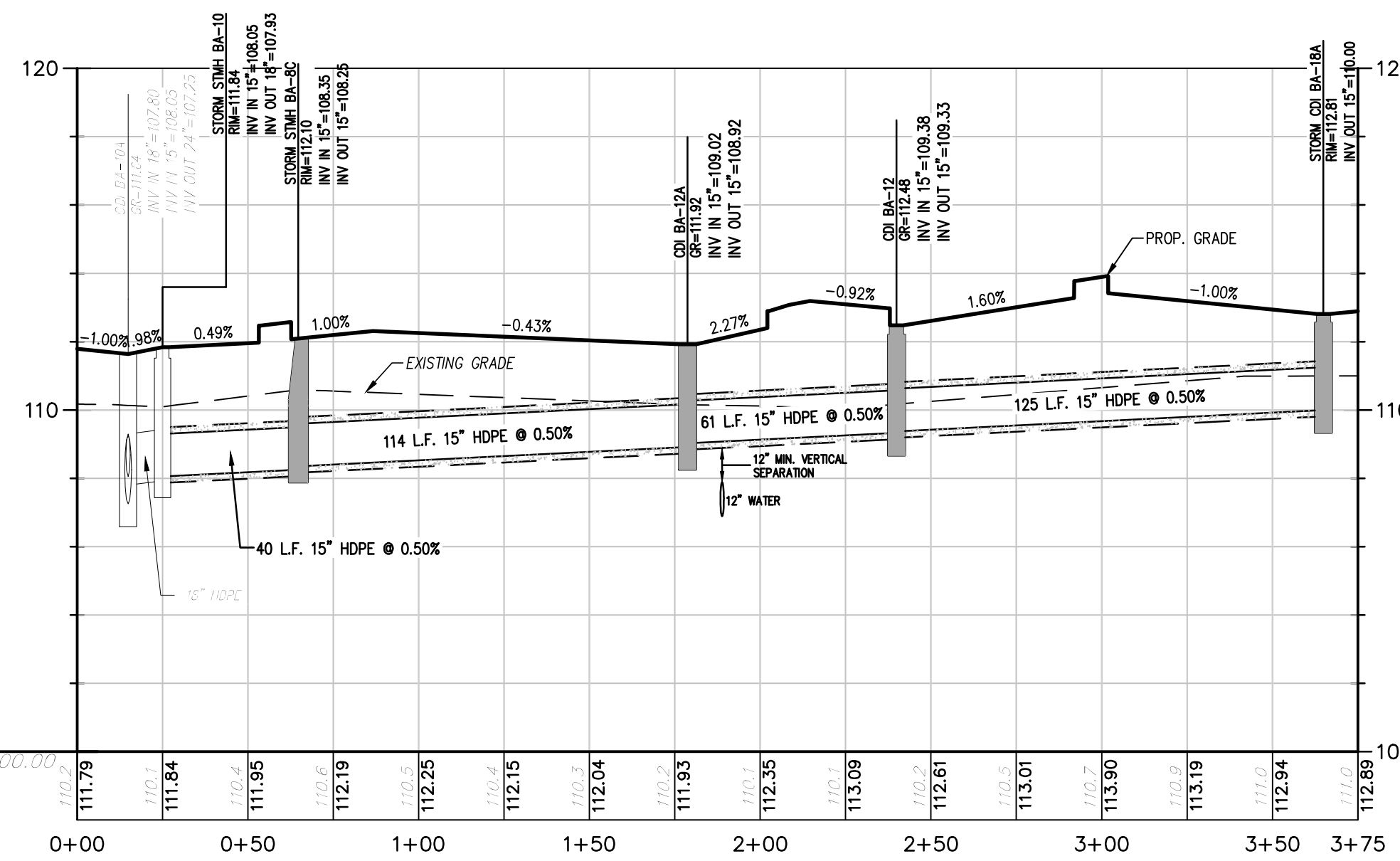
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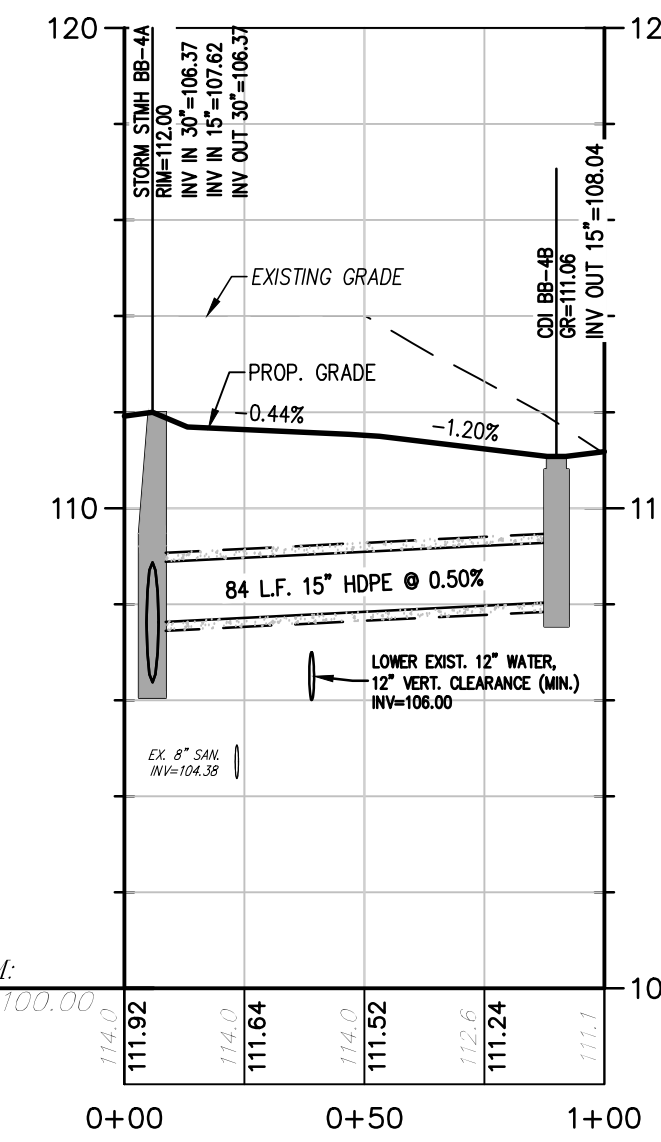
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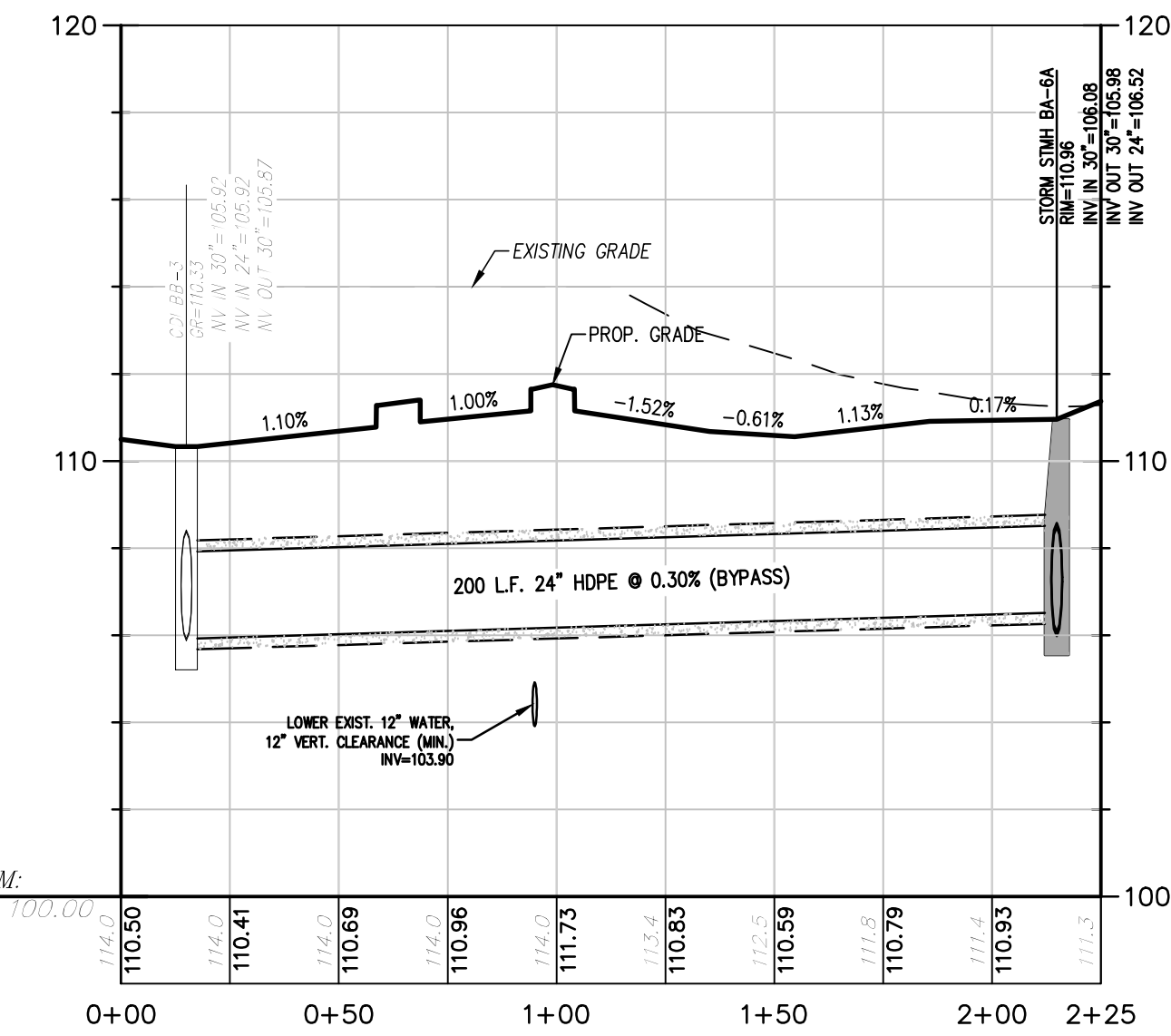
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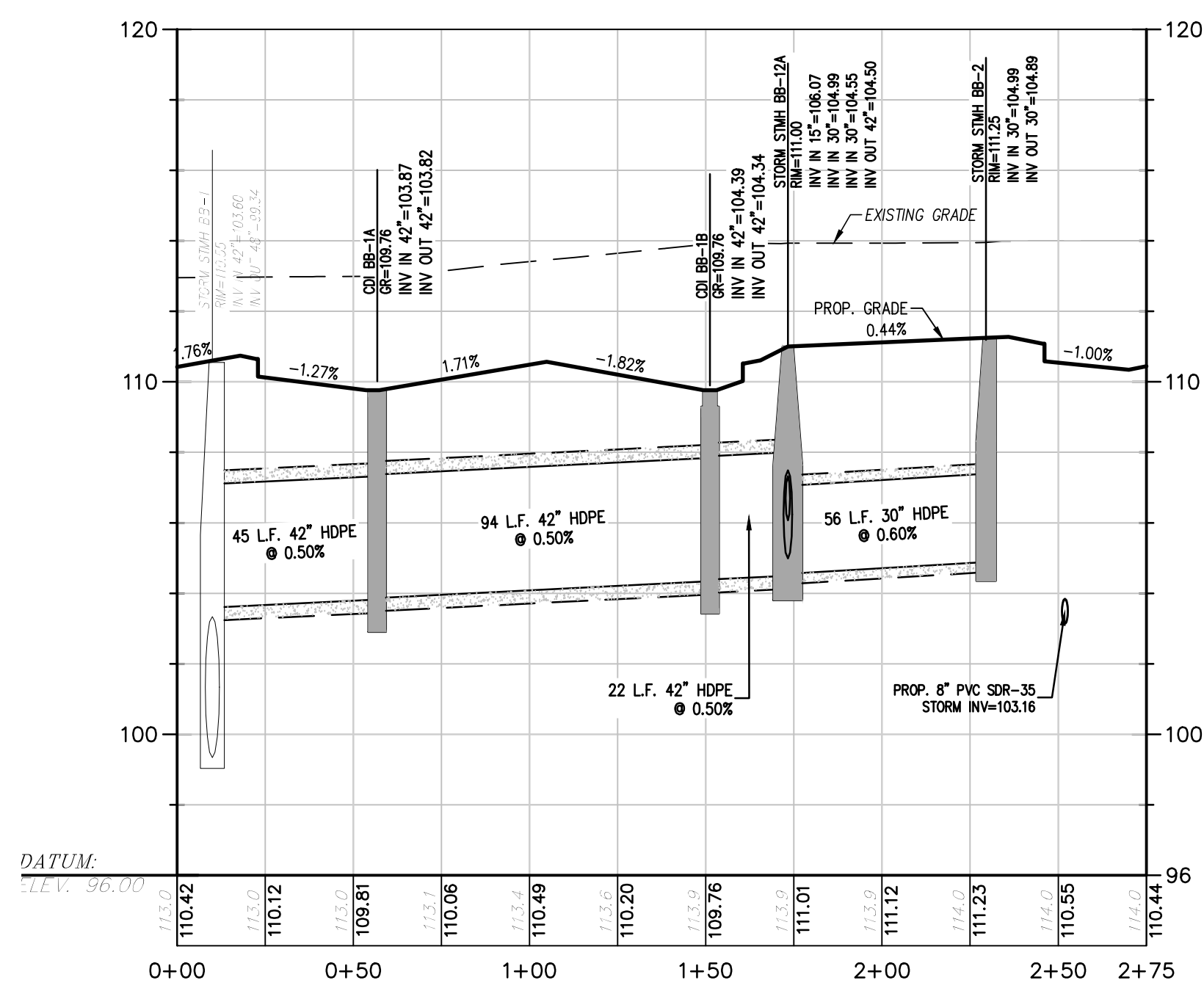
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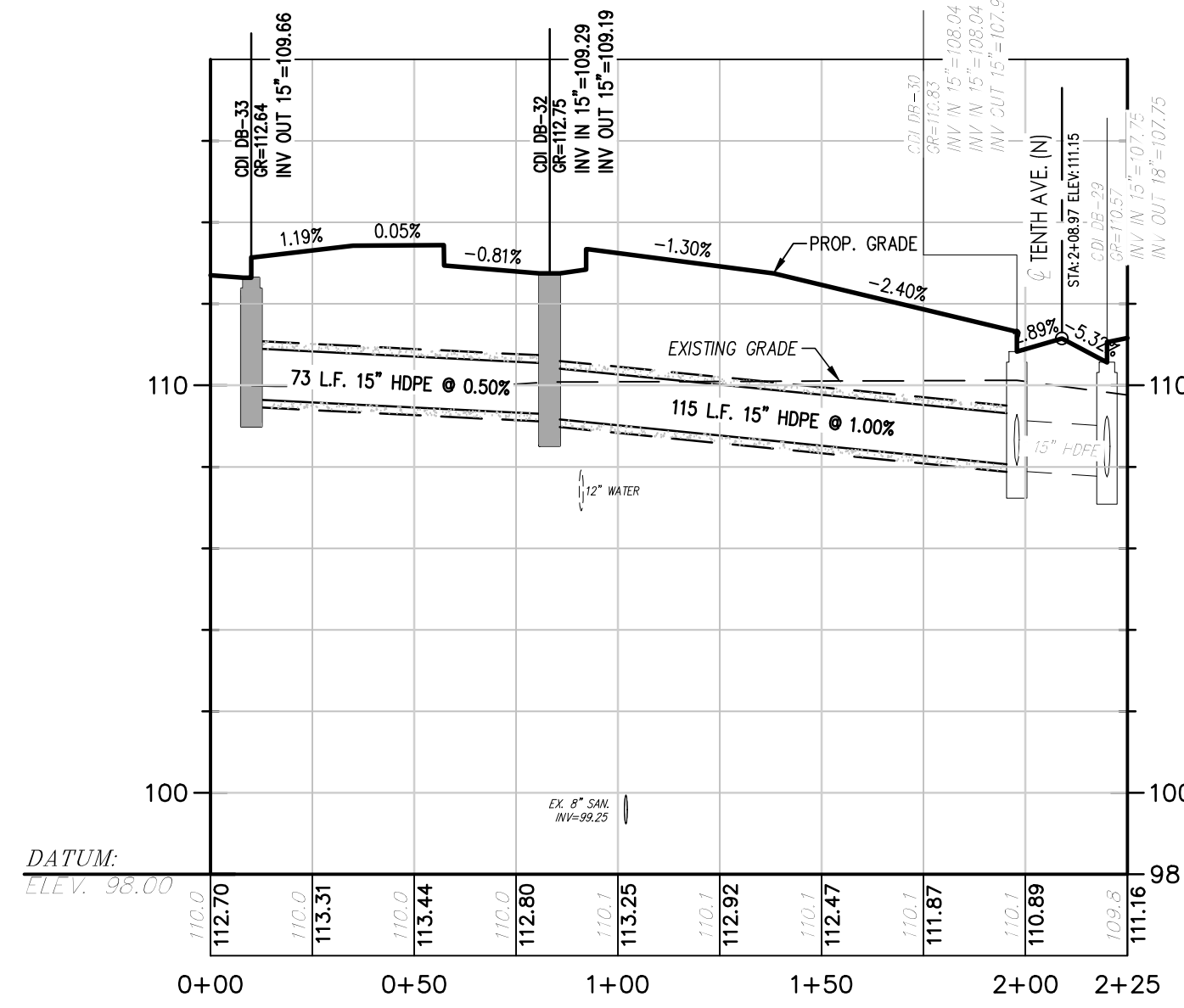
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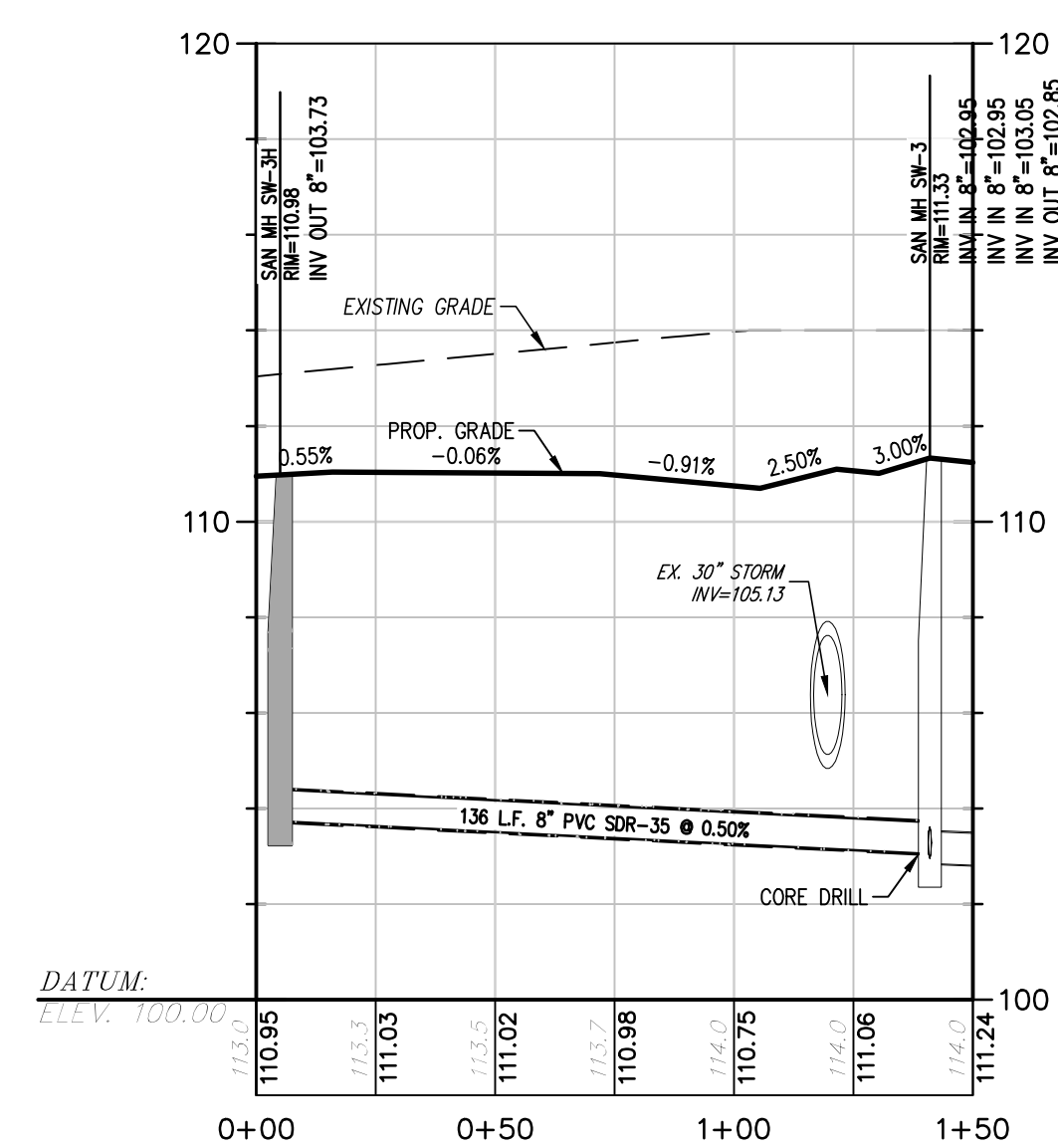
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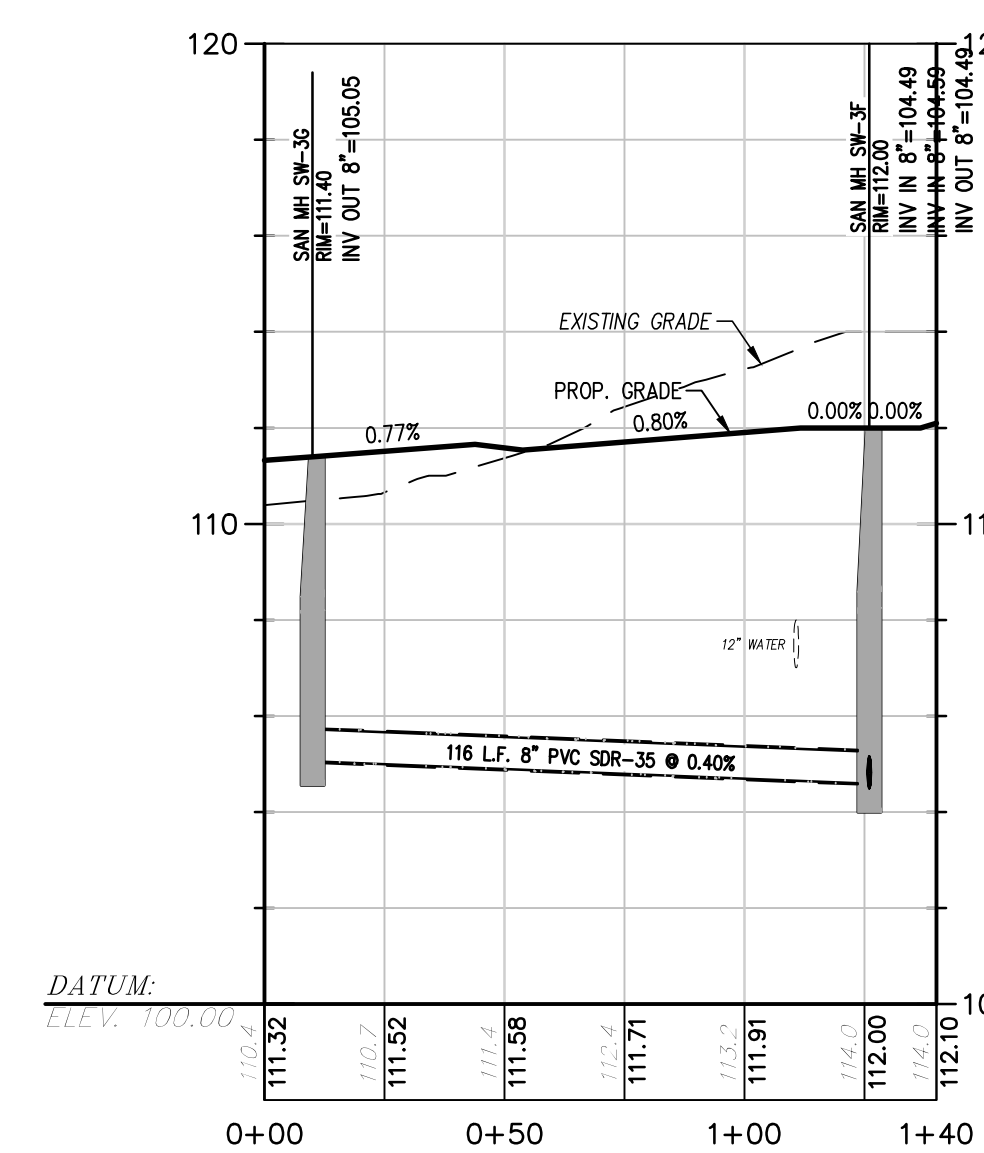
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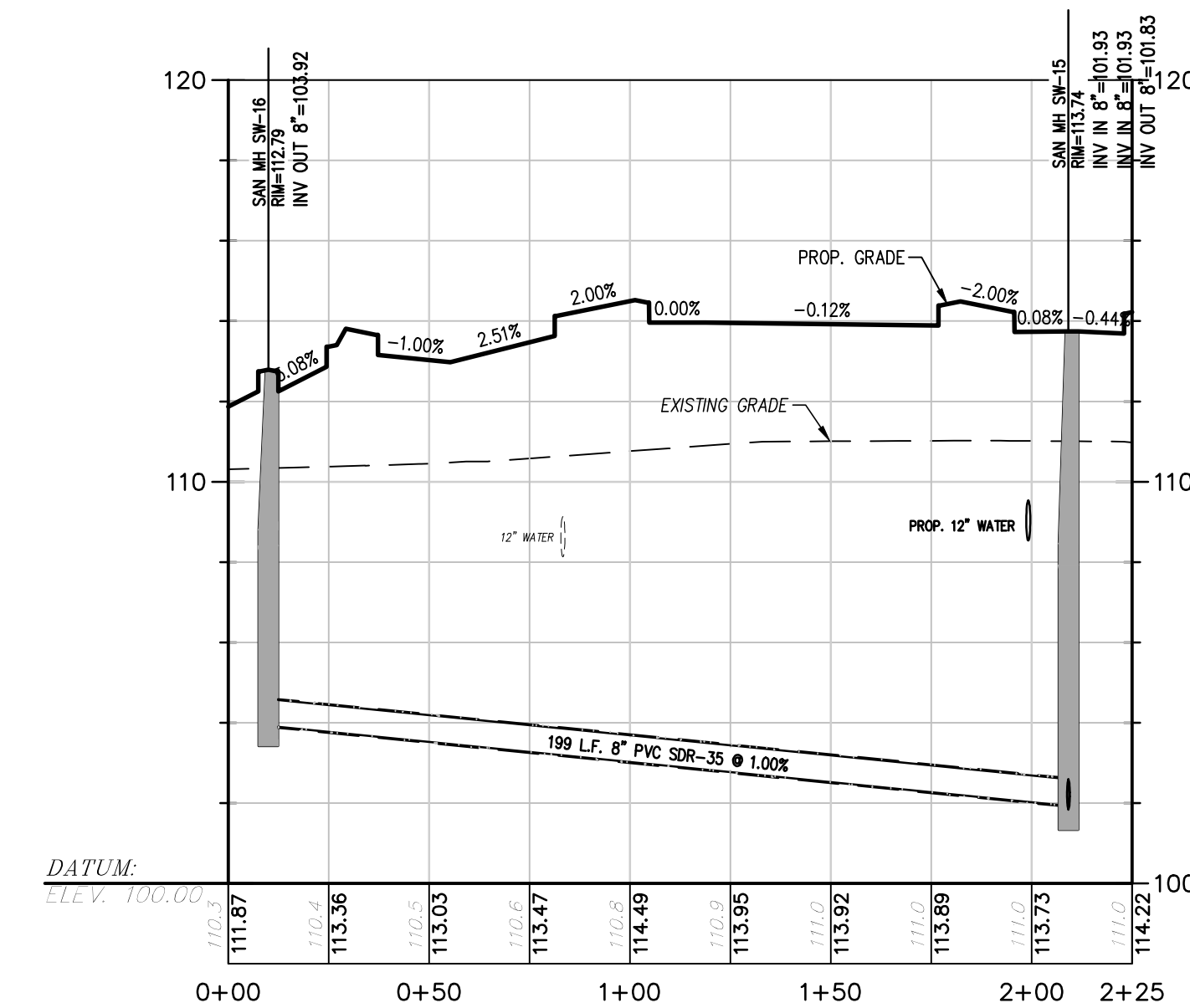
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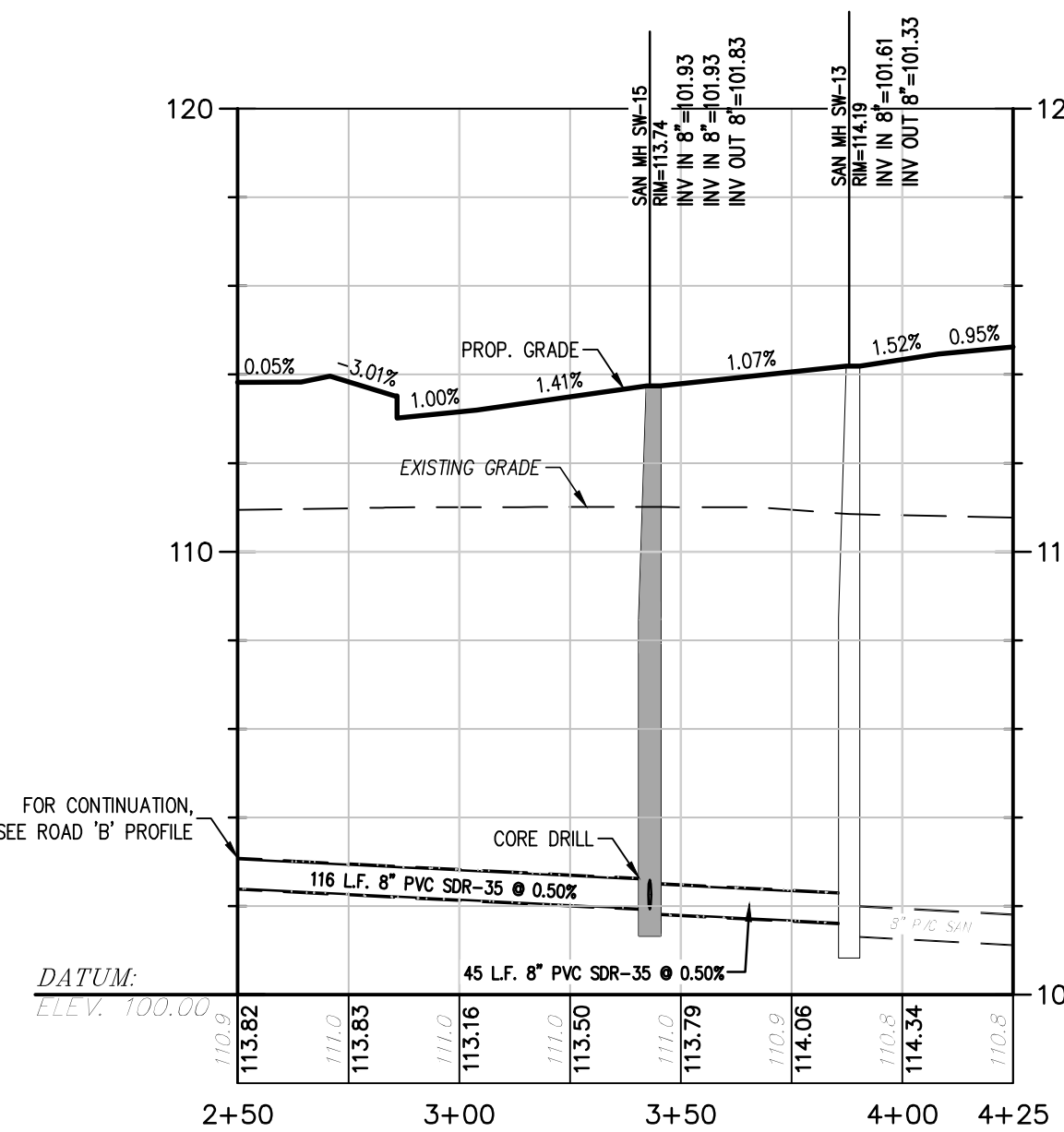
SANITARY-1 PROFILE



SANITARY-2 PROFILE



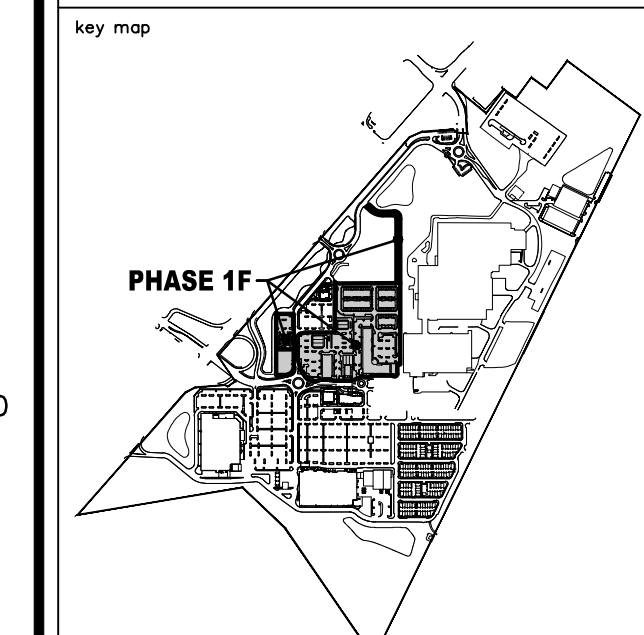
SANITARY-3 PROFILE



SANITARY-4 PROFILE

revisions		
no.	date	description

- EXISTING LEGEND**
- ⊘ GAS VALVE
 - ⊘ GAS METER
 - ⊘ WATER VALVE
 - ⊘ HYDRANT
 - ⊘ WATER METER
 - ⊘ CURB STOP
 - ⊘ FIRE DEPT. CONNECTION
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 - ⊘ MAIL BOX
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 - ⊘ ELECTRIC MH
 - ⊘ CONIFEROUS TREE
 - ⊘ DECIDUOUS TREE
 - X — FENCE
 - RAILING
 - WALL
 - ⊘ GATE POST
 - W — WATER LINE
 - G — GAS LINE
 - E — ELECTRIC LINE
 - S — SANITARY LINE
 - OH — OVERHEAD WIRES
- PROPOSED LEGEND**
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 - ⊘ STORM MANHOLE
 - ⊘ STORM 'B' INLET
 - ⊘ STORM 'E' INLET
 - ⊘ STORM LAWN INLET
 - STORM PIPE
 - ⊘ SANITARY MANHOLE
 - SANITARY PIPE
 - W — WATER LINE
 - ⊘ WATER VALVE
 - ⊘ FIRE HYDRANT
 - ⊘ F.D.C.
 - ⊘ STREET SIGN



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State of New Jersey
Certificate of Authorization
Number: 24042798200
21MH00004300

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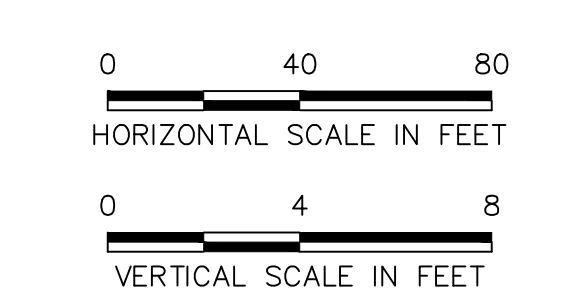
PROJECT
AMENDED PRELIMINARY AND FINAL SITE PLAN PHASE 1F
BLOCK 141
LOTS 31,02,36,01,38,39,40,44,01,45,01,47,48,48,01,49,50,01,50,02,50,03,51,52,53,54,55,56,57,01,58,59,60,63,01,123
NORTH BRUNSWICK TOWNSHIP
MIDDLESEX COUNTY, NEW JERSEY

drawing title	
STORM AND SANITARY PROFILES	
job number 21-042	drawing number 19
scope AS SHOWN	checked by FMA/AEC
drawn by A.A.	date 03/09/22
sheet 19 of 29	

PROTECT YOURSELF
A PHONE CALL CAN BE YOUR INSURANCE POLICY

STOP - CALL BEFORE YOU DIG!
1-800-322-1000
MISSED CALLS CAN BE DANGEROUS

THE STATE OF NEW JERSEY REQUIRES NOTICE OF PREPARATION DESIGN OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE



**FREEHOLD SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL NOTES**

1. THE FREEHOLD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
2. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
3. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
4. N.J.S.A. 4:24-39 ET. SEED. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED UNTIL THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY AND A REPORT OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS, PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVING BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK.
5. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO THE STANDARD FOR STABILIZATION WITH MULCH ONLY.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. SOIL STOCKPILES, STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS.
7. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS, IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
8. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE, AFTER INTERIOR ROADWAYS ARE PAVED. INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ACCESS CONSISTING OF ONE INCH TO TWO INCH (1" - 2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.
9. ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAY WILL BE REMOVED IMMEDIATELY.
10. PERMANENT VEGETATION IS TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.
11. AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS; NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
12. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING ROUGH SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS/ACRE, OR 450 LBS/1,000 SQ FT OF SURFACE AREA AND COVERED WITH A MINIMUM OF 12" OF SETTLED SOIL WITH A PH OF 5 OR MORE, OR 24" WHERE TREES OR SHRUBS ARE TO BE PLANTED.
13. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
14. UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHOD USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING.
15. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.
16. STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION FOR SOIL EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THESE ACTIVITIES, IF AN AREA GREATER THAN 5,000 SQUARE FEET IS DISTURBED.
17. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6.
18. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

AREAS TO BE SCARIFIED/TILLED:

PURSUANT TO NJ SOIL EROSION AND SEDIMENT CONTROL STANDARD FOR LAND GRADING (CHAPTER 19), THE FOLLOWING ON-SITE AREAS SHALL BE SCARIFIED/TILLED TO A MINIMUM DEPTH OF 6":

- DISTURBED AREAS OF SITE WITH CONTIGUOUS AREA > 500 SF.
- AREAS THAT WILL NOT BE IMPERVIOUS.
- PEROUS AREA 20' OUTSIDE BUILDING WITH BASEMENT OR 12' OUTSIDE BUILDING ON SLAB.

NOTE: SCARIFICATION/TILLAGE IS NOT REQUIRED IN AREAS WITH SHALLOW BEDROCK CONDITIONS OR WHERE THERE IS A DANGER TO UNDERGROUND UTILITIES.

FOR ADDITIONAL REQUIREMENTS REGARDING SOIL COMPACTION AND TESTING, SEE SOIL COMPACTION NOTES AND SOIL DE-COMPACTION AND TESTING REQUIREMENTS.

SOIL COMPACTION NOTES:

1. TO ENSURE SUBGRADE SOILS ARE FREE OF EXCESSIVE COMPACTION, DEEP SCARIFICATION/TILLAGE (MINIMUM DEPTH 6", MAXIMUM 12") SHALL BE PERFORMED BY THE CONTRACTOR PRIOR TO THE APPLICATION OF TOPSOIL AND PERMANENT SEEDING. THE AREAS OF THE SITE SUBJECT TO THIS SCARIFICATION ARE NOTED ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN. NOTE THAT SCARIFICATION IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.)
2. IF THE CONTRACTOR, WITH CONSENT OF THE OWNER, ELECTS TO PERFORM SCARIFICATION OF THE SITE, THEN THE CONTRACTOR SHALL, AT HIS EXPENSE, PERFORM SOIL COMPACTION TESTING IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY. SEE CHAPTER 19 STANDARD OF LAND GRADING, IN THE ABOVE-REFERENCED MANUAL, FOR ACCEPTABLE METHODS OF TESTING AND THEIR SPECIFIC REQUIREMENTS. TWO TESTS PER ACRE MUST BE PERFORMED ON-SITE, WITH A MINIMUM OF TWO TESTS MUST BE PERFORMED FOR EVERY PROJECT.
3. IF TESTING INDICATES EXCESSIVE COMPACTION, THEN THE CONTRACTOR/OWNER SHALL EITHER PERFORM COMPACTION MITIGATION, IN ACCORDANCE WITH NJ SESC STANDARDS, OVER THE ENTIRE DISTURBED AREA (EXCLUDING EXEMPT AREAS), OR TO PERFORM ADDITIONAL TESTING TO ESTABLISH THE LIMITS OF THE EXCESSIVELY COMPACTED AREAS WHICH WOULD REQUIRE THE MITIGATION.
4. THE CONTRACTOR SHALL SUBMIT A SOIL COMPACTION MITIGATION VERIFICATION FORM TO THE DISTRICT AND COMPLY WITH ALL DISTRICT REQUIREMENTS REGARDING COMPACTION MITIGATION AND TESTING.
5. FOR COMPACTION IN STORMWATER MANAGEMENT FACILITIES, SEE BASIN COMPACTION NOTES.

STANDARD FOR STABILIZATION WITH MULCH ONLY

- METHODS AND MATERIALS**
1. SITE PREPARATION: FOLLOW REQUIREMENTS FOR PERMANENT VEGETATIVE COVER.
 2. PROTECTIVE MATERIALS:
 - A. UNROTTED SMALL-GRAIN STRAW AT 2.0 TO 2.5 TONS PER ACRE IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SQ. FEET AND ANCHORED WITH A MULCH ANCHORING TOOL. LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT. THE APPROVED RATES ABOVE HAVE BEEN TESTED WHEN THE MULCH COVERS THE
 - B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
 - C. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER.
 - D. MULCH NETTING, SUCH AS PAPER, JUTE, EXCELORON, COTTON, OR PLASTIC MAY BE USED.
 - E. WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED. WOODCHIPS WILL NOT BE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT.
 - F. GRAVEL, CRUSHED STONE, OR SLAG AT THE RATE OF 9 CU. YDS. PER 1,000 SQ. FT. APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3 INCHES MAY BE USED. SIZE 2 OR 3 (ASTM C-33) IS RECOMMENDED.
 3. MULCH ANCHORING SHALL BE ACCOMPLISHED AS DIRECTED FOR PERMANENT STABILIZATION.

Permanent Seeding Table

SEED MIXTURE	PLANTING RATE	PLANTING DATES		PLANTING DATES		REMARKS
		Zone 5(a)	Zone 5(b)	Zone 6(a)	Zone 6(b)	
1. Turf-Type Tall Fescue (Seed of 3 seed cultures)	350	A	A	A	A	Use in a mowed filter strip for wetland upland.
2. Darnleygrass	30	A	A	A	A	Native wet mix.
3. Wild Rye (Dymus)	15	B	B	B	B	
4. Setchellgrass	25	A	A	A	A	

1. Seeding rates specified are required when a report of compliance is requested prior to actual establishment of permanent vegetation. Up to 50% reduction in rates may be used when permanent vegetation is established prior to a report of compliance inspection. These rates apply to all methods of seeding. Establishing permanent vegetation means 80% vegetative coverage of the seeded area and mowed once. Grass seed mixtures checked by the State Seed Analyst, New Jersey Department of Agriculture, Trenton, New Jersey, will assure the purchaser that the mixture obtained is the mixture ordered, pursuant to the N.J. State Seed Law, N.J.S.A. 4:4-11.13 et. seq.
2. Maintenance Level:
 - A. Intensive mowing (2-4 days), fertilization, lime, pest control and irrigation (Examples-high maintenance towns, commercial and recreation areas, public facilities).
 - B. Frequent mowing (4-7 days), occasional fertilization, lime and weed control (Examples-home lawns, commercial sites, school sites).
 - C. Periodic mowing (7-14 days), occasional fertilization and lime (Examples-home lawns, parks).
 - D. Intercut or no mowing, fertilization and lime the first year of establishment (Examples-roadsides, recreation areas, public open spaces).
3. Project is in Plant Hardness Zone 6b.

STANDARD FOR PERMANENT AND TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

1. SITE PREPARATION:
 - A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDING PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.
 - B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.
 - C. TOPSOIL SHALL BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
 - D. INSTALL NEEDED EROSION CONTROL PRACTICES FOR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS IN ACCORDANCE WITH STATE STANDARDS.
2. SEEDING PREPARATION:
 - A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND PRIMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 (PERMANENT) AND 10-20-10 (TEMPORARY) OR EQUIVALENT WITH SOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDING PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING.
 - B. WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDING IS PREPARED. HIGH ACID PRODUCING SOIL.
 - C. SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE INITIATING SEEDING PREPARATION, IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS.
3. SEEDING:
 - A. PERMANENT SEEDING: USE MIXTURE SHOWN IN THE PERMANENT SEEDING TABLE OR USE MIXTURE RECOMMENDED BY RUTGERS CO-OPERATIVE EXTENSION OR NATURAL RESOURCES CONSERVATION SERVICE WHICH IS APPROVED BY THE SOIL CONSERVATION DISTRICT. SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RETESTED.
 - B. SEEDING RATES SPECIFIED ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO A REPORT OF COMPLIANCE INSPECTION. THESE RATES APPLY TO ALL METHODS OF SEEDING, ESTABLISHING PERMANENT VEGETATION MEANS MOWED VEGETATIVE COVER OR MULCH. SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDING PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE TEXTURED SOIL.
 - C. AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, REDUCE CRUSTING AND IMPROVE SEEDING EFFICIENCY. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.
 - D. HYDROSEEDING IS A BROADCAST SEEDING METHOD INVOLVING A TRUCK OR TRAILER MOUNTED TANK WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT FREEED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION 4 MULCHING BELOW). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. WHEN POOR SEED TO SOIL CONTACT OCCURS, THERE IS REDUCED SEED GERMINATION AND GROWTH.

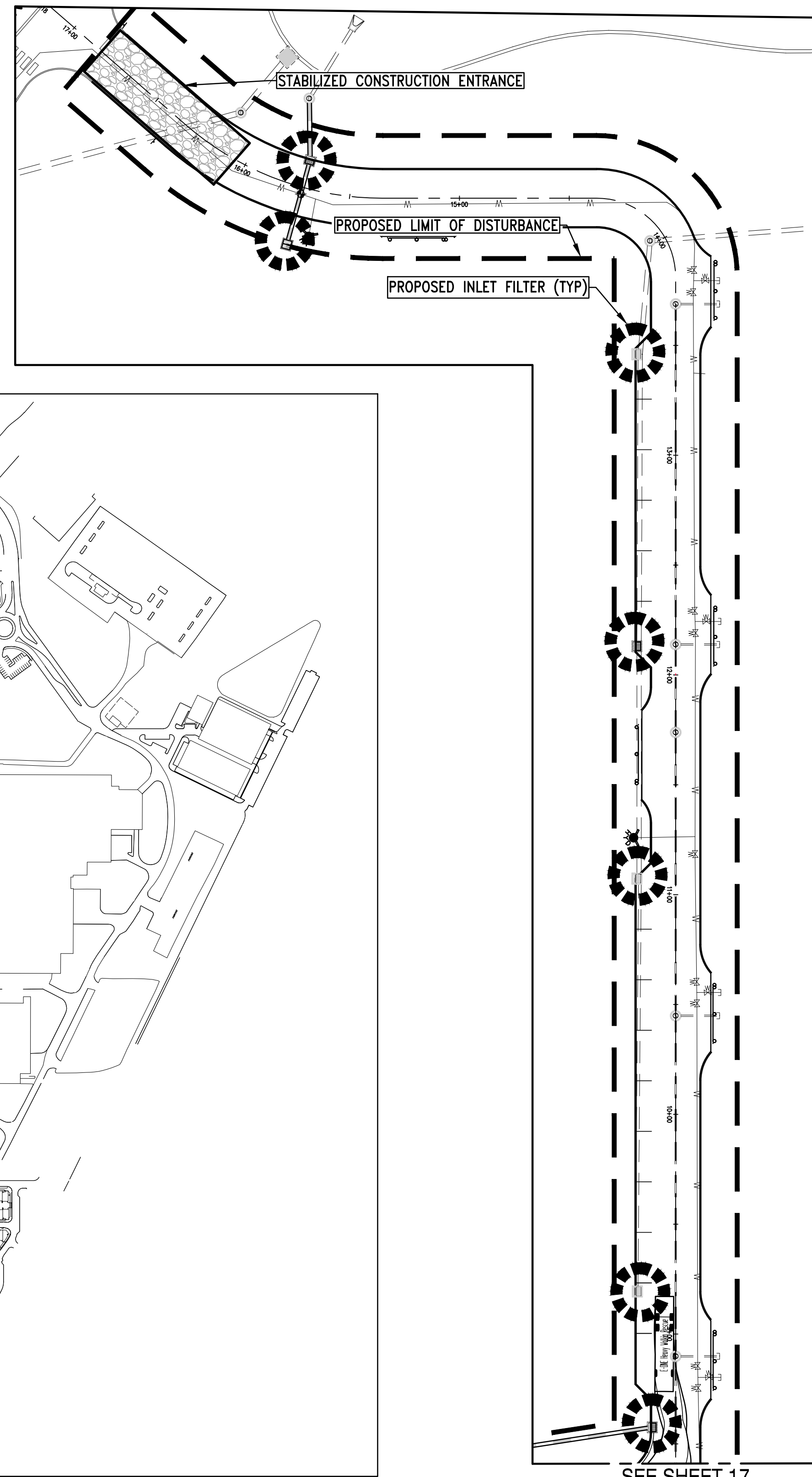
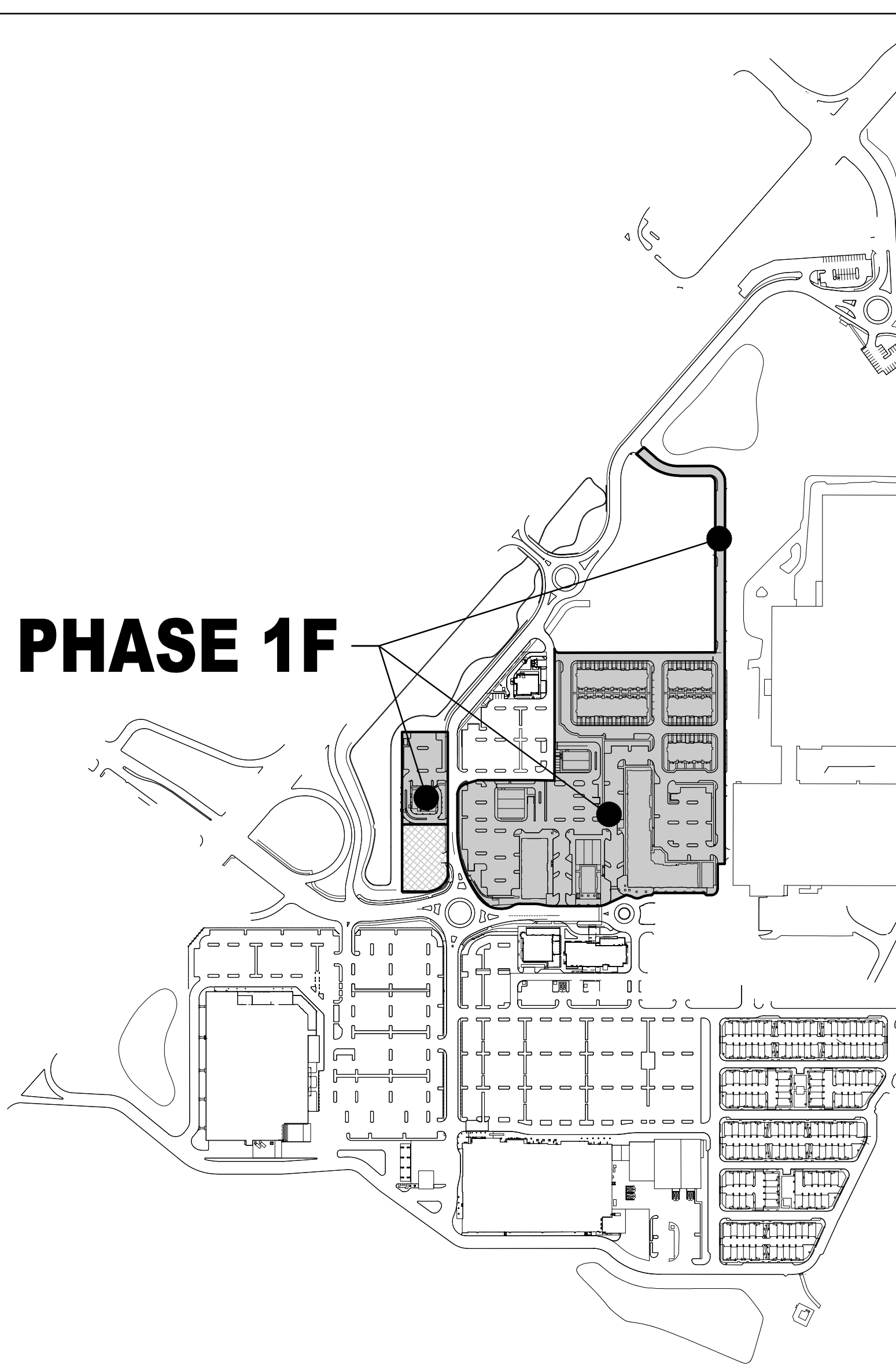
4. MULCHING:
 - A. STRAW OR HAY, UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET) EXCEPT THAT WHERE A CRUMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CRUMPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MUST BE UNIFORMLY APPLIED FOR ESTABLISHING FINE TURF OR LAWN DUE TO THE PRESENCE OF WEED SEED.
 - B. APPLICATION: SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT AT LEAST 80% OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE TO 30 POUNDS WITHIN EACH SECTION. ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPE, AND COSTS:
 1. PEG AND TWINE: DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CROSSROSS AND SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
 2. MULCH NETTINGS: STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
 3. CRUMPER (MULCH ANCHORING TOOL): A TRACTOR-DRAWN IMPLEMENT, SOMETHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.
 4. LIQUID MULCH BINDERS: MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCH.
 - C. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.
 - D. USE ONE OF THE FOLLOWING:
 - (1) ORGANIC AND VEGETABLE BASED BINDERS: NATURALLY OCCURRING, POWDER BASED HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETATIVE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOXIC EFFECT OR INHIBIT GROWTH OF TURFGRASSES. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RETESTED.
 - (2) SYNTHETIC BINDERS: HIGH POLYMER SYNTHETIC EMULSION, INSOLUBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

- B. WOOD-FIBER OR PAPER -FIBER MULCH SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. MULCH SHALL NOT BE MOVED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.
- C. PELLETED MULCH, COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN COPOLYMERS, TACKIFIERS, FERTILIZERS AND COLORING AGENTS, THE DRY PELLETS, WHEN APPLIED TO A SEEDBED AREA AND WATERED, FORM A MULCH MAT. PELLETED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 100-175/1,000 SQ. FT. AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN RENOVATION AREAS, SEEDED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED OR ON SITES WHERE STRAW MULCH AND TACKIFIER AGENT ARE NOT PRACTICAL OR DESIRABLE. APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETED MULCH ON THE SEEDBED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

6. TOP DRESSING:
 - A. SINCE SOIL ORGANIC MATTER CONTENT AND SLOW RELEASE NITROGEN FERTILIZER (WATER INSOLUBLE) ARE PRESCRIBED IN SECTION 2A - SEEDING PREPARATION IN THIS STANDARD, NO FOLLOW-UP OF TOPDRESSING IS MANDATORY. AN EXCEPTION MAY BE MADE WHERE GROSS NITROGEN DEFICIENCY EXISTS IN THE SOIL TO THE EXTENT THAT TURF FAILURE MAY DEVELOP. IN THAT INSTANCE, TOPDRESSES WITH 10-10-10 OR EQUIVALENT AT 300 POUNDS PER ACRE OR 7 POUNDS PER 1,000 SQUARE FEET EVERY 3 TO 5 WEEKS UNTIL THE GROSS NITROGEN DEFICIENCY IN THE TURF IS AMELIORATED.
7. ESTABLISHING PERMANENT VEGETATIVE STABILIZATION:
 - A. THE QUALITY OF PERMANENT VEGETATION RESTS WITH THE CONTRACTOR. THE TIMING OF SEEDING, PREPARING THE SEEDBED, APPLYING NUTRIENTS, MULCH AND OTHER MANAGEMENT ARE ESSENTIAL. THE SEED APPLICATION RATES IN THE PERMANENT SEEDING TABLE ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN APPLICATION RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO REQUESTING A REPORT OF COMPLIANCE FROM THE DISTRICT. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS MOWED VEGETATIVE COVER (OR THE SEEDER SPECIES) AND ONLY ONCE. NOTE: THIS RESEEDING OF MOWED ONES DOES NOT GUARANTEE THE PERMANENCY OF THE TURF SHOULD OTHER MAINTENANCE FACTORS BE NEGLECTED OR OTHERWISE MISMANAGED.

PHASE 1F



SEE SHEET 17

revisions		
no.	date	description

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DUST CONTROL NOTES

THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:

MULCHES - SEE STANDARD FOR STABILIZATION WITH MULCHES ONLY (PG. 5-1).

VEGETATIVE COVER - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER (PG. 7-1), PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION (PG. 4-1), AND PERMANENT STABILIZATION WITH SOD (PG. 6-1).

SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS), KEEP TRAFFIC OFF THESE AREAS.

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12:5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY DN		APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD (PG. 26-1)	
POLYACRYLAMIDE (PAM) - DRY SPRAY		APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD (PG. 26-1)	
ACIULATED SDY BEAN SDAP STICK	NONE	COARSE SPRAY	1200

TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE, THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGUN FLOWING ON WINDWARD SIDE OF SITE. CHISEL TYPE PLOWS SPACES ABOUT 12 INCHES APART, AND SPRING-TOOTH HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

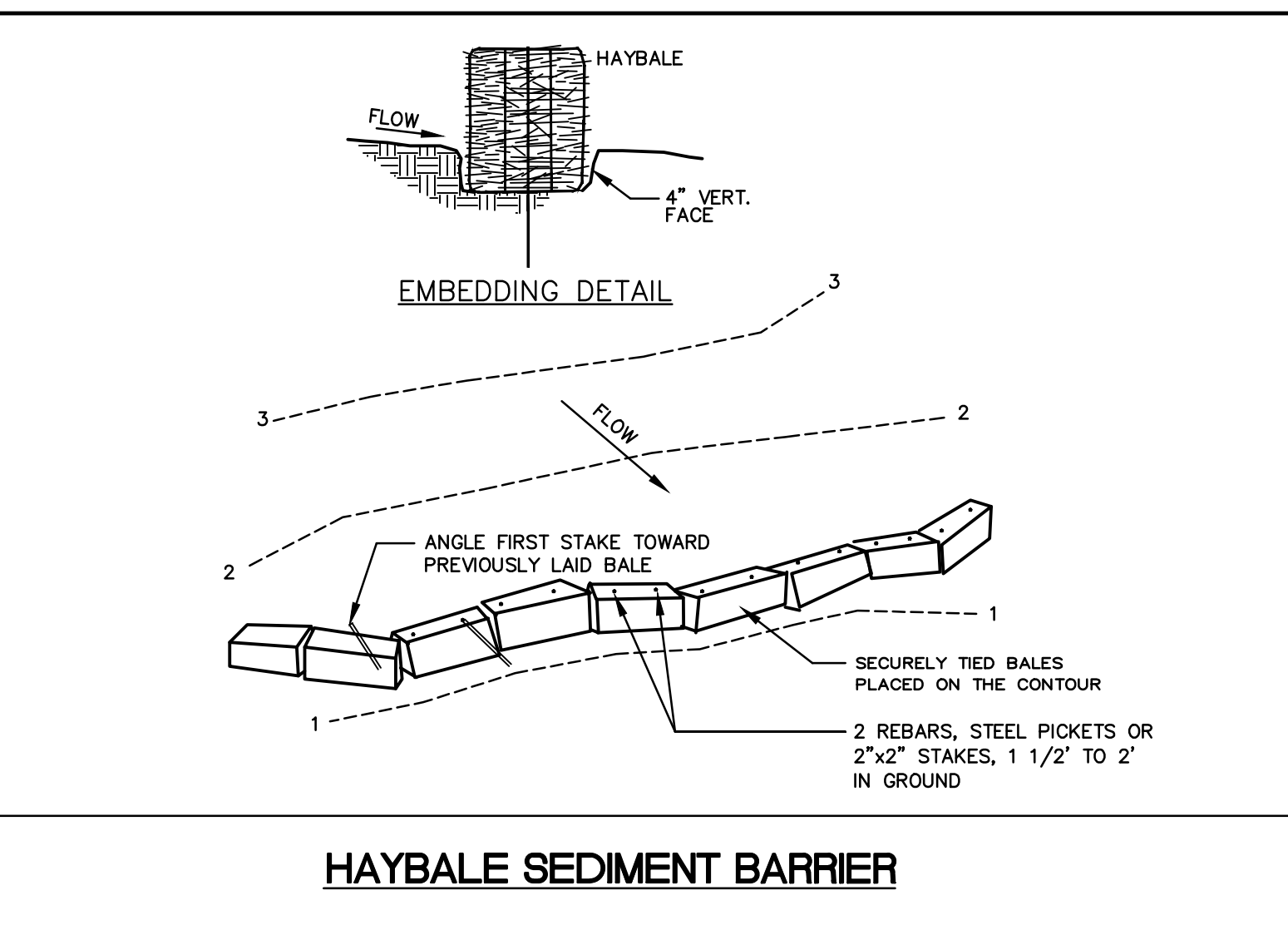
SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

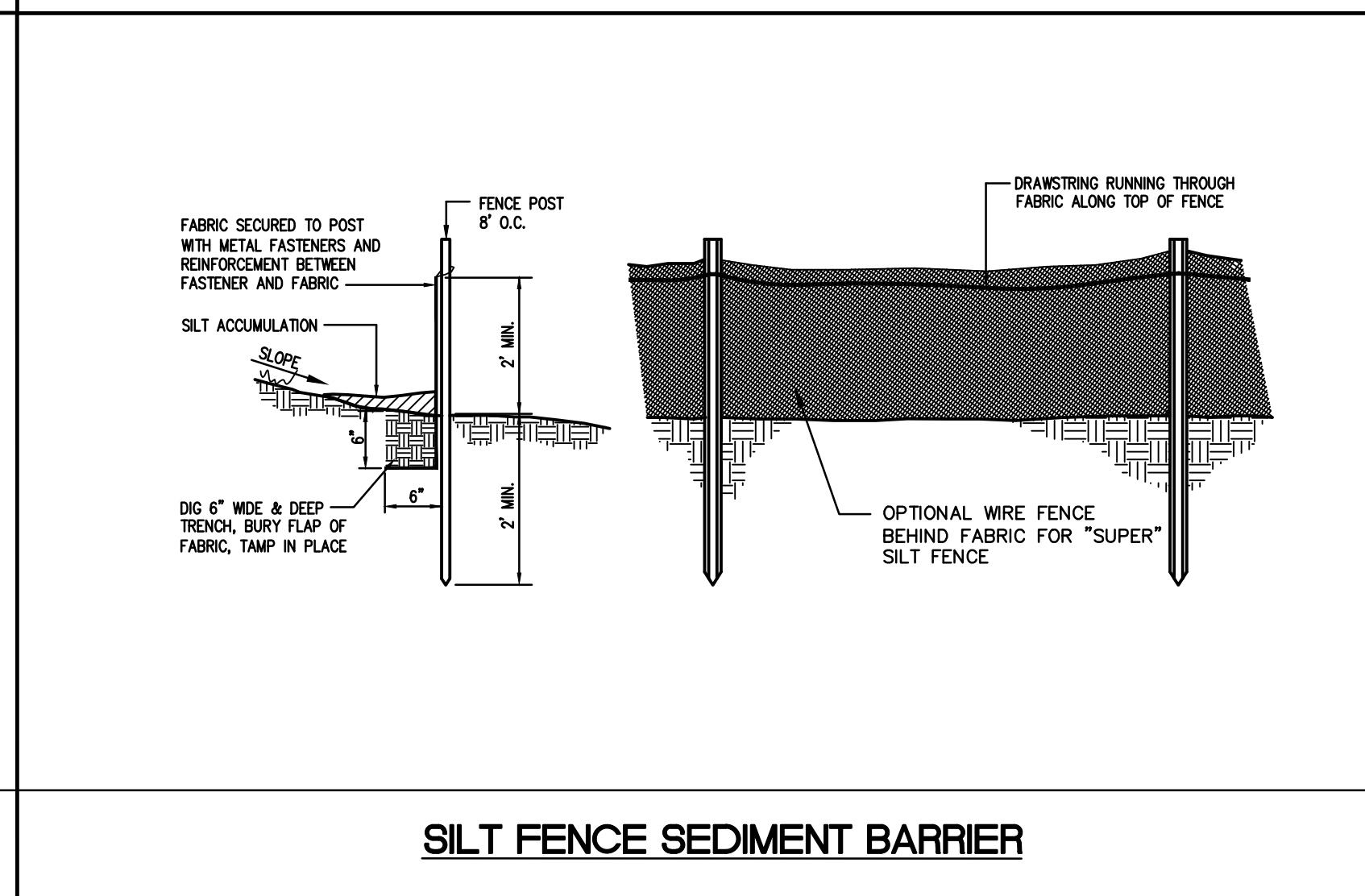
CALCIUM CHLORIDE - SHALL BE USED IN THE FORM OF LOOSE, DRY GRANULATES OF FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACCUMULATION AROUND PLANTINGS.

STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

STABILIZED CONSTRUCTION ACCESS



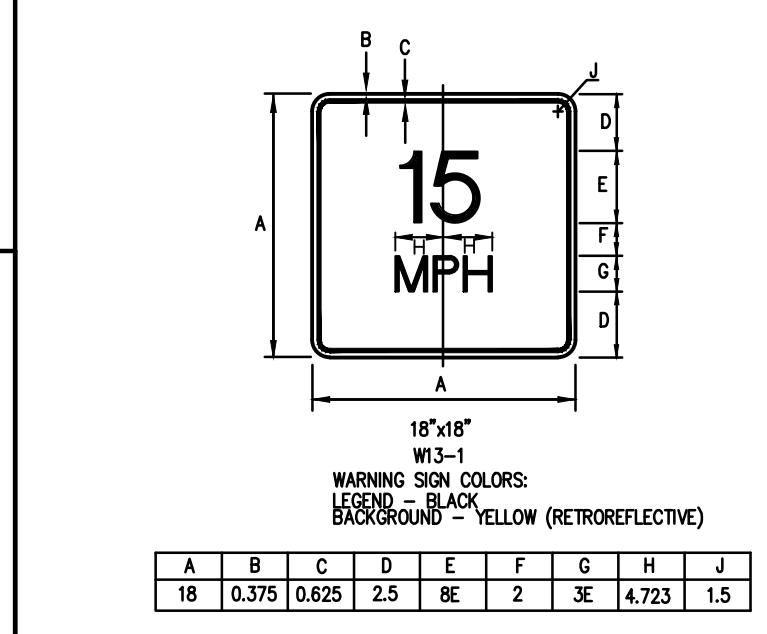
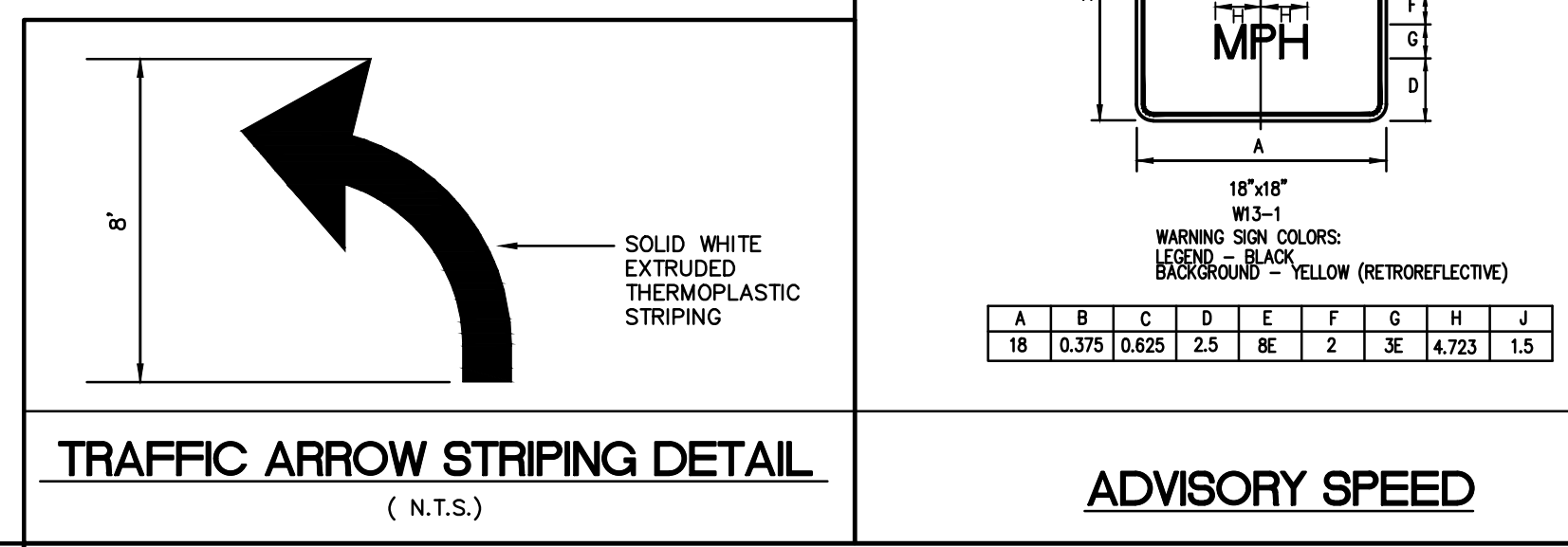
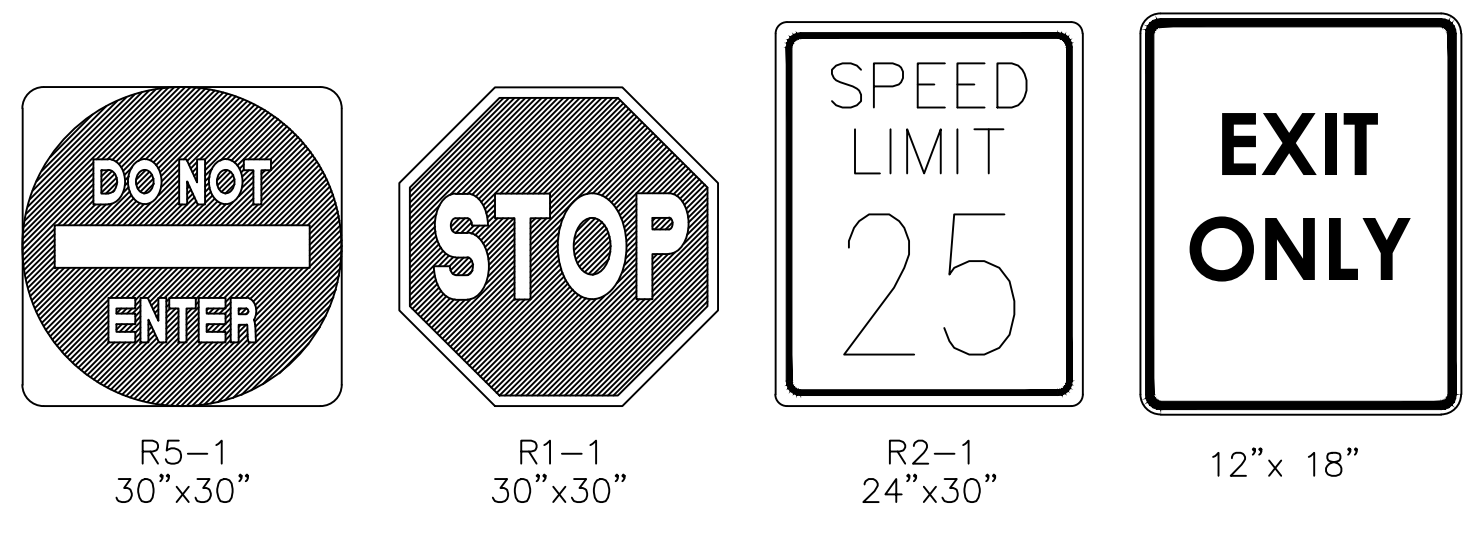
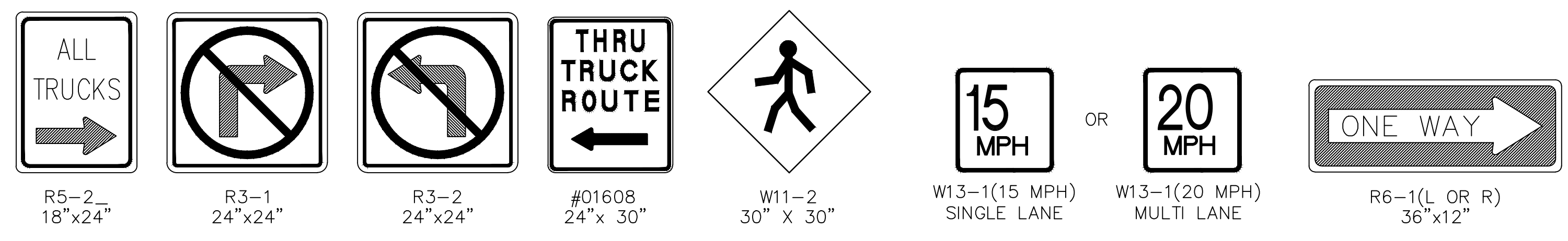
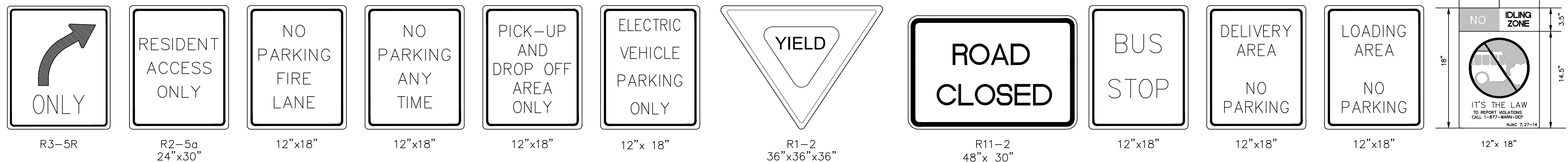
INLET FILTERS



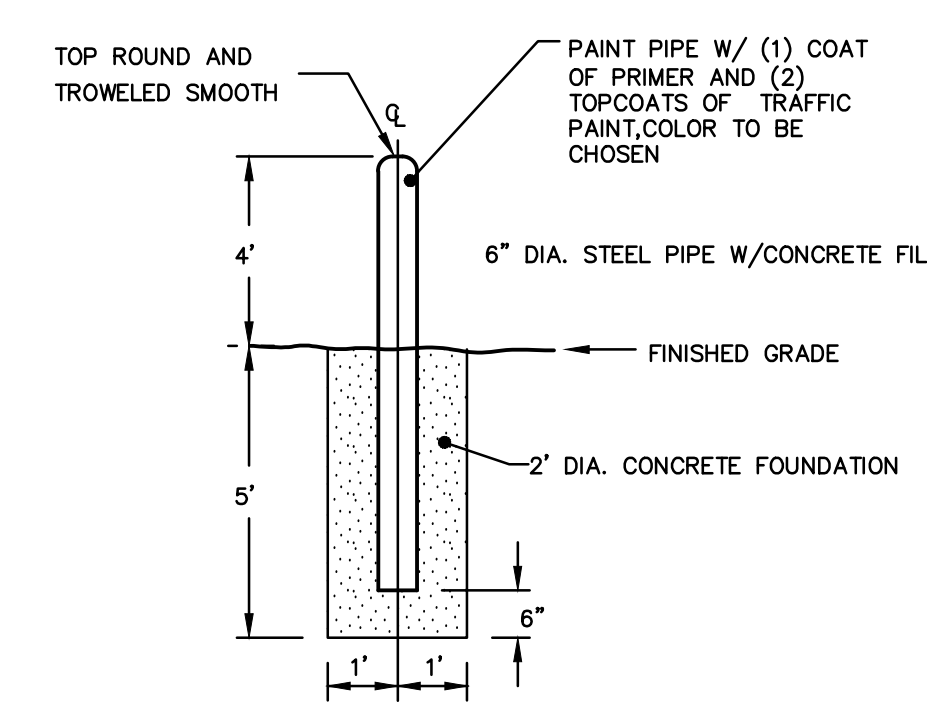
project: **AMENDED PRELIMINARY AND FINAL SITE PLAN PHASE 1F**
 BLOCK 141
 LOTS 31.02,36.01,38,39,40,44.01,45.01,47,48,48.01,49,50.01,50.02,50.03,51.52,53,54,55,56,57.01,58,59,60,63.01,123
 NORTH BRUNSWICK TOWNSHIP, MIDDLESEX COUNTY, NEW JERSEY

drawing title: **SOIL EROSION AND SEDIMENT CONTROL DETAILS**

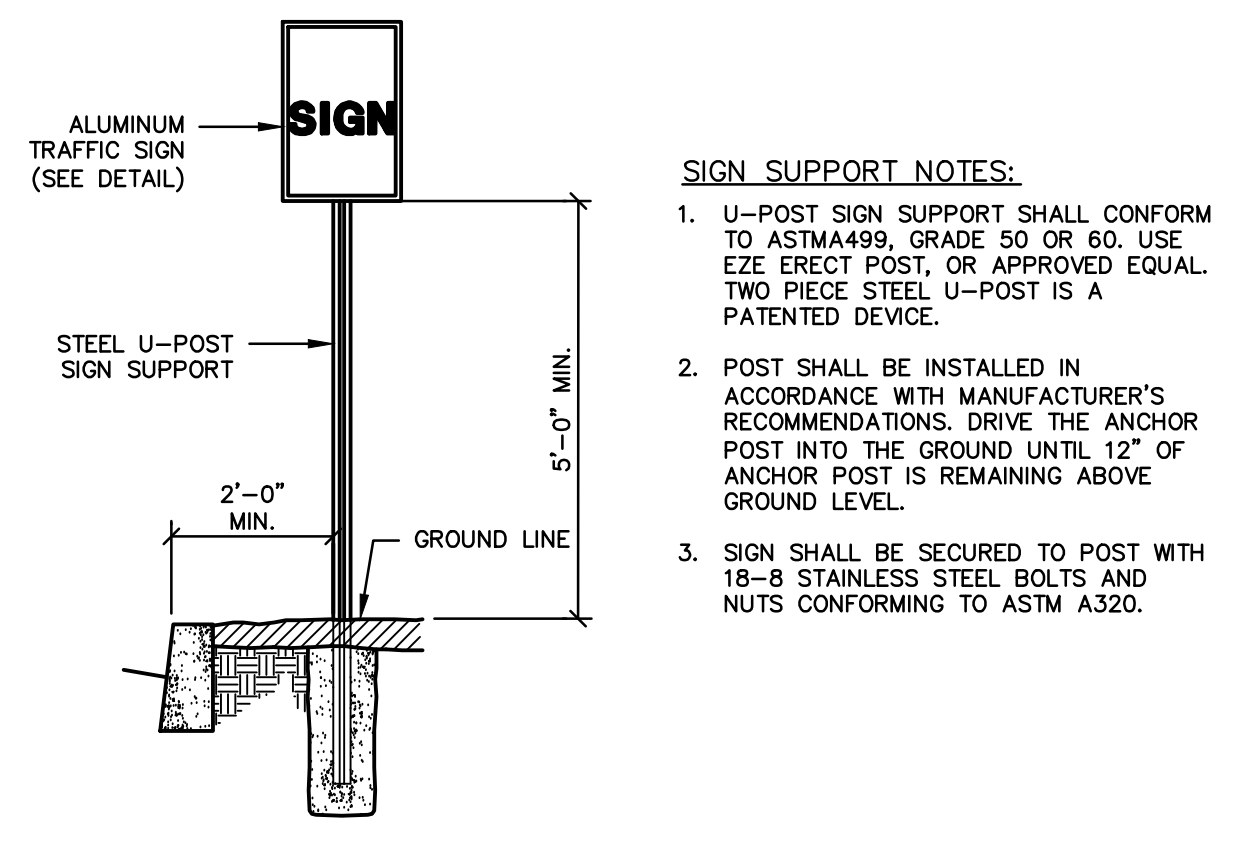
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drawn by	AR		
date	03/09/22	sheet	20 of 29



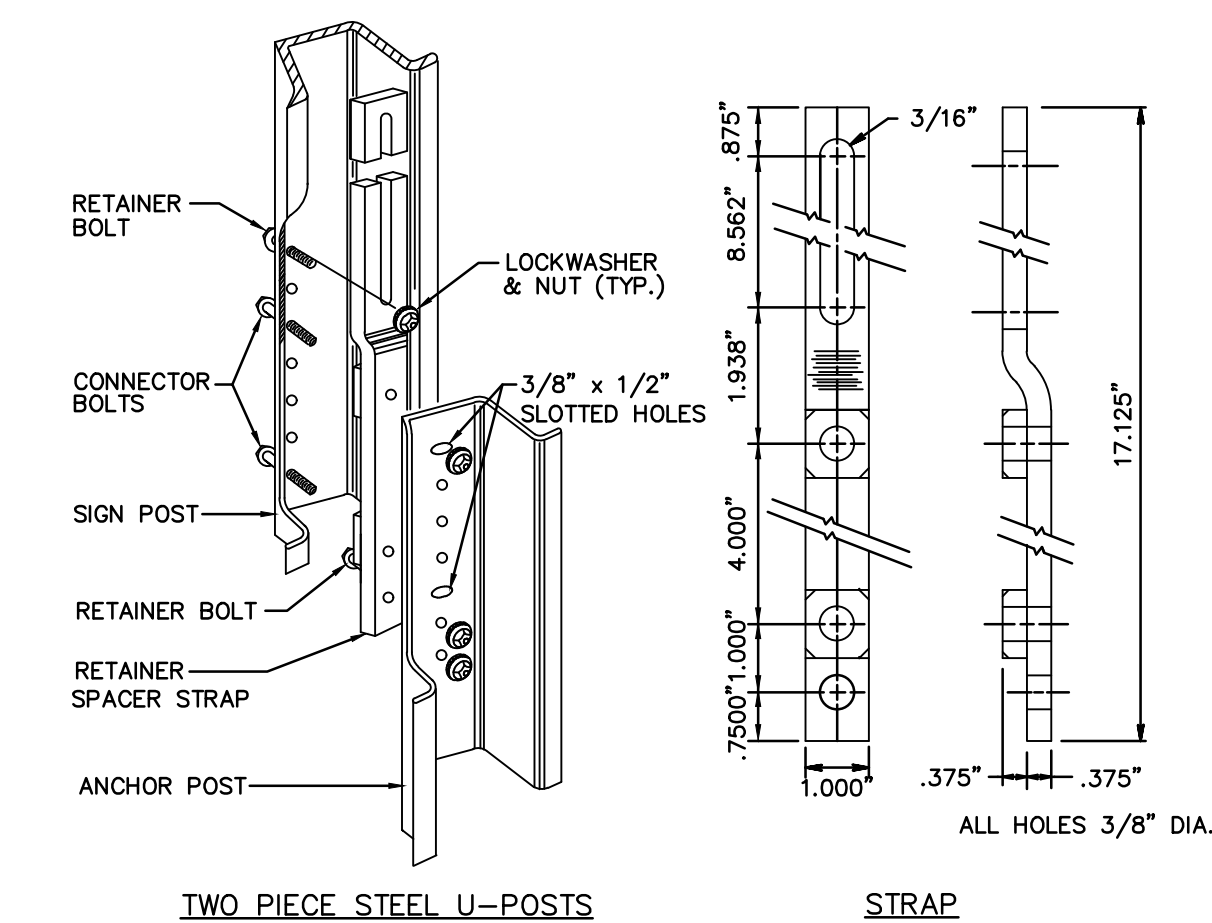
NOTE: TO BE INSTALLED AS DIRECTED BY SITE SUPERVISOR ON A BUILDING BY BUILDING BASIS



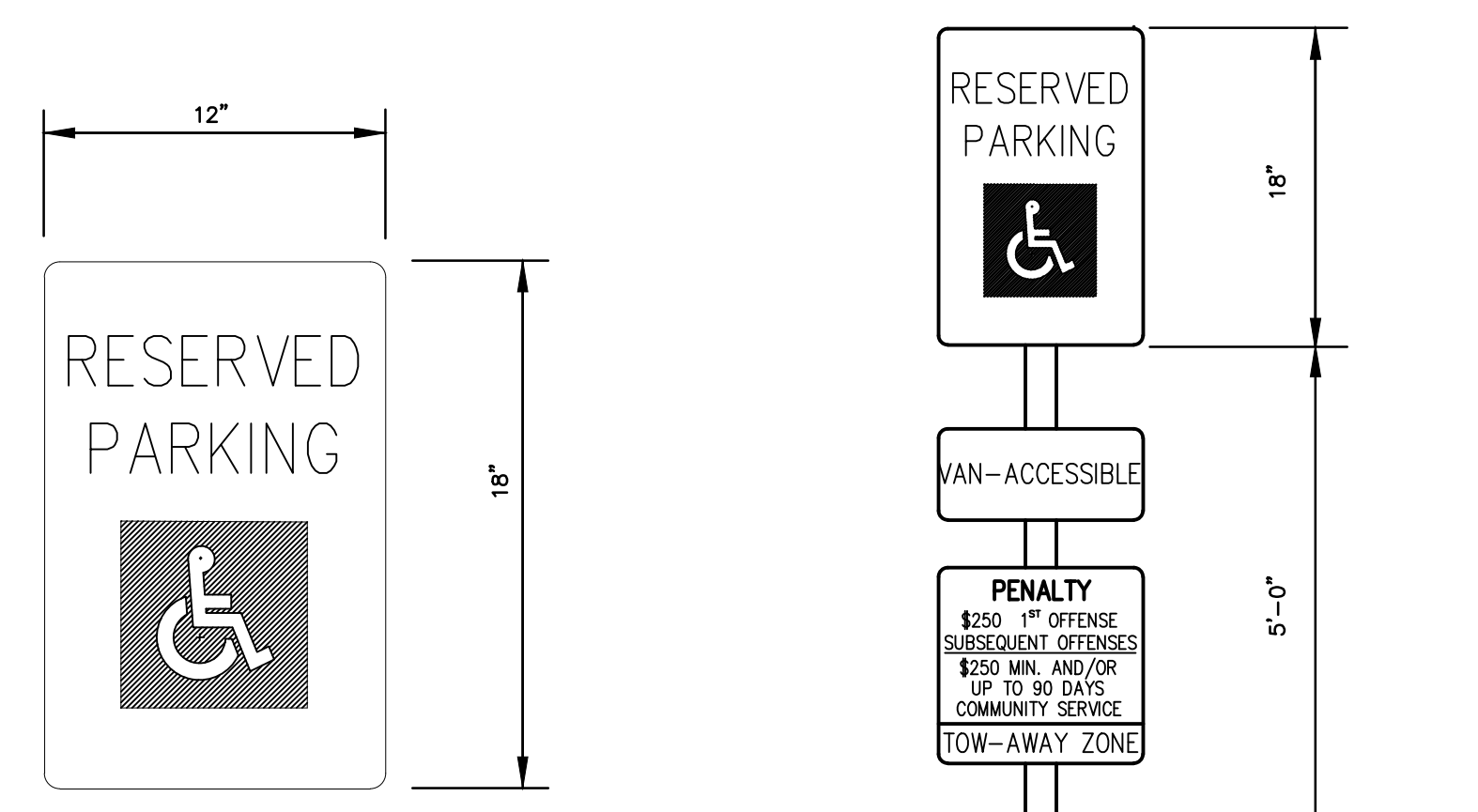
PIPE BOLLARD DETAIL
N.T.S.



TRAFFIC SIGN SUPPORT



GENERAL NOTES:
 1. DRIVE THE ANCHOR POST INTO THE GROUND (UTILIZING A DRIVE CAP) UNTIL 10-12" OF ANCHOR POST IS REMAINING ABOVE GROUND LEVEL.
 2. ALIGN THE CONNECTION HOLE CLOSEST TO THE LONG SLOT IN THE RETAINER SPACER STRAP WITH THE TOP HOLE IN THE ANCHOR POST. THE STRAP IS THEN ATTACHED BY MAKING A BOLTED CONNECTION THROUGH THE BOTTOM HOLE IN THE STRAP AND THE HOLE IT ALIGNS WITH IN THE ANCHOR POST.
 3. ROTATE THE STRAP 90 DEGREES TO THE LEFT AND DRIVE THE ANCHOR POST INTO THE GROUND UNTIL ONLY 4" REMAINS ABOVE GROUND LEVEL. THIS 4" MUST BE ADHERED TO FOR SAFETY REASONS TO ENHANCE THE BREAKAWAY FEATURES OF THE SIGN IN ACCORDANCE WITH CURRENT FEDERAL AND STATE SAFETY STANDARDS. EXCAVATE AS REQUIRED TO TIGHTEN BOLTS.
 4. ROTATE THE STRAP BACK TO VERTICAL POSITION.
 5. PLACE THE SIGN POST AGAINST THE ANCHOR POST AND THE STRAP. ALIGN THE BOTTOM HOLE IN THE SIGN POST WITH THE CONNECTION HOLE IN THE LOWER END OF THE STRAP. INSERT TWO (2) CONNECTOR BOLTS THROUGH THE COMMON HOLES IN THE SIGN POST, STRAP AND ANCHOR POST.
 6. COMPLETE THE CONSTRUCTION BY ATTACHING THE STRAP TO THE SIGN POST WITH A BOLT AND NUT. THIS CONNECTION SHALL BE MADE AT THE BOTTOM OF THE LONG SLOT IN THE STRAP.
 7. TWO PIECE STEEL U-POST IS A PATENTED DEVICE. THE PATENT NO. IS 4126403.



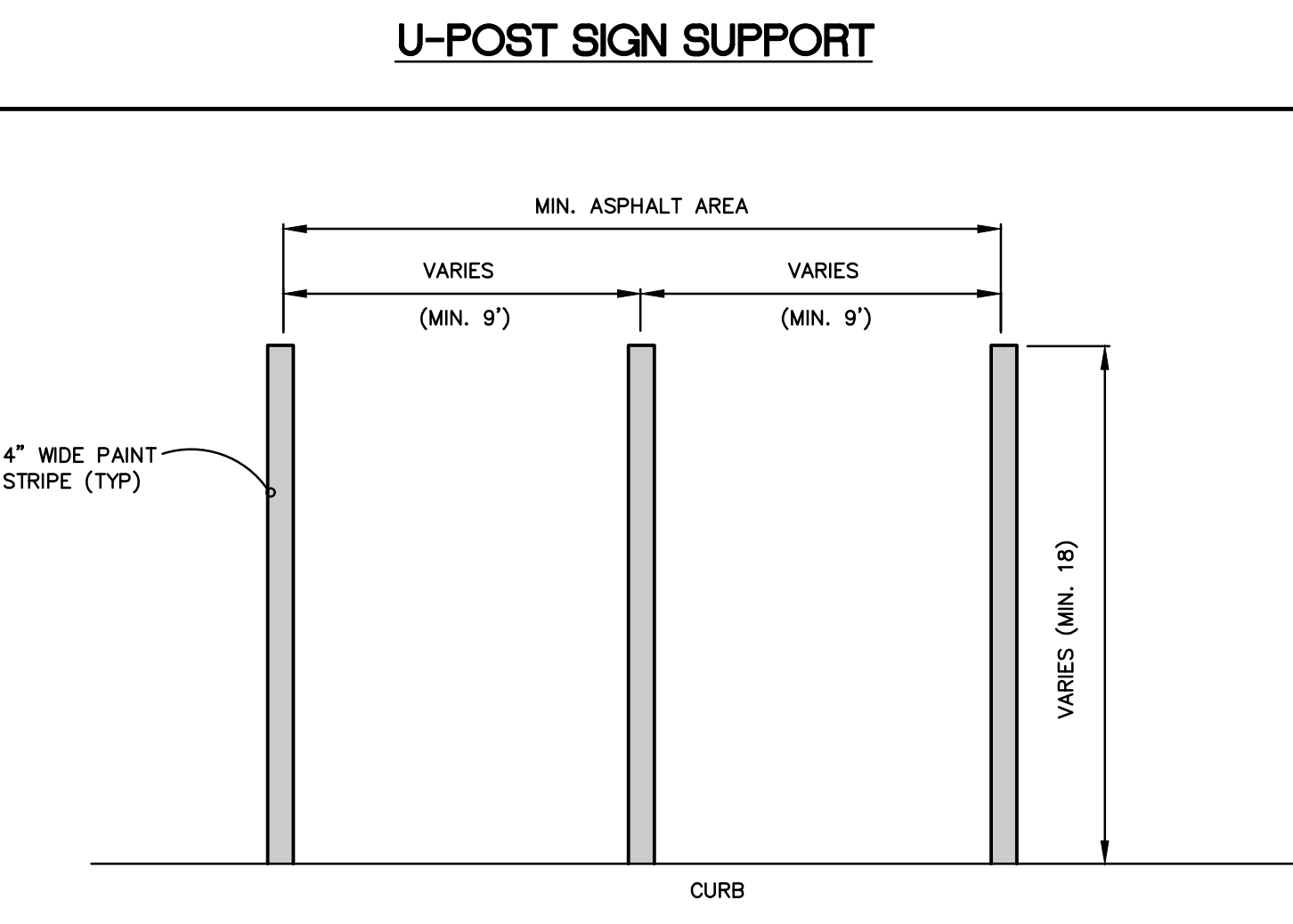
R7-8
(12"x18") HANDICAP SIGN



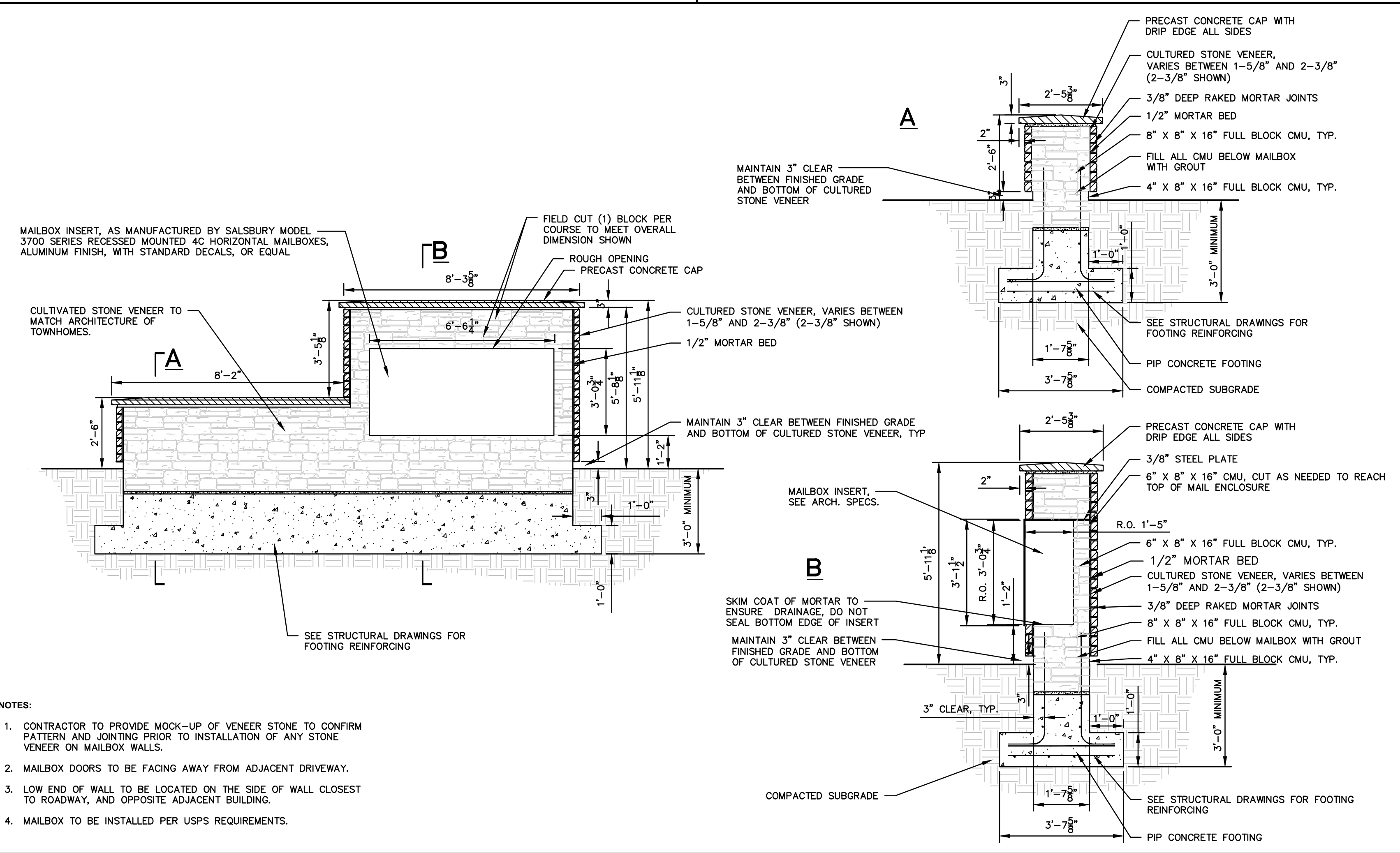
BENCHES



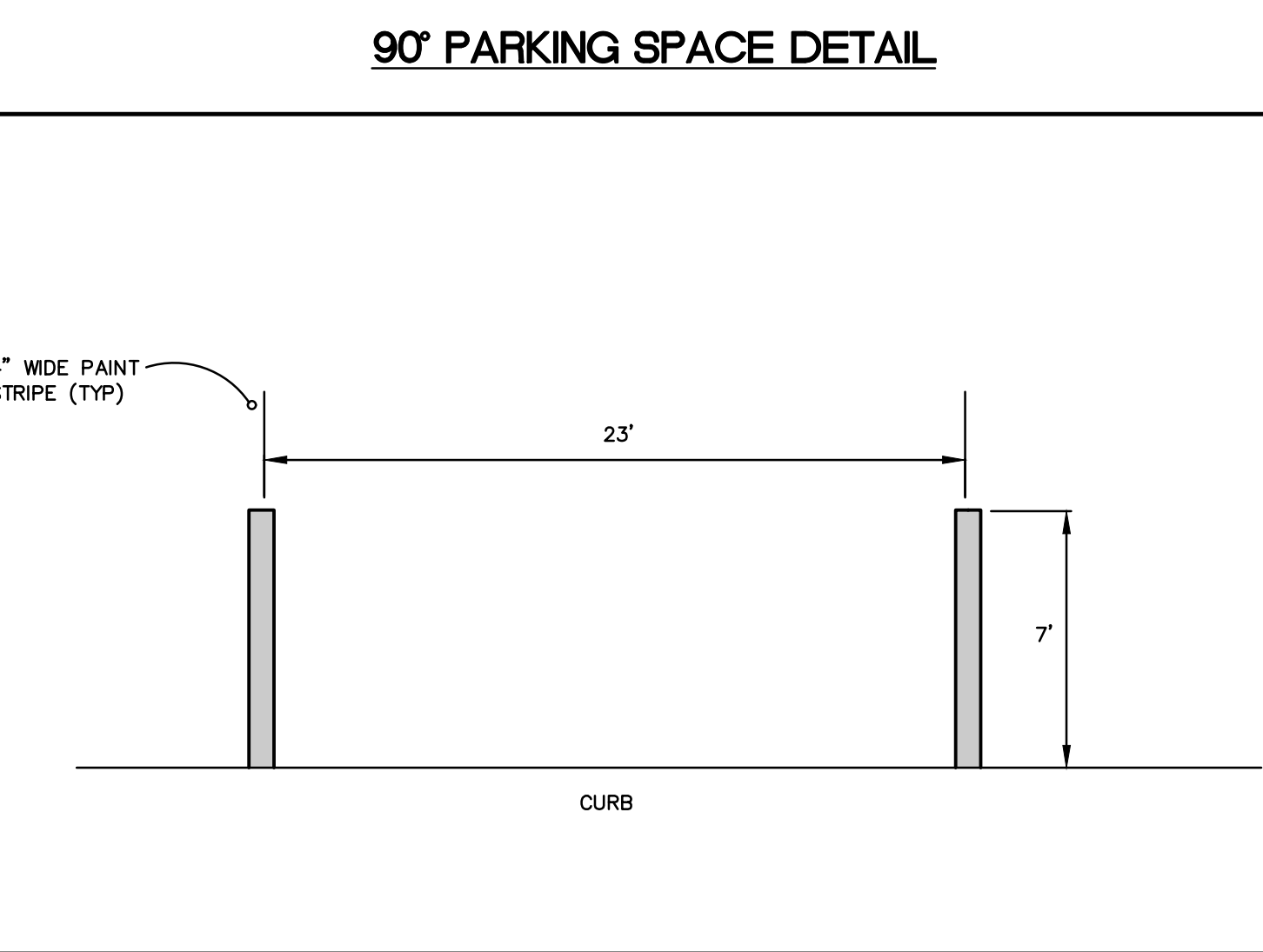
LITTER RECEPTACLE



U-POST SIGN SUPPORT



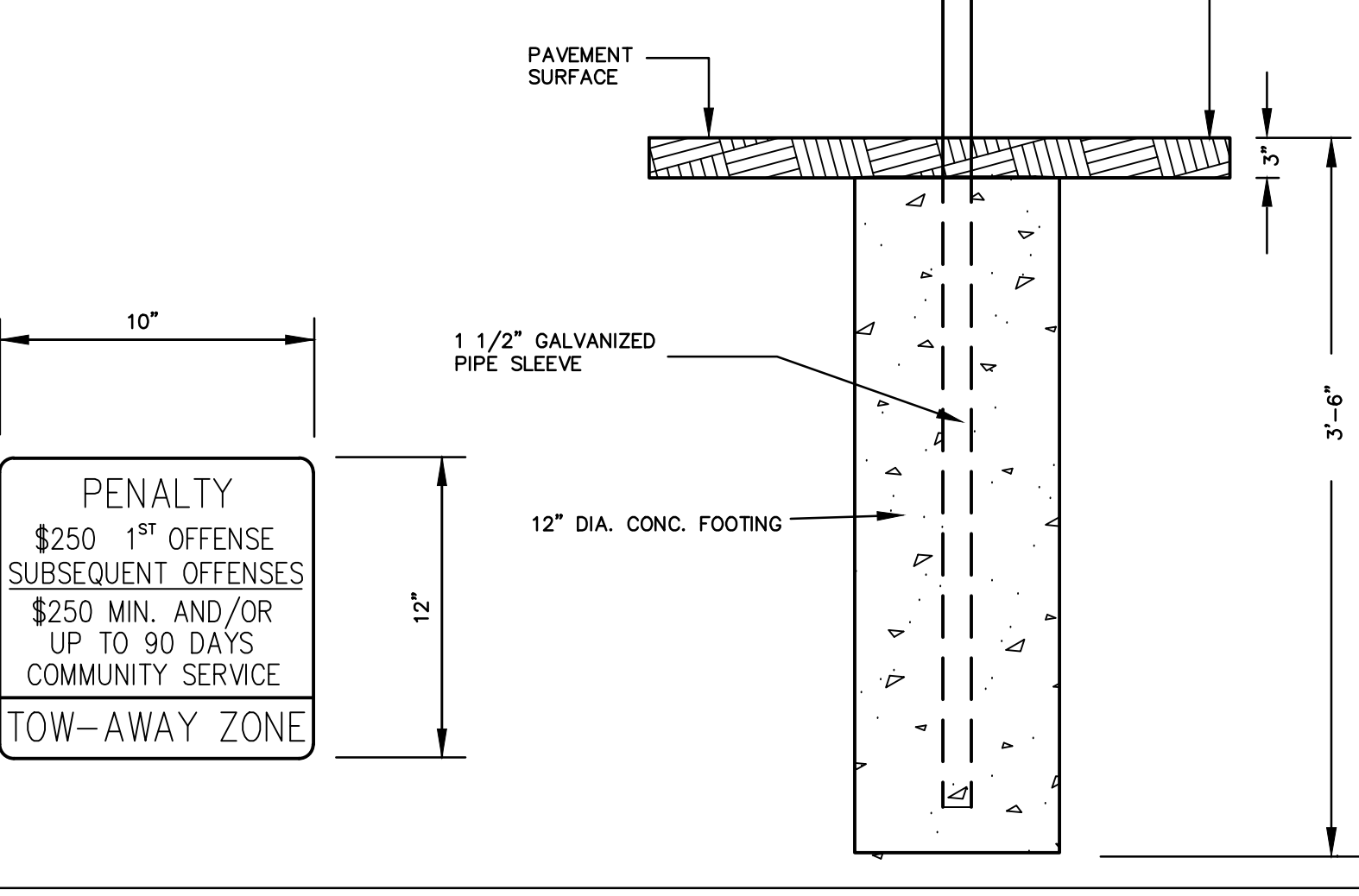
MAILBOX WALL DETAIL



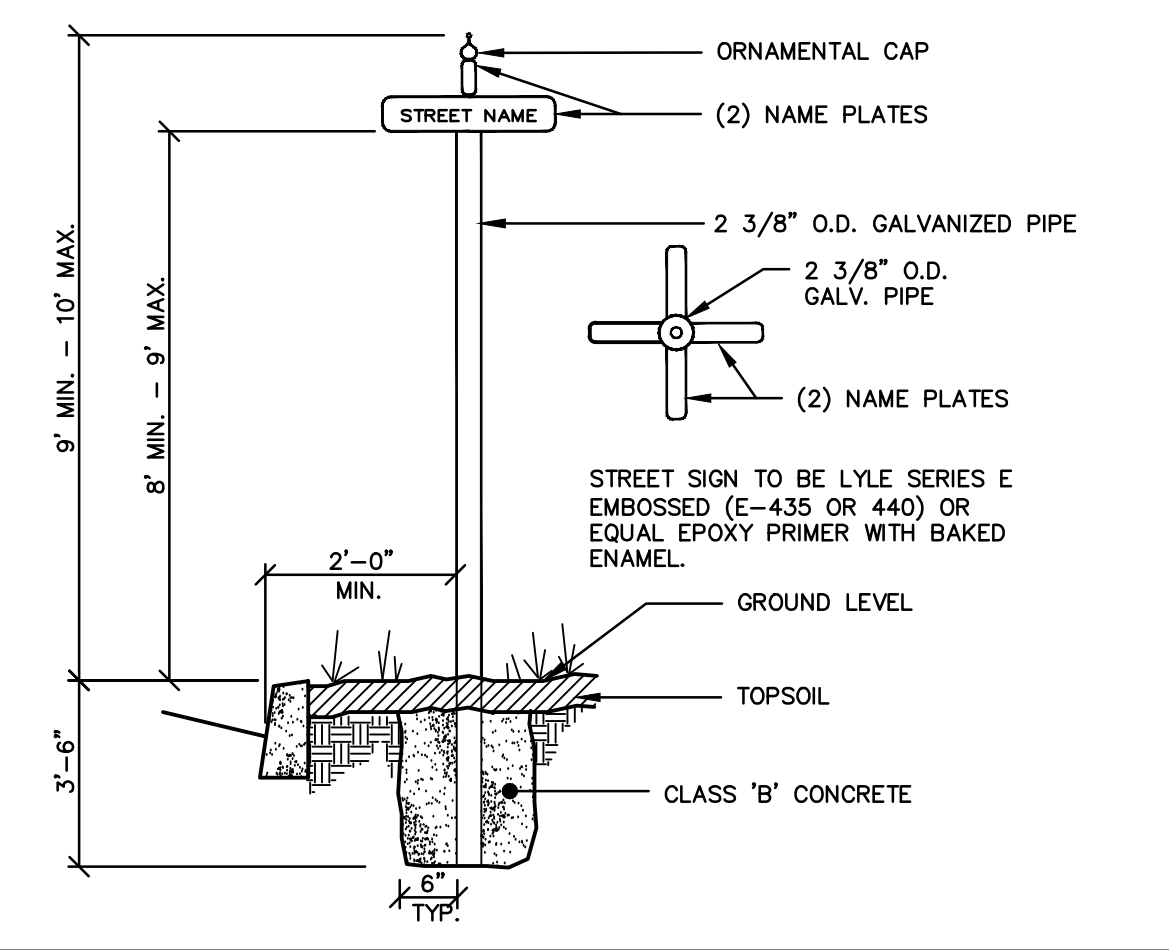
90° PARKING SPACE DETAIL



PARALLEL PARKING SPACE DETAIL
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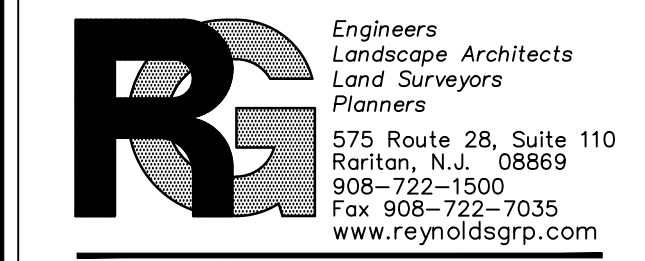


HANDICAPPED PARKING SIGN
N.T.S.



STREET SIGN

revisions		
no.	date	description



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State of New Jersey
 Certificate of Authorization
 Number: 240427989200
 21MH00004300

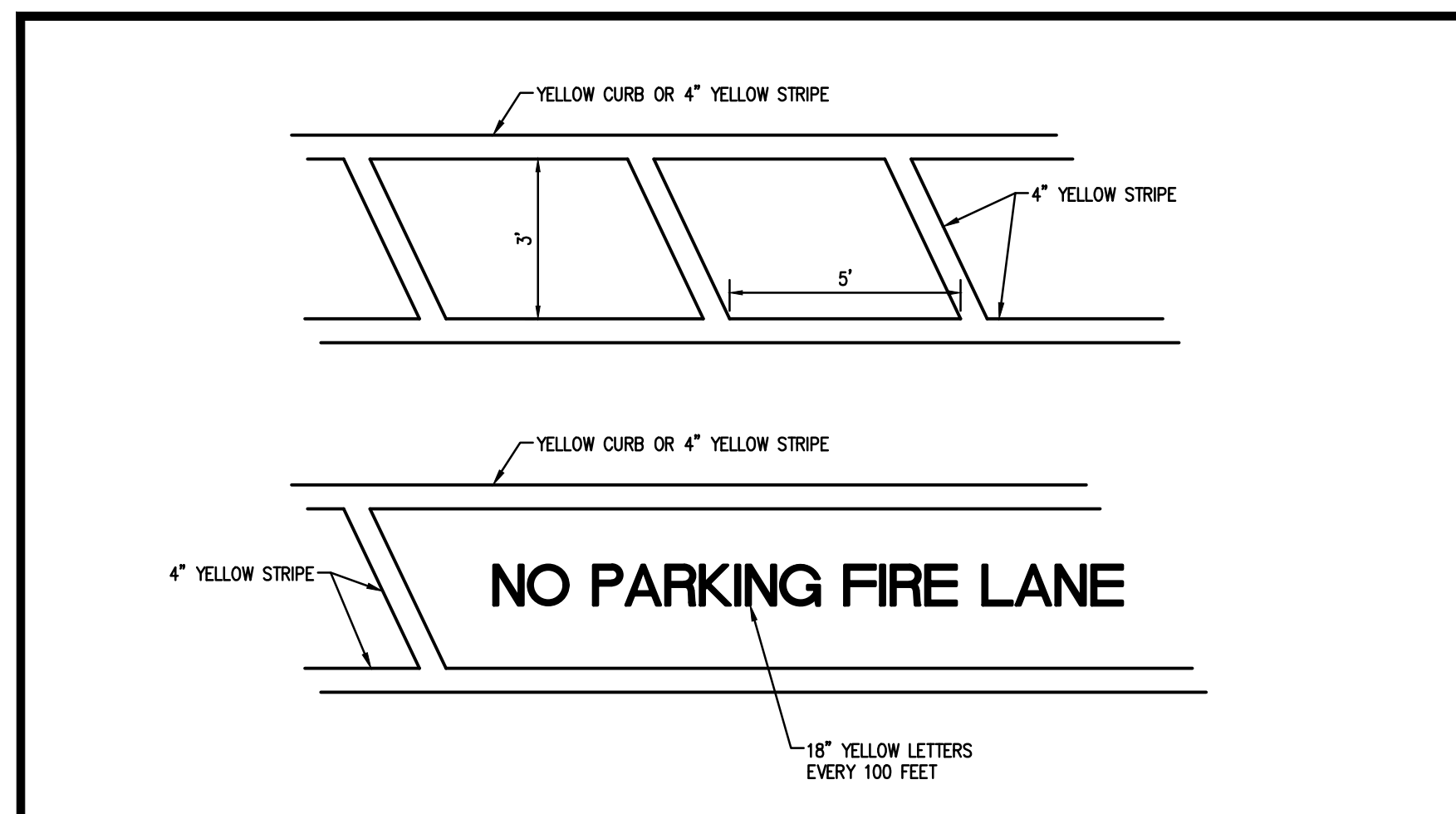
F. Mitchell Ardman, P.E., P.P.
 Jeffrey D. Reynolds, P.L.A.

F. Mitchell Ardman
 F. MITCHEL ARDMAN
 N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

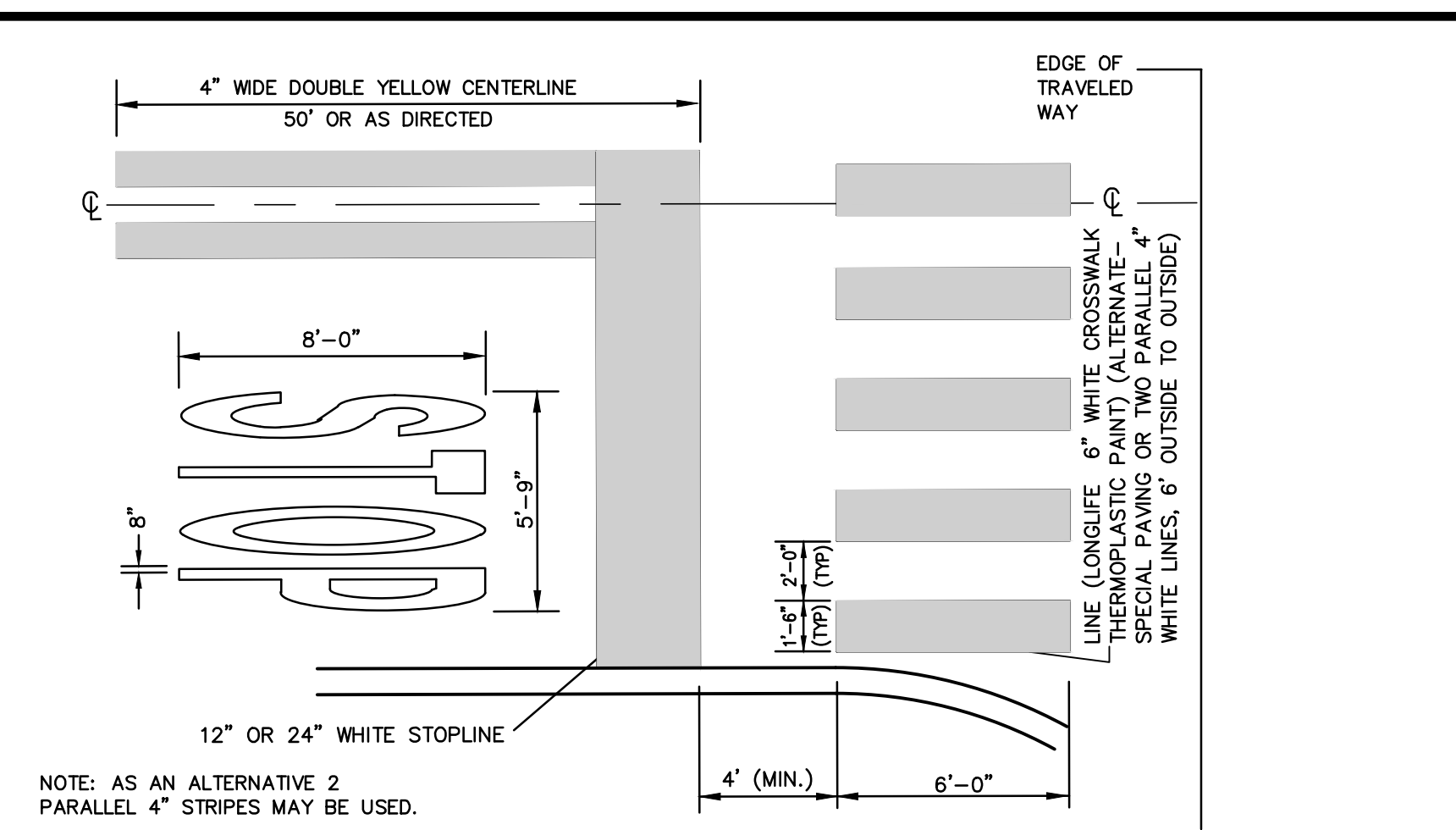
PROJECT: AMENDED PRELIMINARY AND FINAL SITE PLAN PHASE 1F
 BLOCK 141
 LOTS 31,02,36,01,38,39,40,44,01,45,01,47,48,48,01,49,50,01,50,02,50,03,51,52,53,54,55,56,57,01,58,59,60,63,01,123
 NORTH BRUNSWICK TOWNSHIP
 MIDDLESEX COUNTY, NEW JERSEY

CONSTRUCTION DETAILS

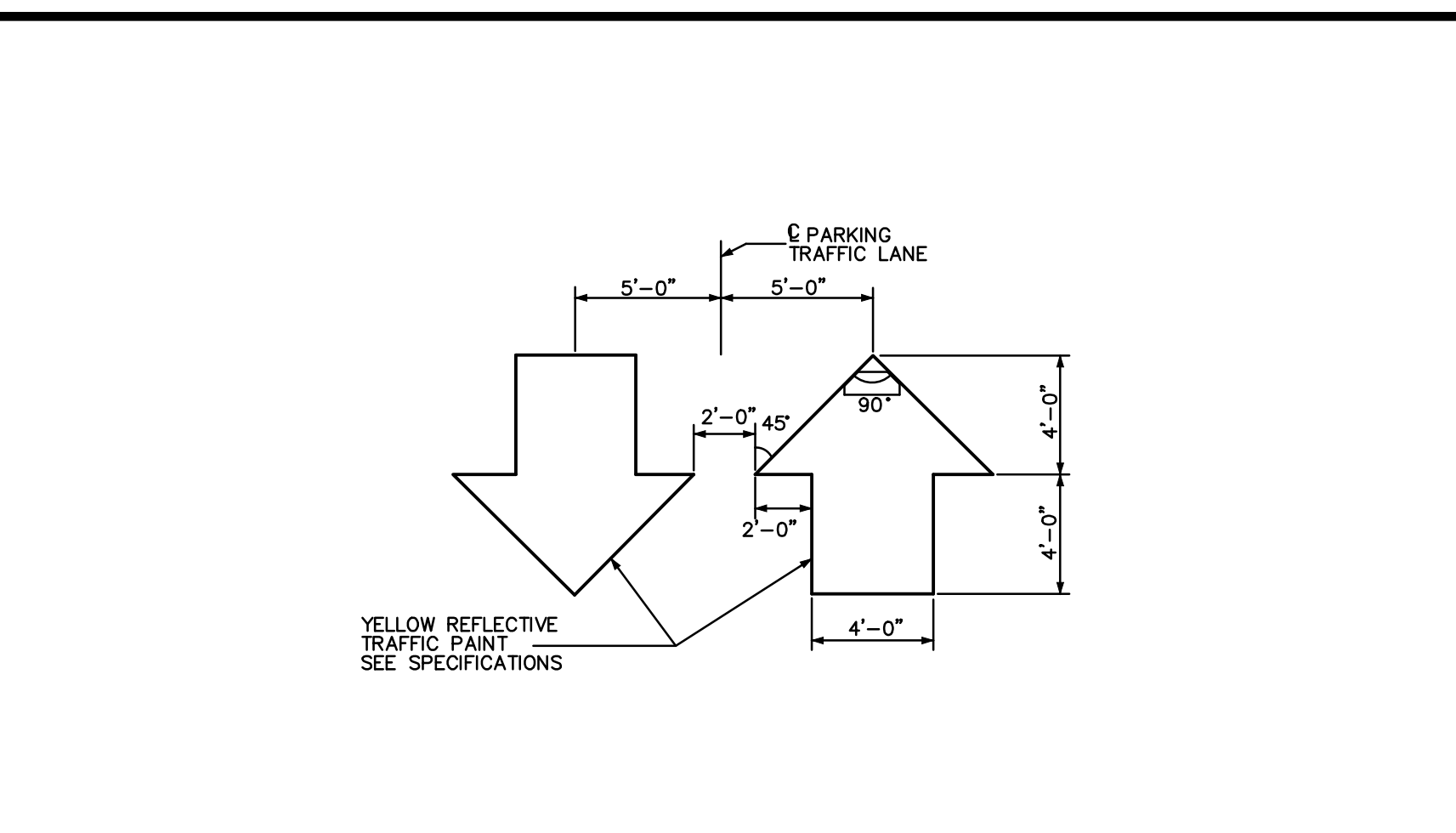
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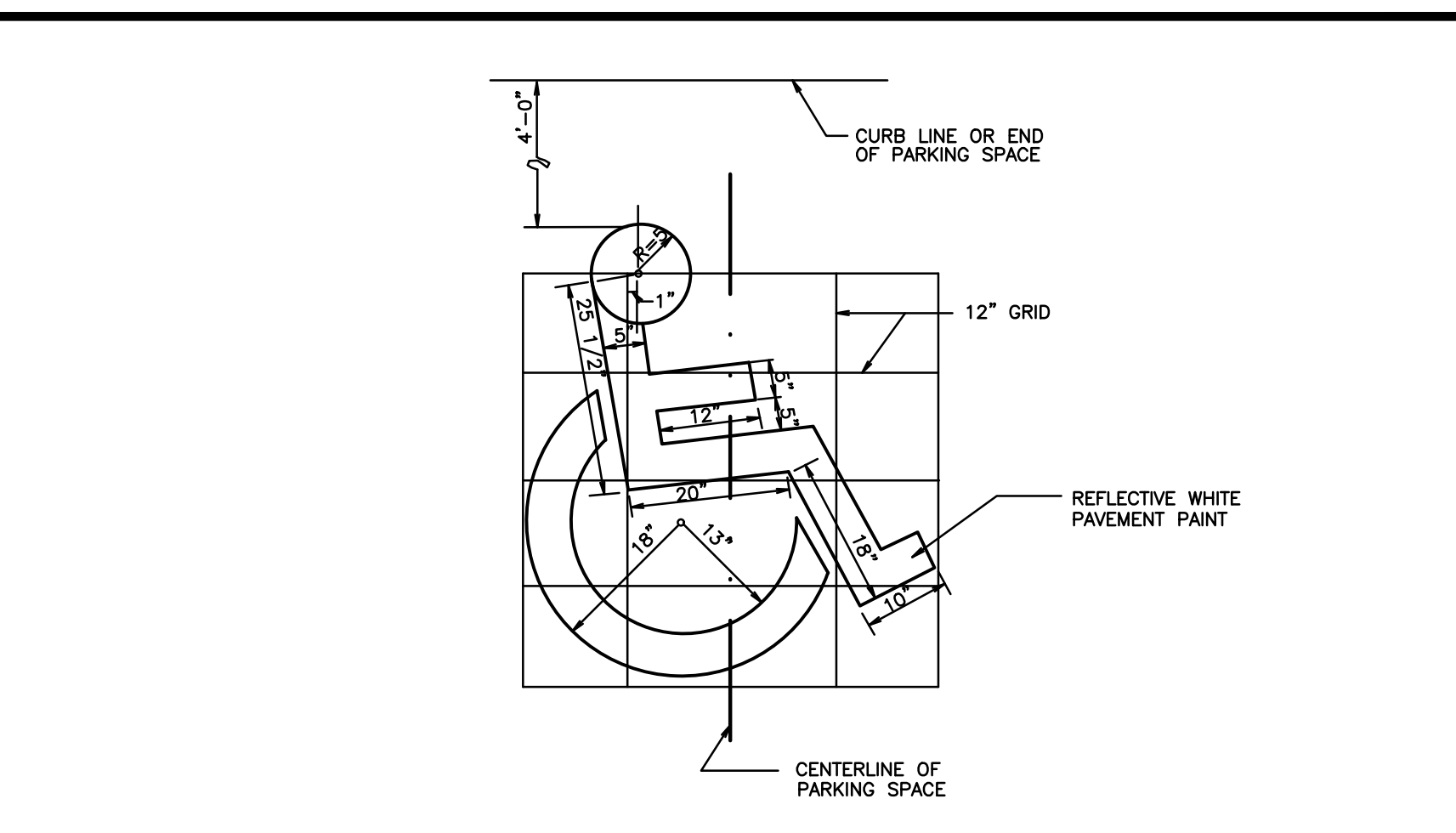
FIRE LANE STRIPING DETAIL



STRIPING SPACING

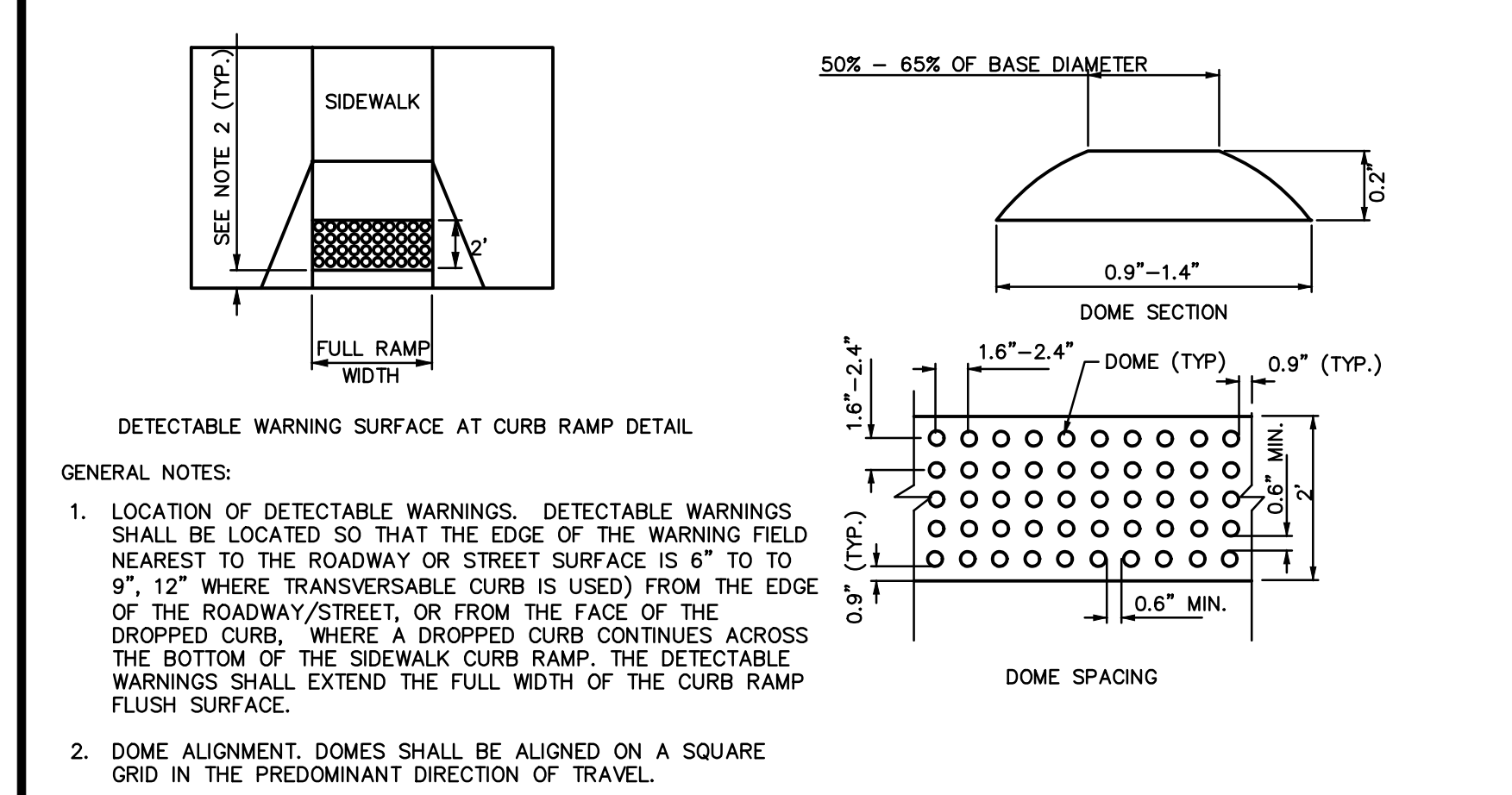


TRAFFIC ARROW STRIPING DETAIL FOR PARKING LOT
N.T.S.

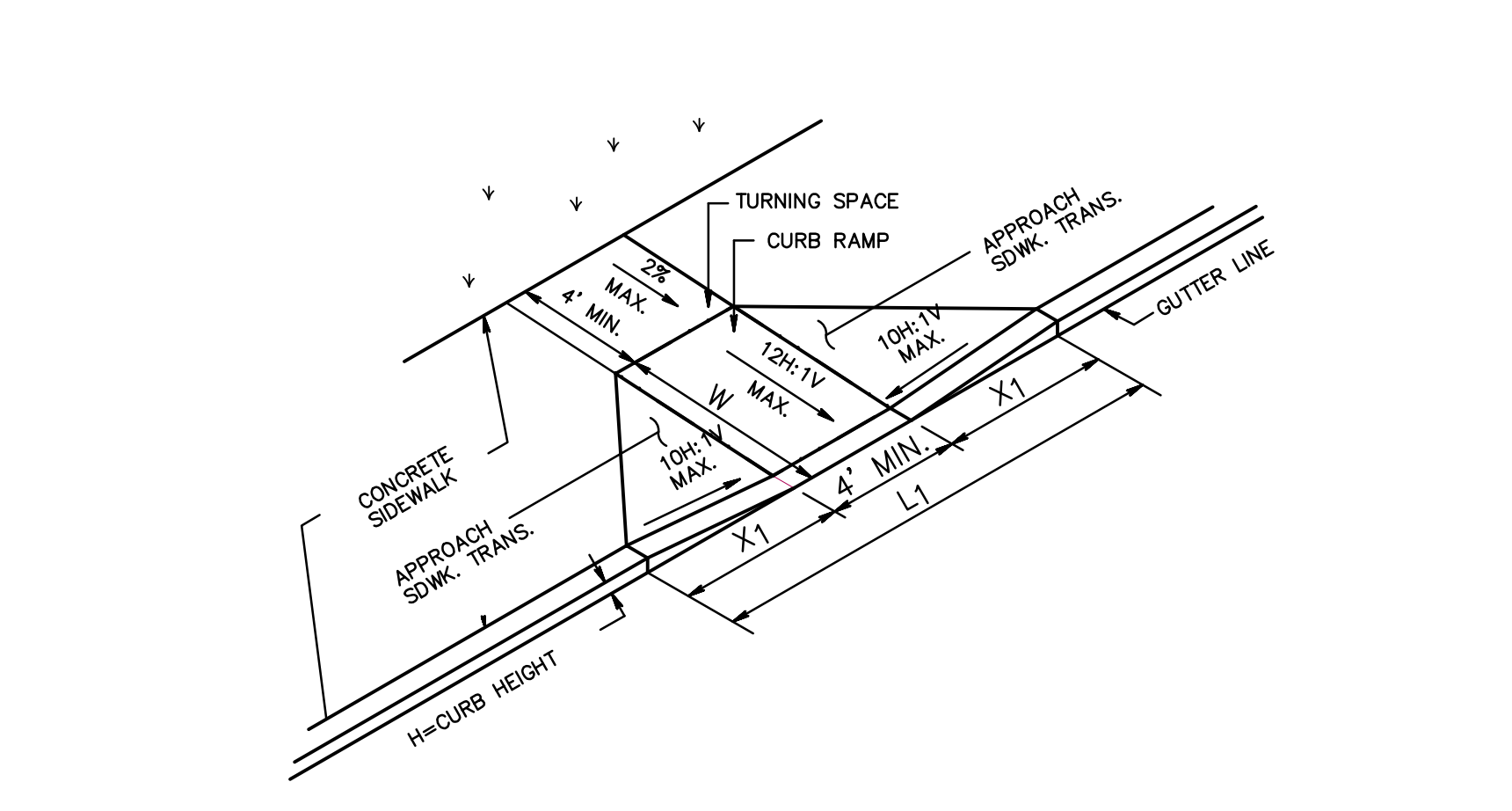


HANDICAP PARKING SYMBOL
N.T.S.

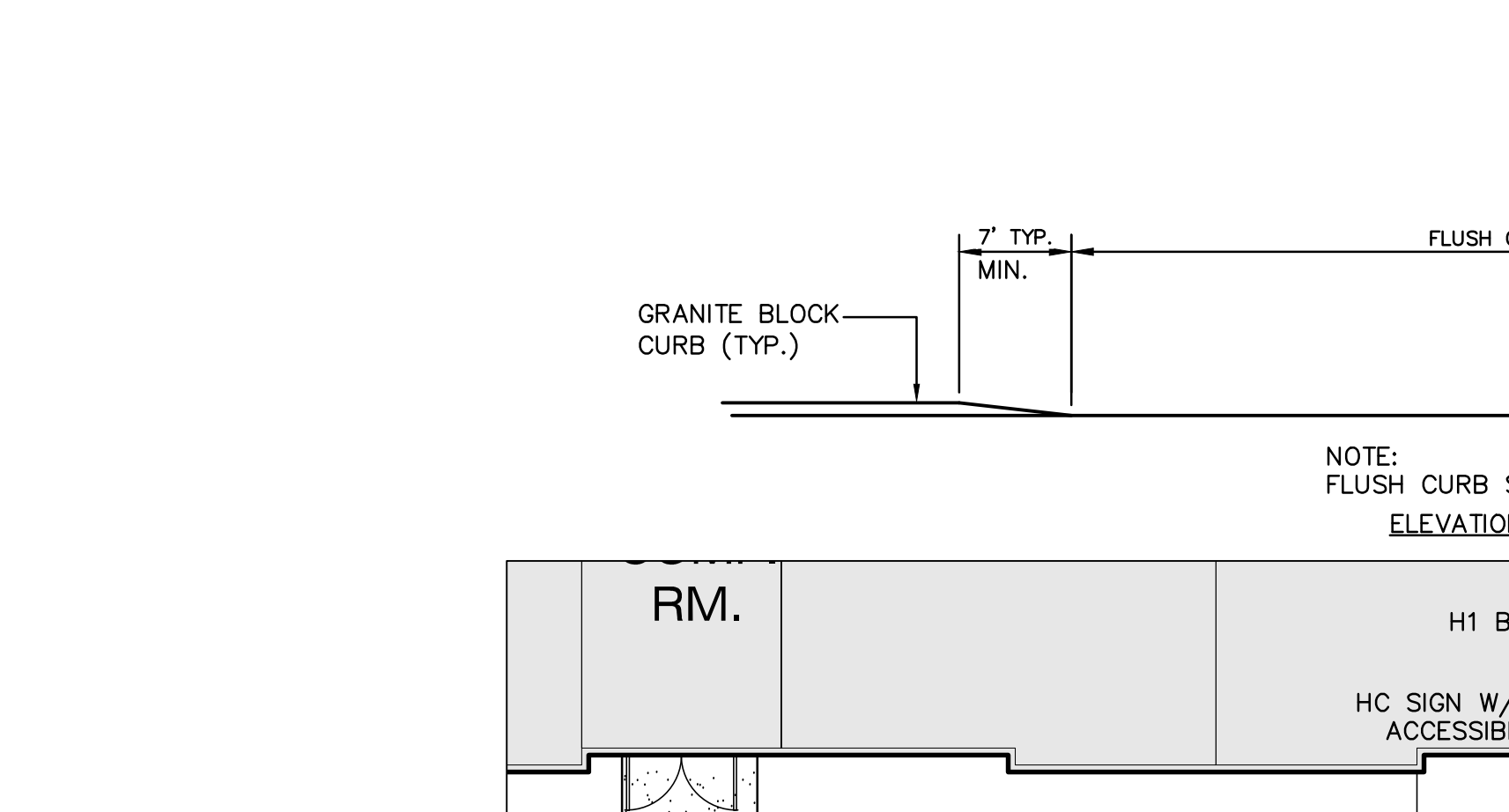
revisions		
no.	date	description



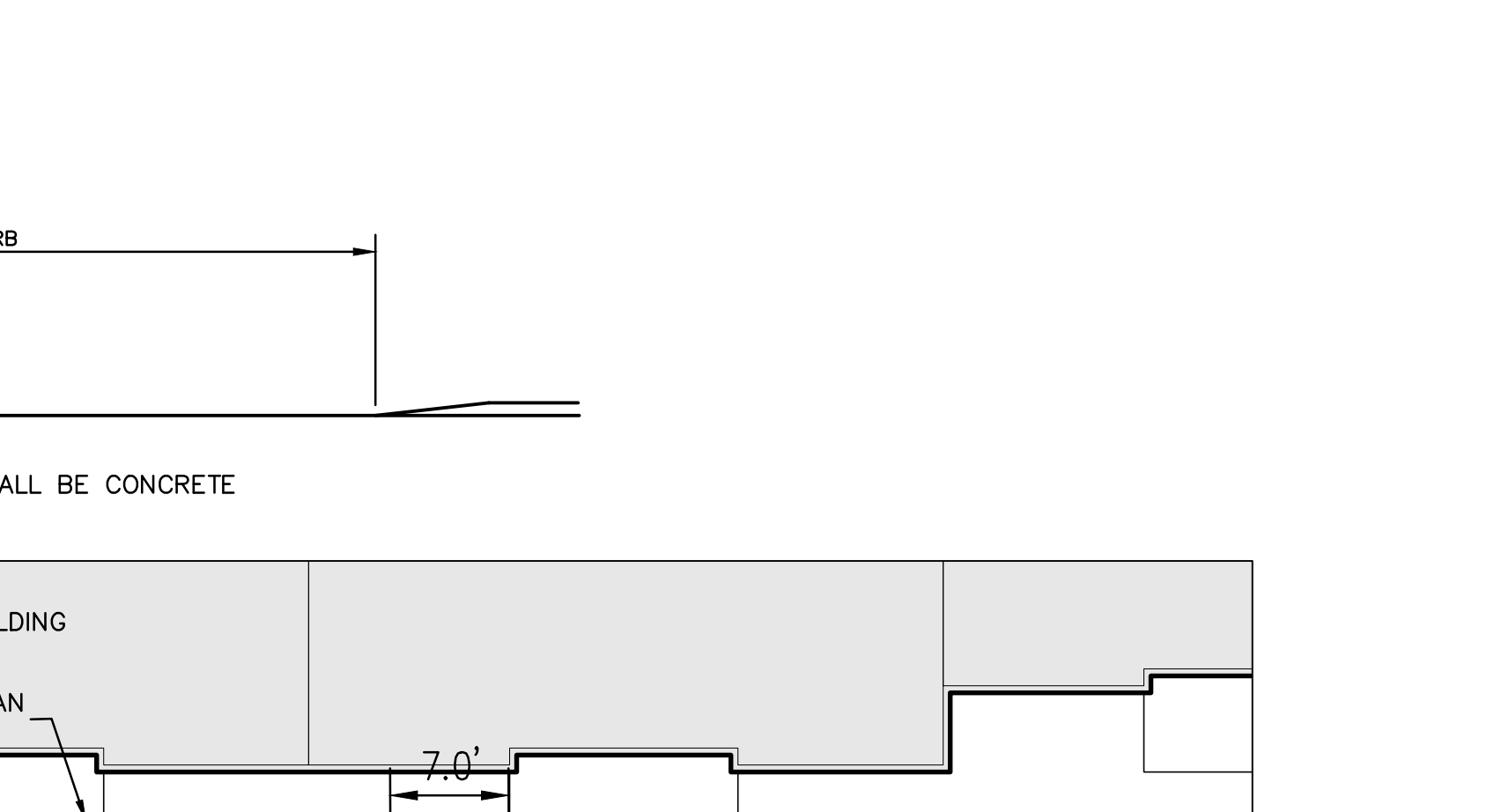
CURB RAMP AND DETECTABLE WARNING DETAIL



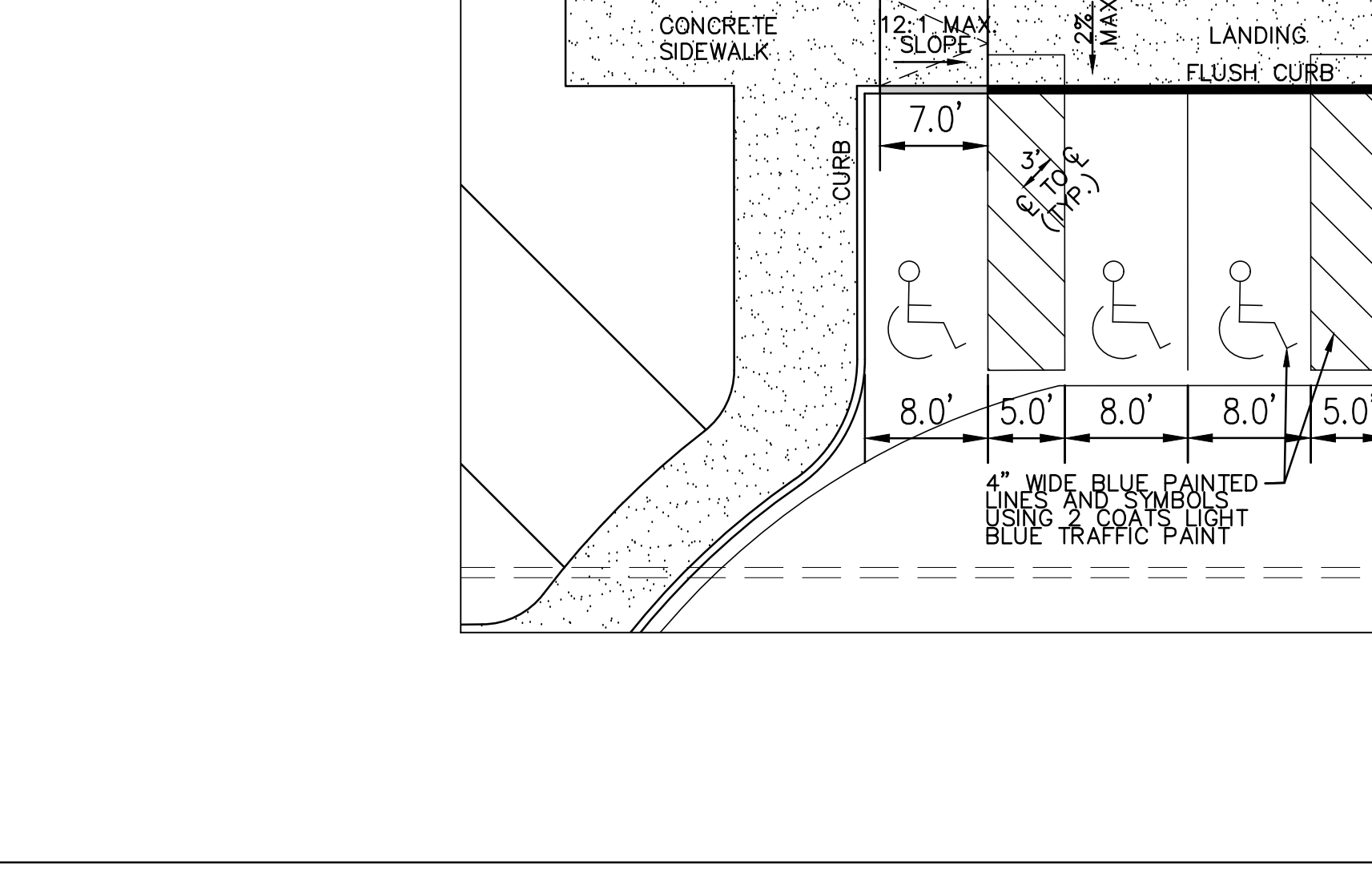
CURB RAMP TYPE 1



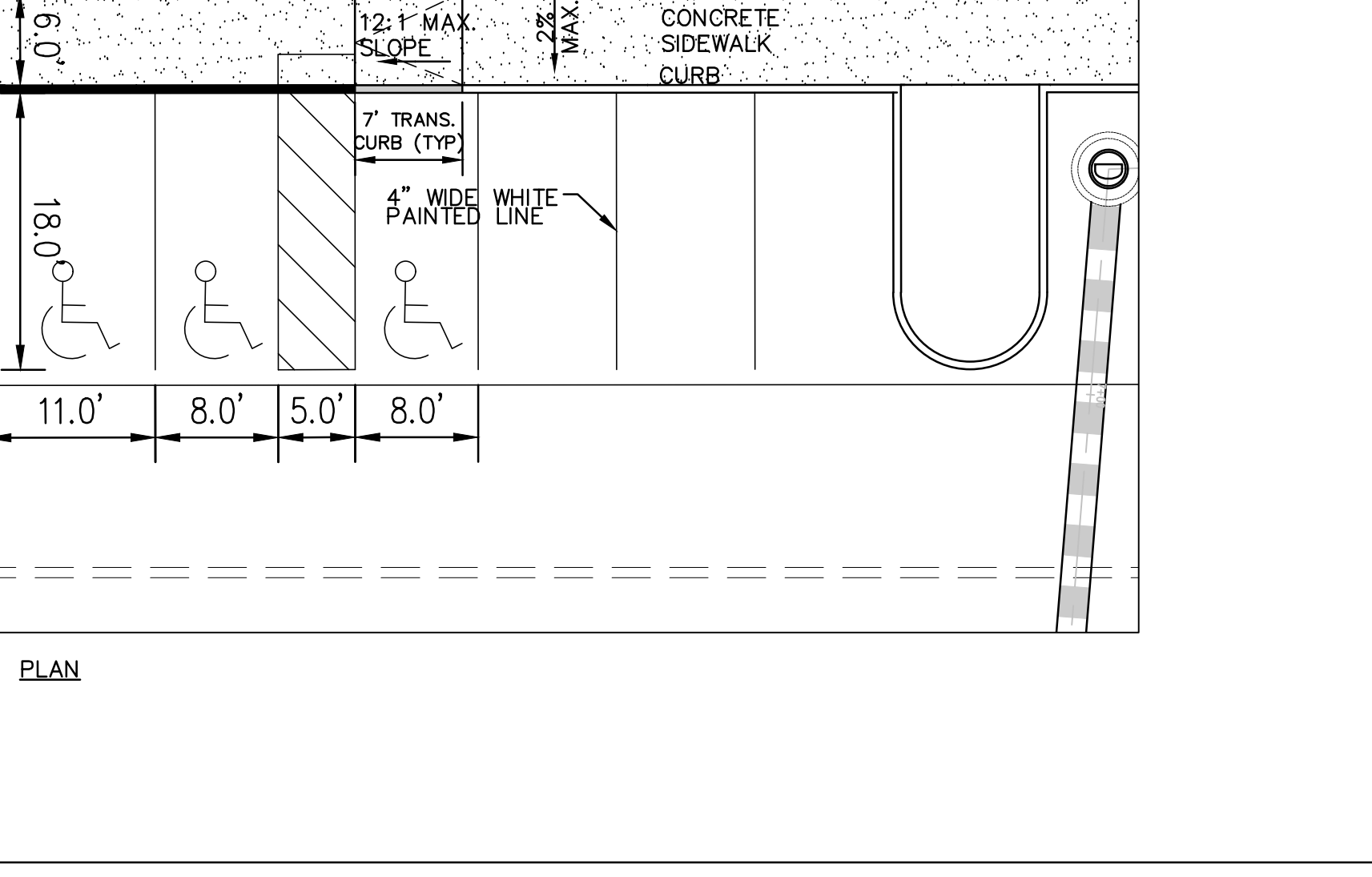
CURB RAMP TYPE 3
(TURNING SPACE REQUIRED)



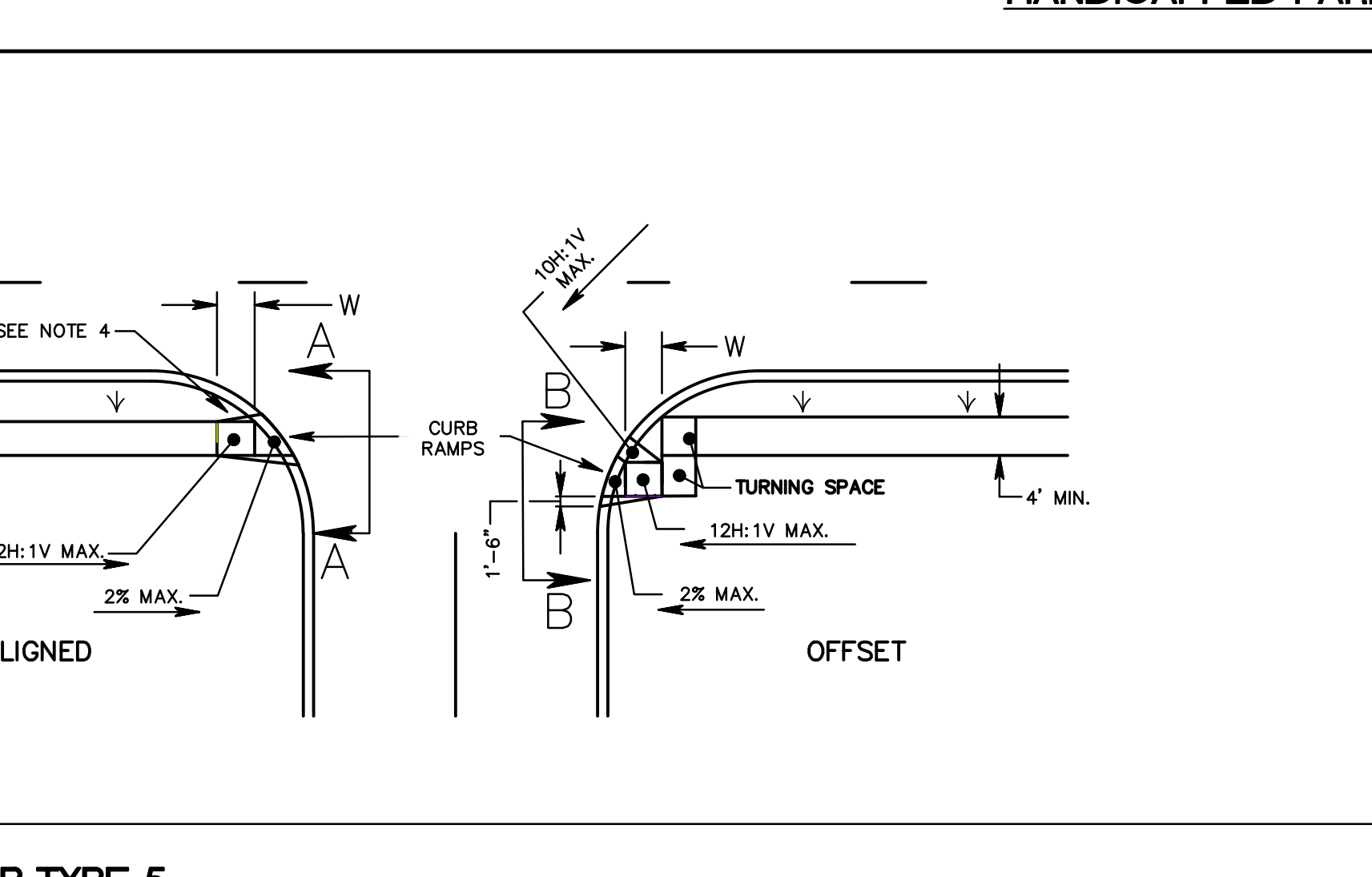
CURB RAMP TYPE 2
(GRASS BUFFER STRIP)



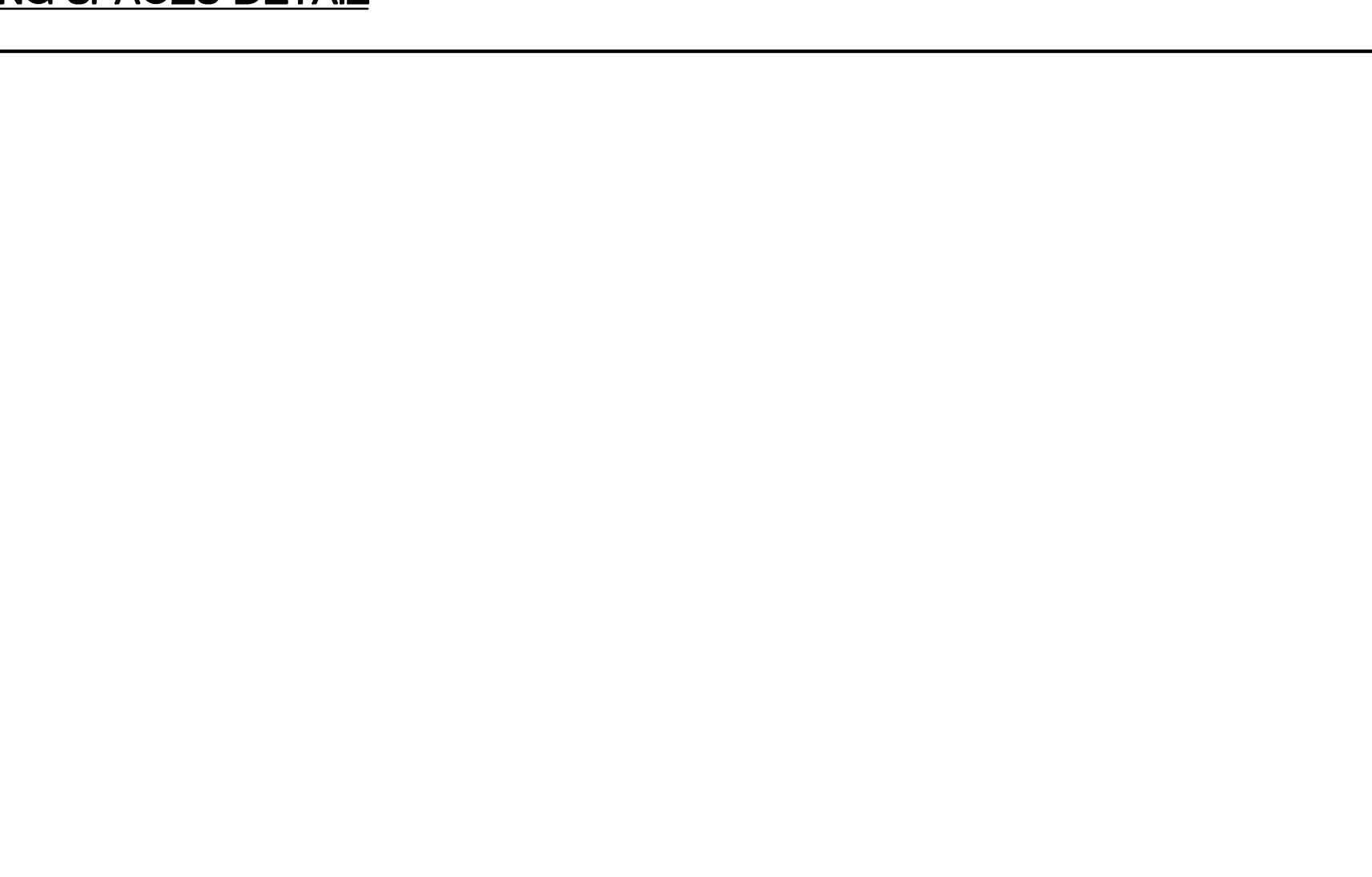
CURB RAMP TYPE 5



CURB RAMP TYPE 7
(LIMITED ROW)
(SEE NOTE 7)

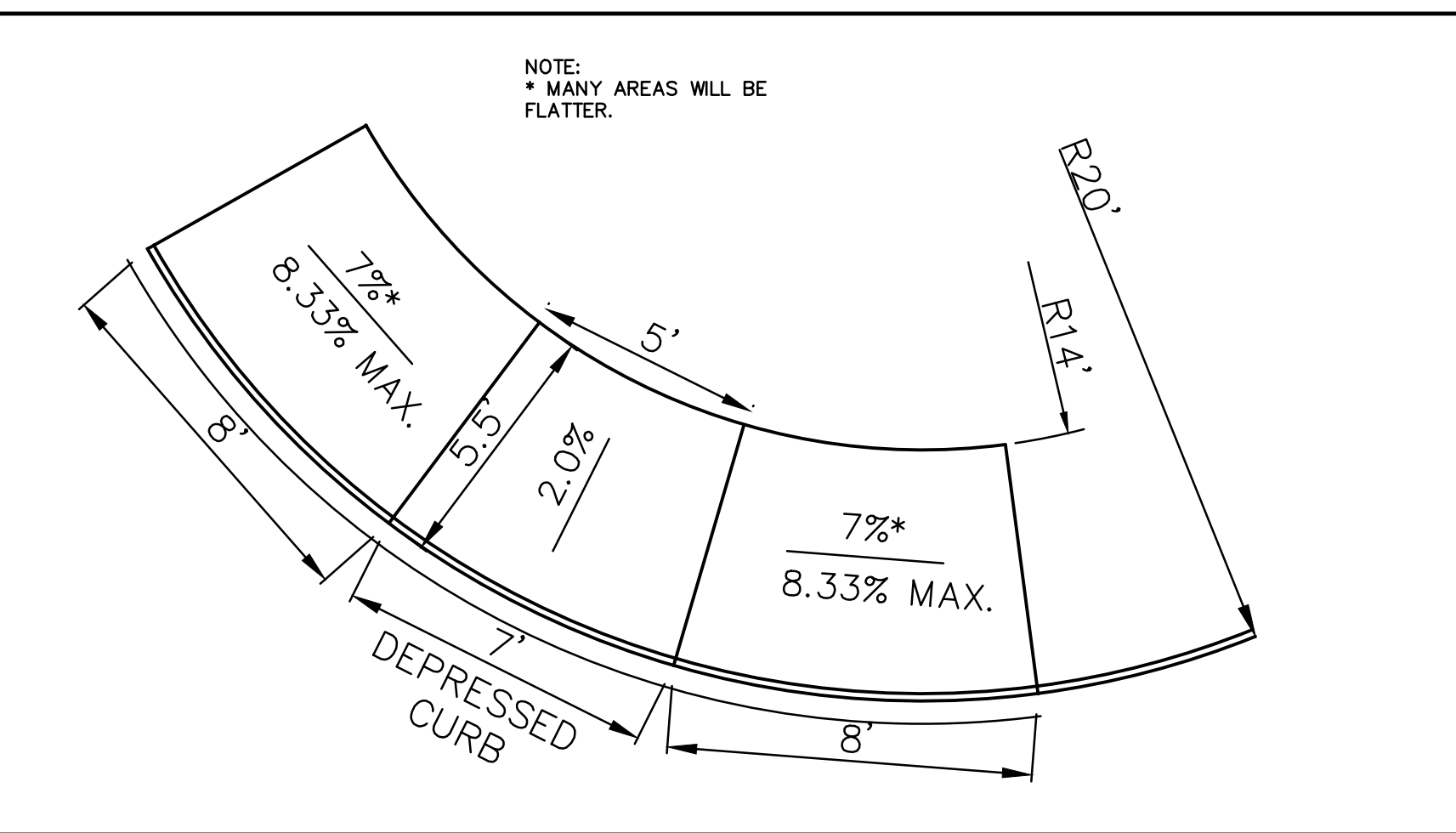


T-CITY HOMES TYPE 7 NJDOT CURB RAMP
N.T.S.



EXAMPLE OF PUBLIC ART TO BE LOCATED WITHIN PLAZA CIRCLE

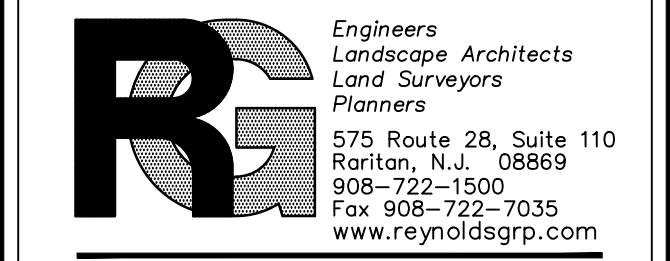
- GENERAL NOTES FOR CURB RAMP DETAIL:**
- THE PUBLIC SIDEWALK CURB RAMP STANDARDS DEPICTED HERE MAY NOT BE APPROPRIATE FOR ALL LOCATIONS. FIELD CONDITIONS AT INDIVIDUAL LOCATIONS MAY REQUIRE SPECIFIC DESIGNS. DESIGNS MUST BE CONSISTENT WITH THE PROVISIONS OF THIS SHEET TO THE MAXIMUM EXTENT FEASIBLE. IN ALTERNATION PROJECTS AND WHEN STRUCTURALLY PRACTICABLE ON NEW CONSTRUCTION PROJECTS AS REQUIRED BY THE AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES, THERE SHALL BE A LANDING AT THE TOP OF EACH CURB RAMP.
 - THERE SHALL BE A LANDING AT THE TOP AND AT THE BOTTOM OF EACH PARALLEL AND PARALLEL/PERPENDICULAR RAMP.
 - LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF A 4' BY 4' SQUARE. LANDINGS MAY OVERLAP WITH ADJACENT LANDINGS OR A SINGLE LANDING MAY SERVE MULTIPLE CURB RAMPS OR PARALLEL OR PARALLEL/PERPENDICULAR RAMPS. LANDINGS MAY OVERLAP WITH THE CLEAR GROUND SPACE REQUIRED AT PEDESTRIAN SIGNAL PUSH BUTTONS.
 - CROSS SLOPES. THE MAXIMUM CROSS SLOPE OF CURB RAMPS SHALL BE 2 PERCENT. THE MAXIMUM CROSS SLOPE AT LANDINGS IS 2 PERCENT IN ANY DIRECTION. SURFACES SHALL GENERALLY LIE IN CONTINUOUS PLANES WITH A MINIMUM OF SURFACE WARP.
 - THE RUNNING GRADE OF CURB RAMPS SHOULD BE AS FLAT AS PRACTICABLE. THE MAXIMUM RUNNING GRADE OF ANY PORTION OF ANY CURB RAMP SHALL BE 1:12 (8.33%). CURB RAMPS ARE NOT REQUIRED TO BE LONGER THAN 15'.
 - CURB RAMPS LOCATED WHERE PEDESTRIANS MAY WALK ACROSS THE CURB RAMP SHALL HAVE FLARED SIDES. THE LENGTH OF THE FLARES SHALL BE AT LEAST TEN (10) TIMES THE CURB HEIGHT, MEASURED ALONG THE CURB LINE. WHEN INFEASIBLE OR IMPRACTICABLE TO PROVIDE A LANDING THAT IS AT LEAST 4' WIDE (MEASURED FROM THE TOP OF THE RAMP TO THE BACK OF THE SIDEWALK), THE LENGTH OF THE FLARES SHALL BE TWELVE (12) TIMES THE CURB HEIGHT MEASURED ALONG THE CURB LINE.
 - THE SURFACE OF ALL CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT. A COARSE BROOM FINISH RUNNING PERPENDICULAR TO THE SLOPE IS RECOMMENDED ON CONCRETE RAMP SURFACES, EXCLUSIVE OF THE DETECTABLE WARNING FIELDS.
 - RAMP TRANSITIONS BETWEEN WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES 0.2" MAX.
 - COORDINATE ALL TRAFFIC CONTROL DEVICES, UTILITY LOCATIONS, SIGNS, STREET FURNITURE AND DRAINAGE TO ENSURE A CONTINUOUS PEDESTRIAN ACCESS ROUTE AT ALL CURB RAMP LOCATIONS. GUIDANCE FOR CROSSWALK MARKINGS AND TRAFFIC CONTROL DEVICES IS PROVIDED IN THE MUTCD. DRAINAGE GRATES AND UTILITY ACCESS COVERS ARE NOT ALLOWED IN RAMP WALKING SURFACES OR LANDINGS.
 - WHERE FEASIBLE, E.G. WHERE R.O.W. WIDTH PROVIDES SUFFICIENT SPACE TO INSTALL SIDEWALKS SET BACK FROM THE CURBS, RAMP TYPES 2A AND 3A SHOULD BE INSTALLED AS THE SEPARATION PROVIDED BETWEEN SIDEWALK AND CURB OR TRAVELWAY MAKE FOR GREATER PEDESTRIAN SAFETY AND COMFORT.
 - AT MARKED CROSSINGS, THE FULL WIDTH OF THE RAMP SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS. THE SIDES OF THE RAMPS (THE FLARES) SHOULD NOT BE WITHIN THE WIDTH OF THE MARKINGS.
 - DETAILS ILLUSTRATE THAT DETECTABLE WARNINGS ARE REQUIRED. SEE SPECIFICATION FOR SPECIFIC DETECTABLE WARNING REQUIREMENTS. DETAILS DO NOT SHOW DROPPED CURBS AT BOTTOMS OF CURB RAMPS. DROPPED CURBS MAY BE SPECIFIED.



T-CITY HOMES TYPE 7 NJDOT CURB RAMP
N.T.S.



EXAMPLE OF PUBLIC ART TO BE LOCATED WITHIN PLAZA CIRCLE



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Number: 240427989200
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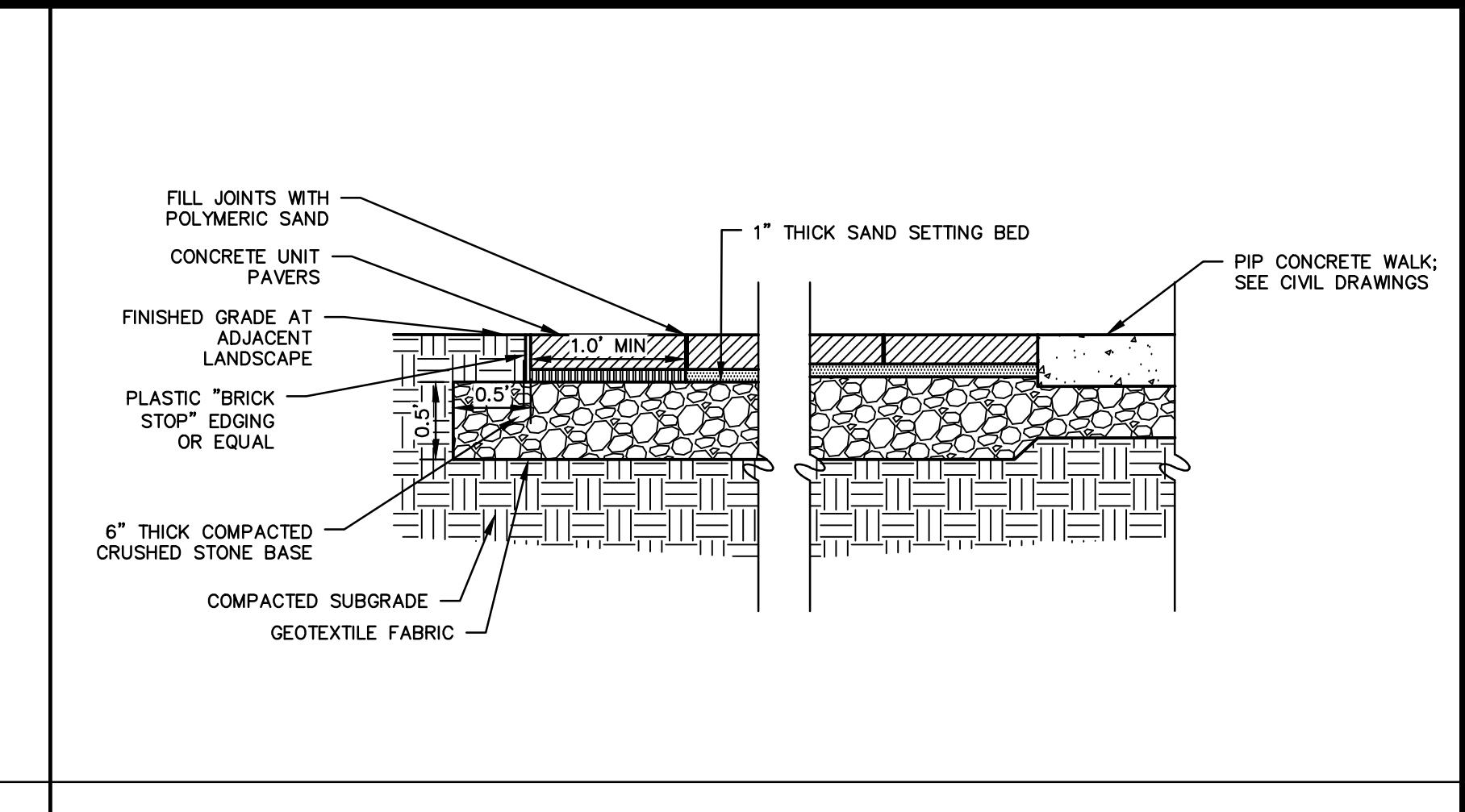
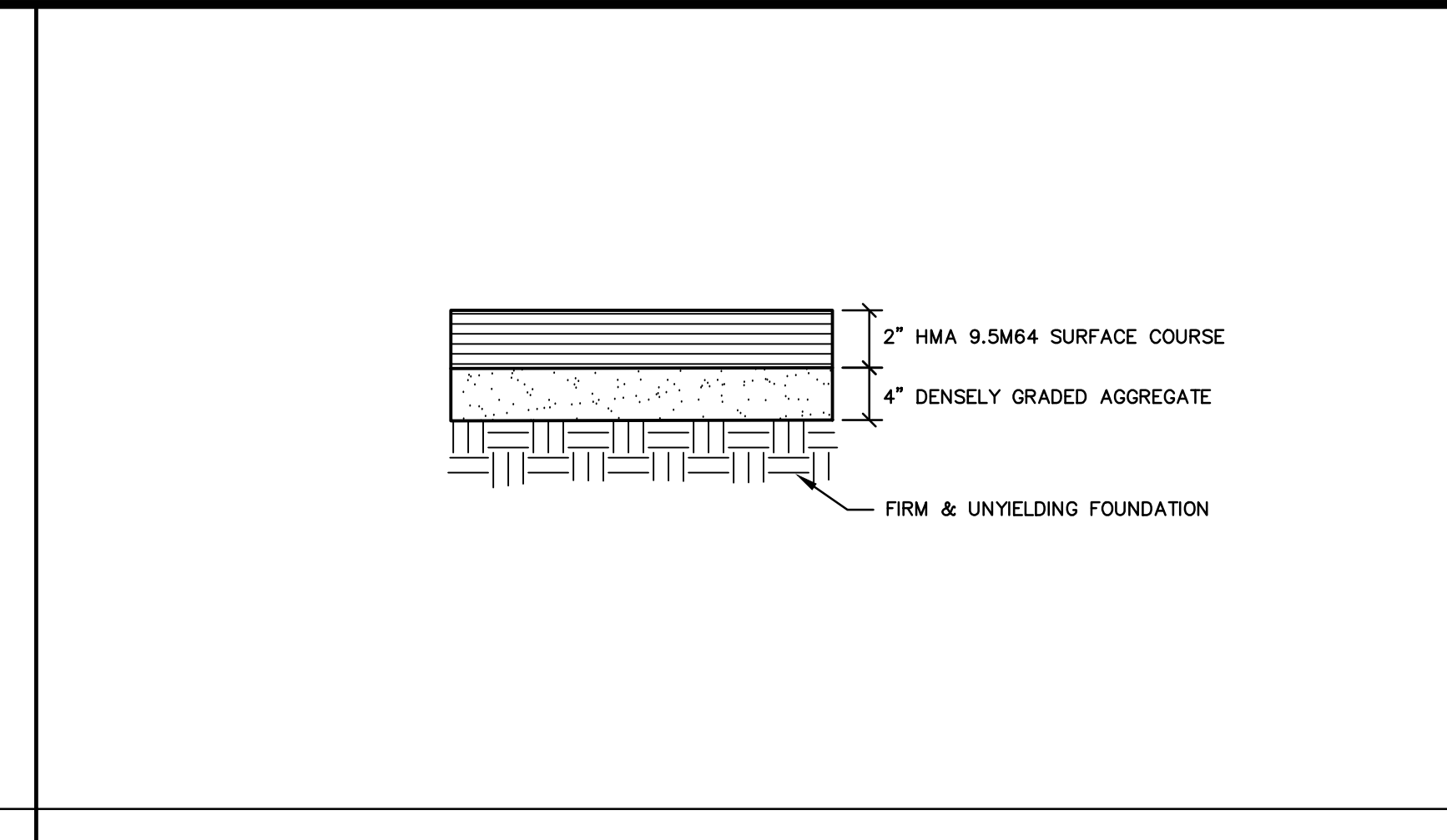
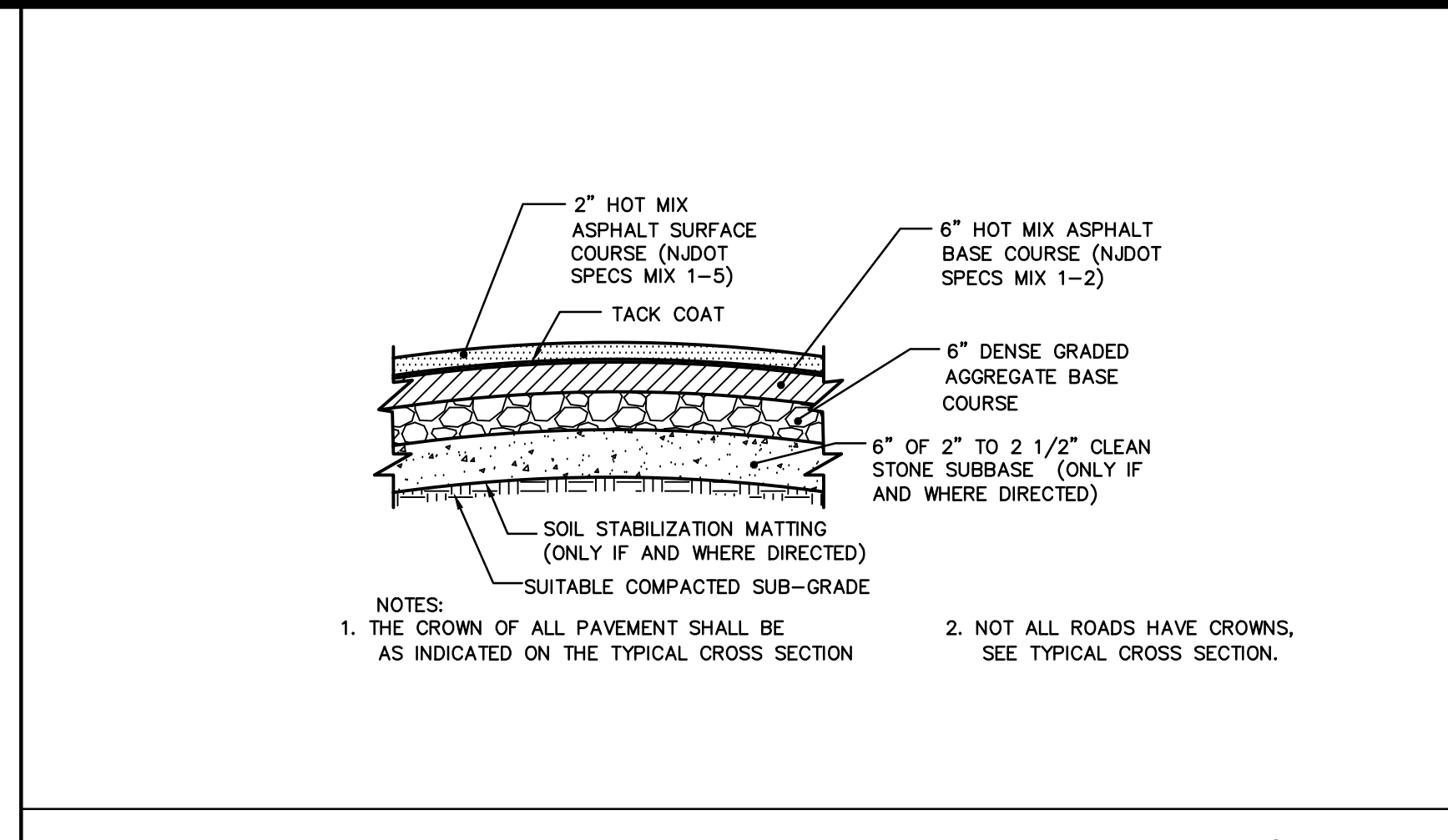
project
AMENDED PRELIMINARY AND FINAL SITE PLAN PHASE 1F
BLOCK 141
LOTS 31,02,36,01,38,39,40,44,01,45,01,47,48,48,01,49,50,01,50,02,50,03,51,52,53,54,55,56,57,01,58,59,60,63,01,123
NORTH BRUNSWICK TOWNSHIP
MIDDLESEX COUNTY, NEW JERSEY

drawing title
CONSTRUCTION DETAILS

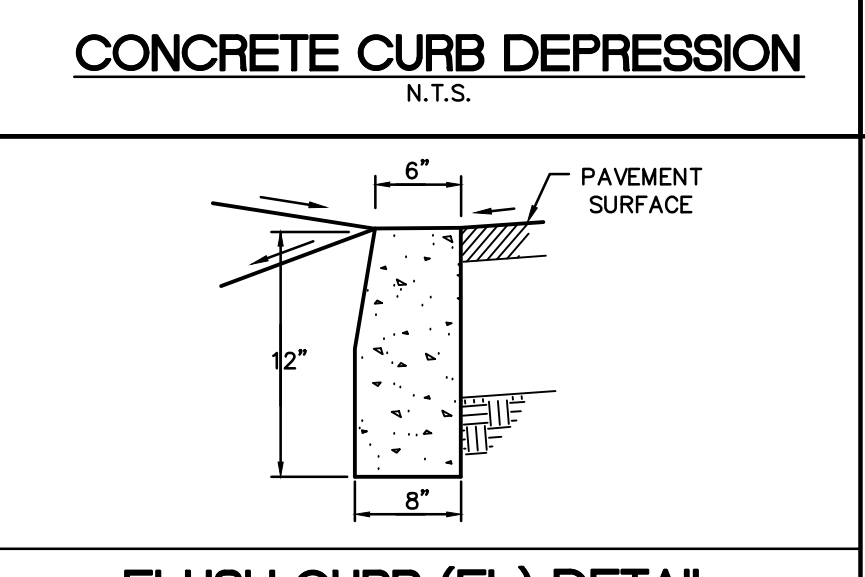
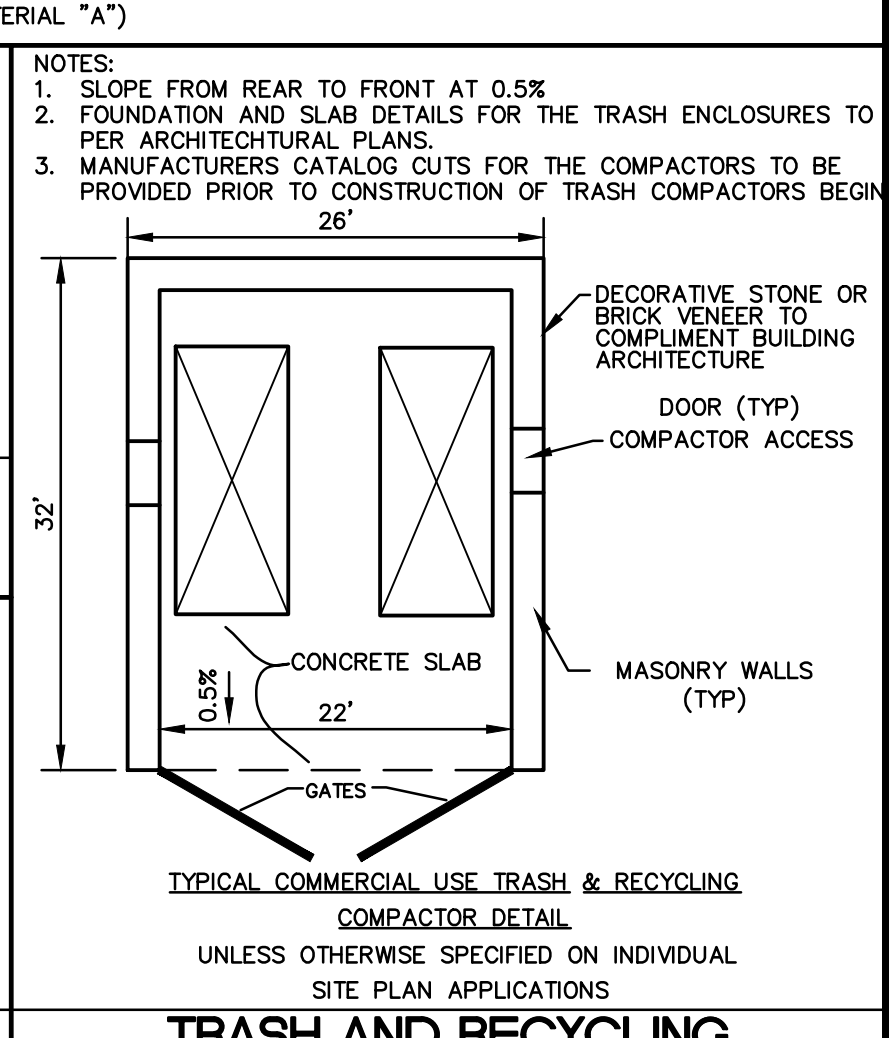
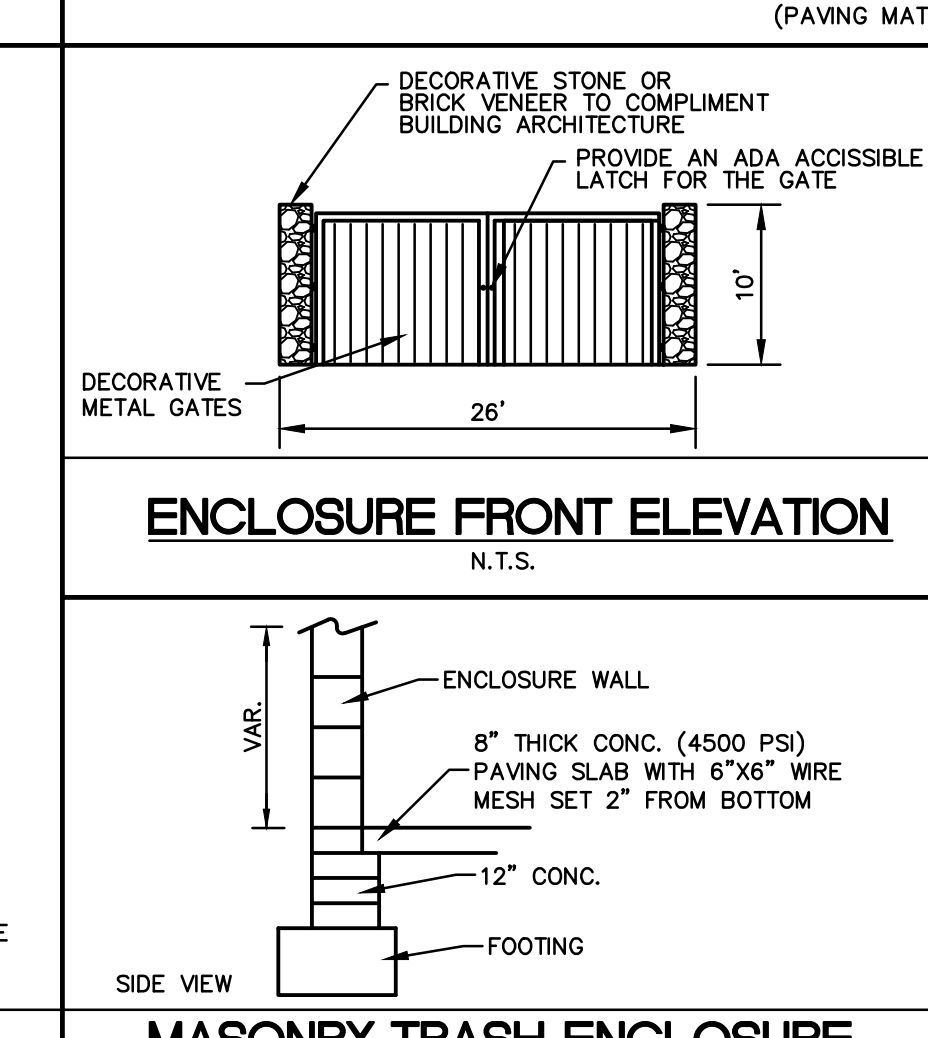
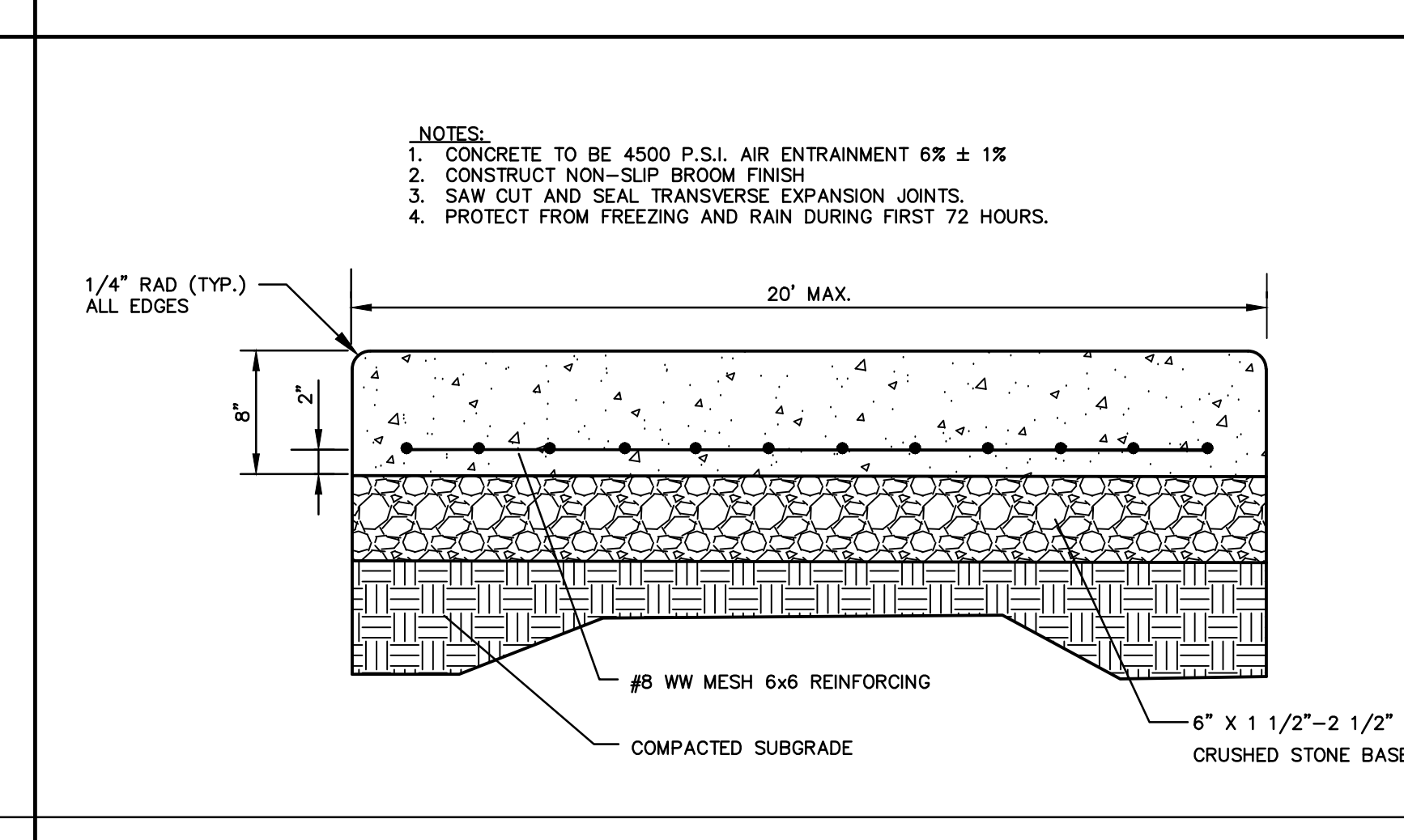
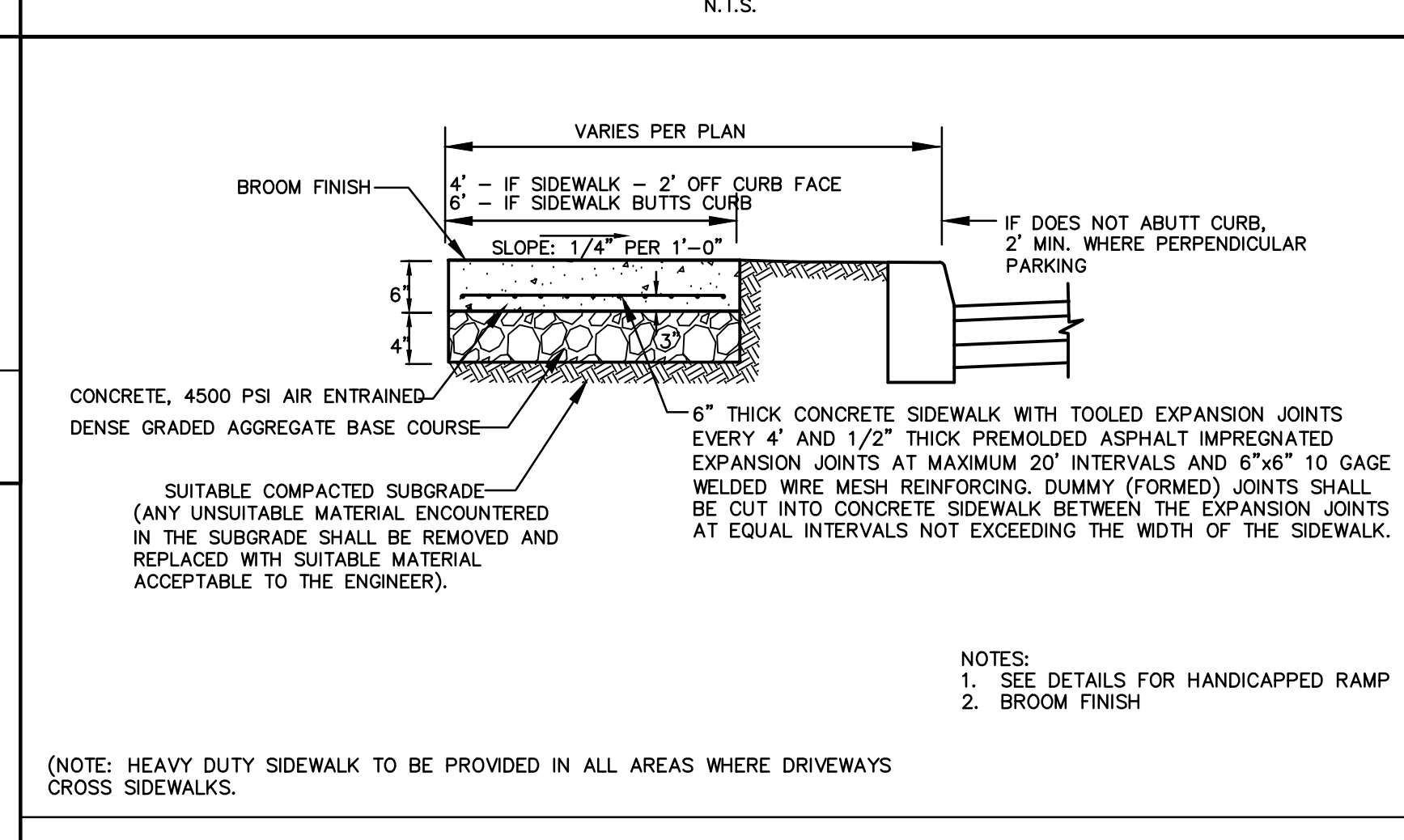
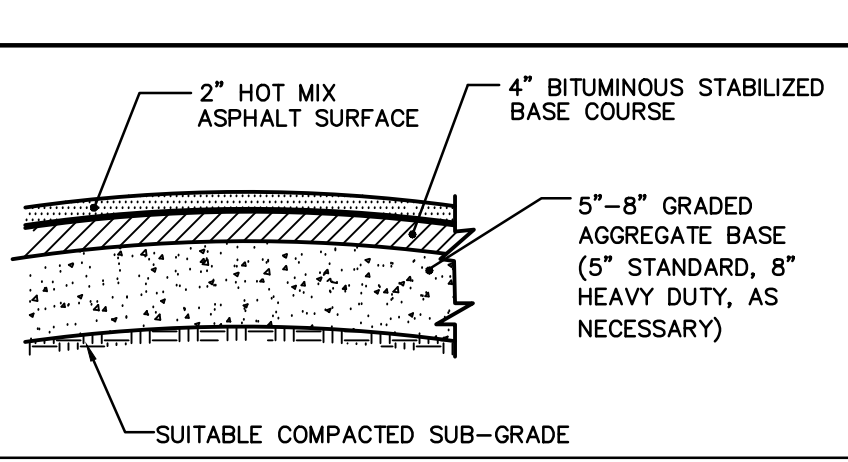
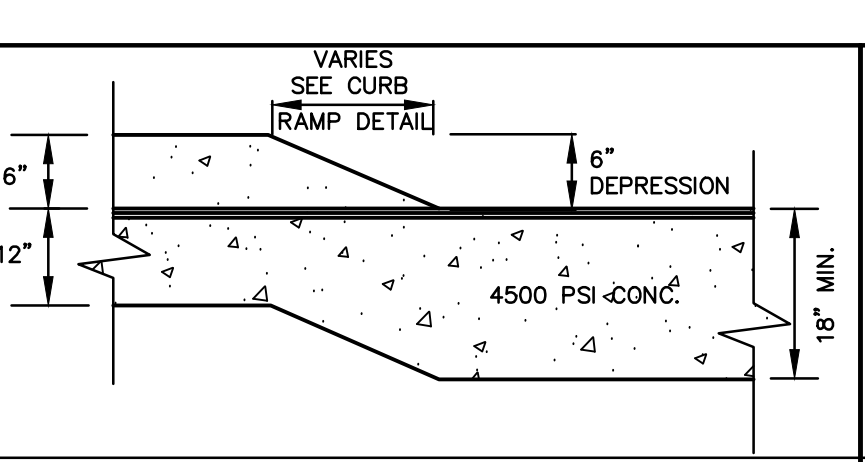
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drawn by	AR		
date	03/09/22	sheet	22 of 29

NOTES FOR PAVEMENT DETAILS:

- SUBGRADES: ALL SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR BITUMINOUS CONCRETE AND REINFORCED CONCRETE PAVEMENTS. PRIOR TO THE CONSTRUCTION OF ANY SUBBASE BASE OF PAVEMENT COURSE ALL SALT OR UNYIELDING PORTIONS OF THE SUBGRADE WHICH DO NOT ATTAIN THE REQUIRED STABILITY WILL BE REMOVED AND REPLACED WITH THE SUITABLE MATERIAL, AND THE WHOLE SURFACE OF THE SUBGRADE SHALL BE COMPACTED.
- SUBBASE AND/OR AGGREGATE BASE COURSES: WHERE GRANULAR SUBBASE COURSES ARE INCLUDED IN THE PAVEMENT DESIGN SECTION, THEY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE STANDARD SPECIFICATIONS. DENSE GRADED AGGREGATE BASE COURSES SHALL COMPLY WITH THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR SOIL AGGREGATE TYPE 5, CLASS A, OR TYPE 2, CLASS A OR B.
- BITUMINOUS BASE COURSES:
 - BITUMINOUS BASE COURSES FOR USE WITH BITUMINOUS CONCRETE PAVEMENTS SHALL CONSIST OF A PLANT-MIXED BITUMINOUS STABILIZED BASE COURSE (STONE MIX OR GRAVEL MIX) IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS. EXCEPT THAT THE REQUIREMENTS FOR THE CONSTRUCTION OF BASE COURSE SHALL BE AMENDED TO ALLOW THE LAYING OF THE BASE COURSE WITH A SINGLE LIFT MAXIMUM THICKNESS NOT EXCEEDING FOUR INCHES.
 - PRIOR TO PLACEMENT OF ANY BITUMINOUS STABILIZED BASE COAT, THE FINISHED SURFACE OF ANY UNDERLYING SUBBASE OR AGGREGATE BASE SHALL RECEIVE A PRIME COAT IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS.
 - SUITABLE STABILIZED BASE COURSE MAY INCLUDE RECYCLED CONCRETE, RECYCLED BITUMINOUS CONCRETE PAVEMENT, BITUMINOUS PAVEMENT MILLINGS AND DENSE GRADED AGGREGATES.
 - BITUMINOUS PAVEMENTS: BITUMINOUS PAVEMENTS SHALL CONSIST OF A BITUMINOUS CONCRETE SURFACE COURSE TYPE FABC 1 IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS. THE BITUMINOUS PAVEMENT WEARING SURFACE SHOULD GENERALLY NOT BE INSTALLED UNTIL JUST PRIOR TO THE TIME THE STREETS ARE PREPARED FOR FINAL ACCEPTANCE. PRIOR TO THE INSTALLATION OF A BITUMINOUS CONCRETE SURFACE, THE BITUMINOUS BASE COURSE SHALL BE INSPECTED BY THE TOWNSHIP ENGINEER. ANY AREAS OF THE BASE COURSE IN NEED OF REPAIR SHALL BE REMOVED AND REPLACED AT THE DIRECTION OF THE TOWNSHIP ENGINEER. IF THE TOWNSHIP ENGINEER DIRECTS, A LEVELING COURSE OF FABC MATERIAL SHALL BE PLACED ON ANY UNLIFTED OR BELOW-GRADE BASE COURSES PRIOR TO THE PLACEMENT OF FINISHED PAVEMENT. NO PAVING SHALL BE DONE UNTIL ALL ROAD STRUCTURES, SUCH AS MANHOLES, CATCH BASINS AND OTHER UNDERGROUND UTILITY ACCESS CHAMBERS, ARE BROUGHT TO GRADE LEVEL.
 - ASPHALTIC BINDER SHALL BE PG 64-22.



revisions		
no.	date	description



TYPICAL PAVEMENT DETAIL - ROADS (NAMED ROADS)
N.T.S.

HEAVY DUTY SIDEWALK DETAIL
N.T.S.

CONC. SLAB PAD DETAIL
(TRASH ENCLOSURE & E.V. EQUIPMENT)
N.T.S.

ENCLOSURE FRONT ELEVATION
N.T.S.

TRASH AND RECYCLING COMPACTOR DETAIL
N.T.S.

CONCRETE CURB DEPRESSION
N.T.S.

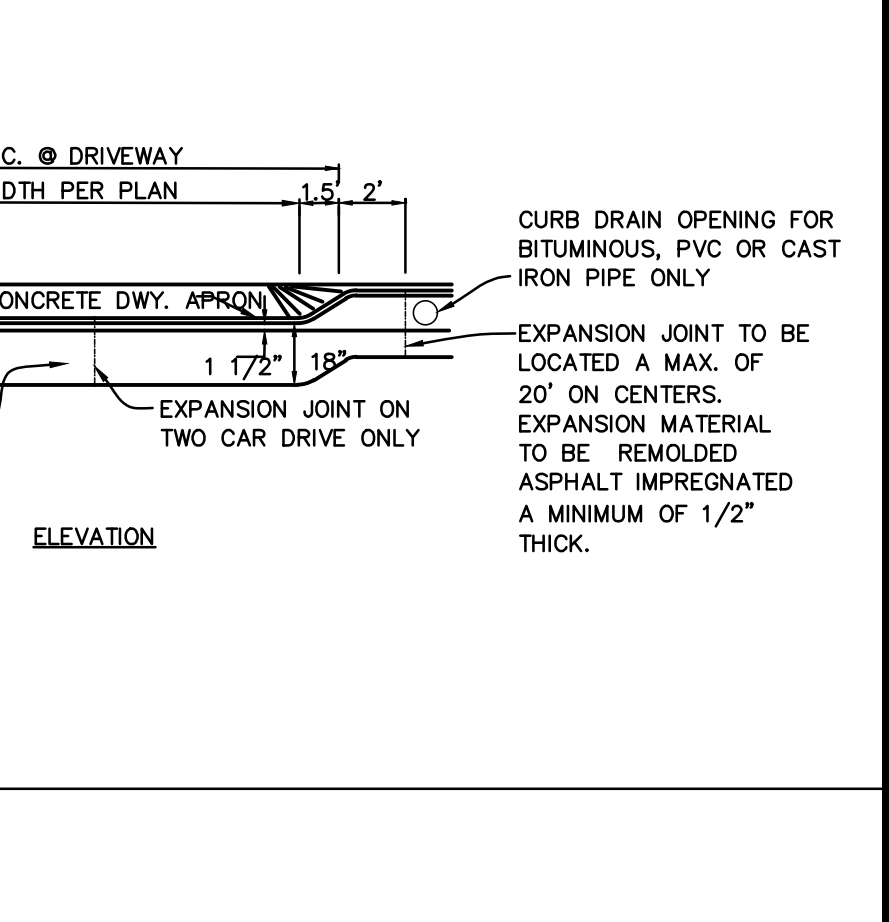
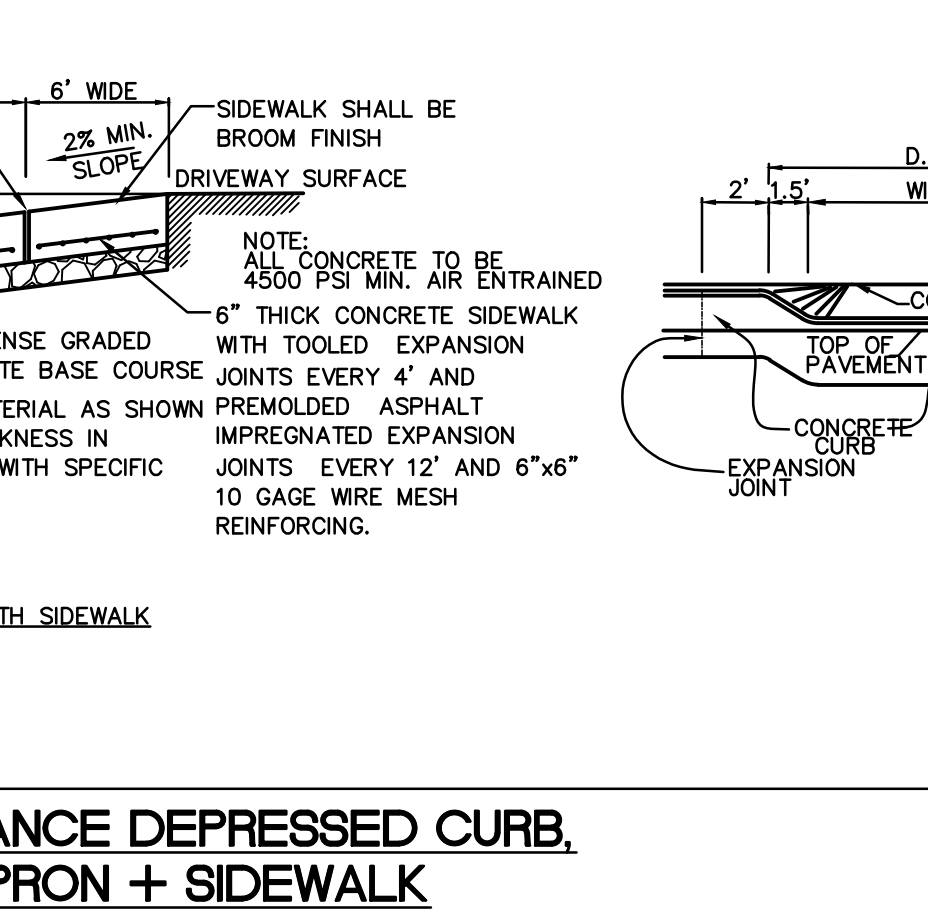
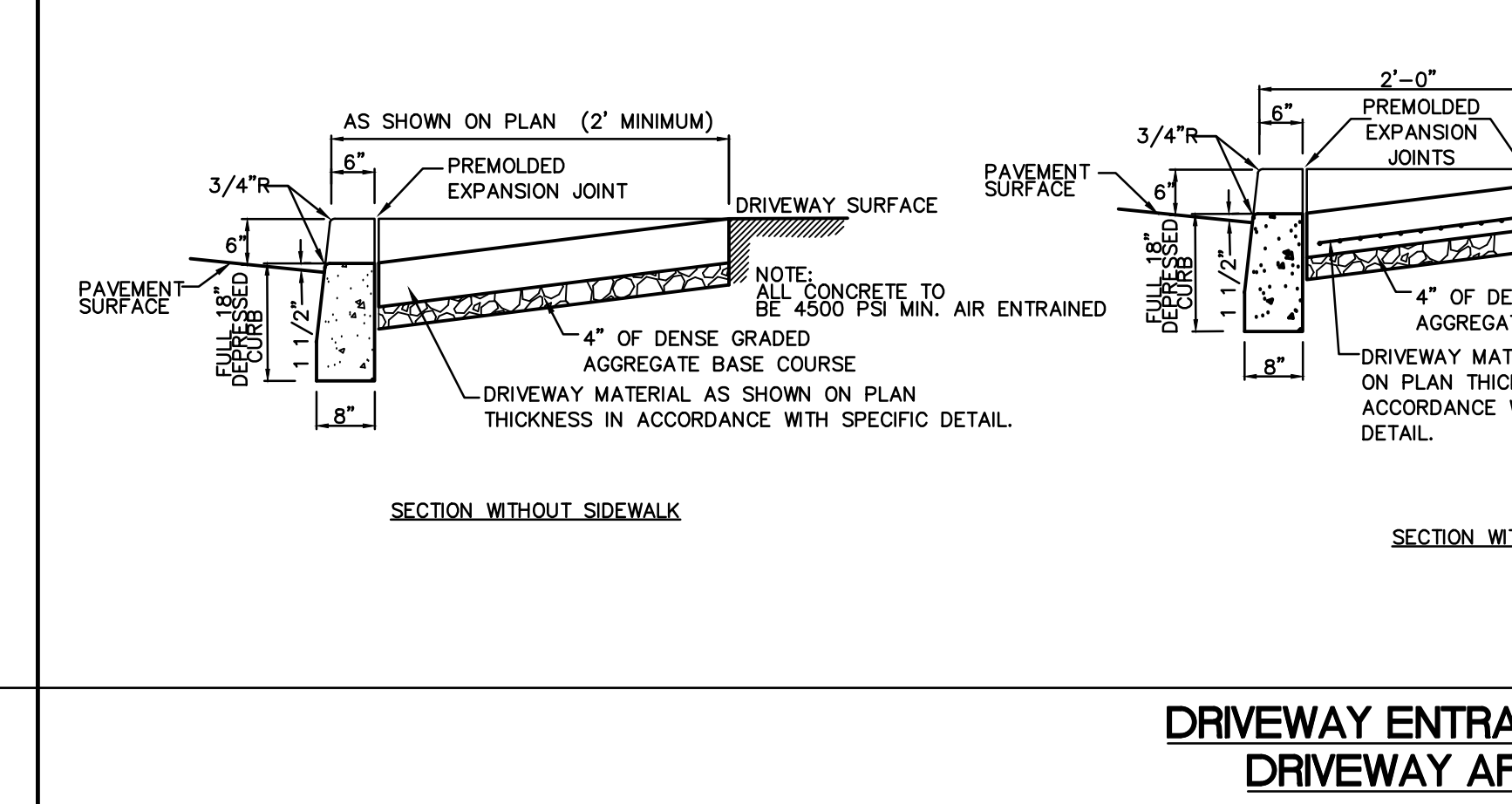
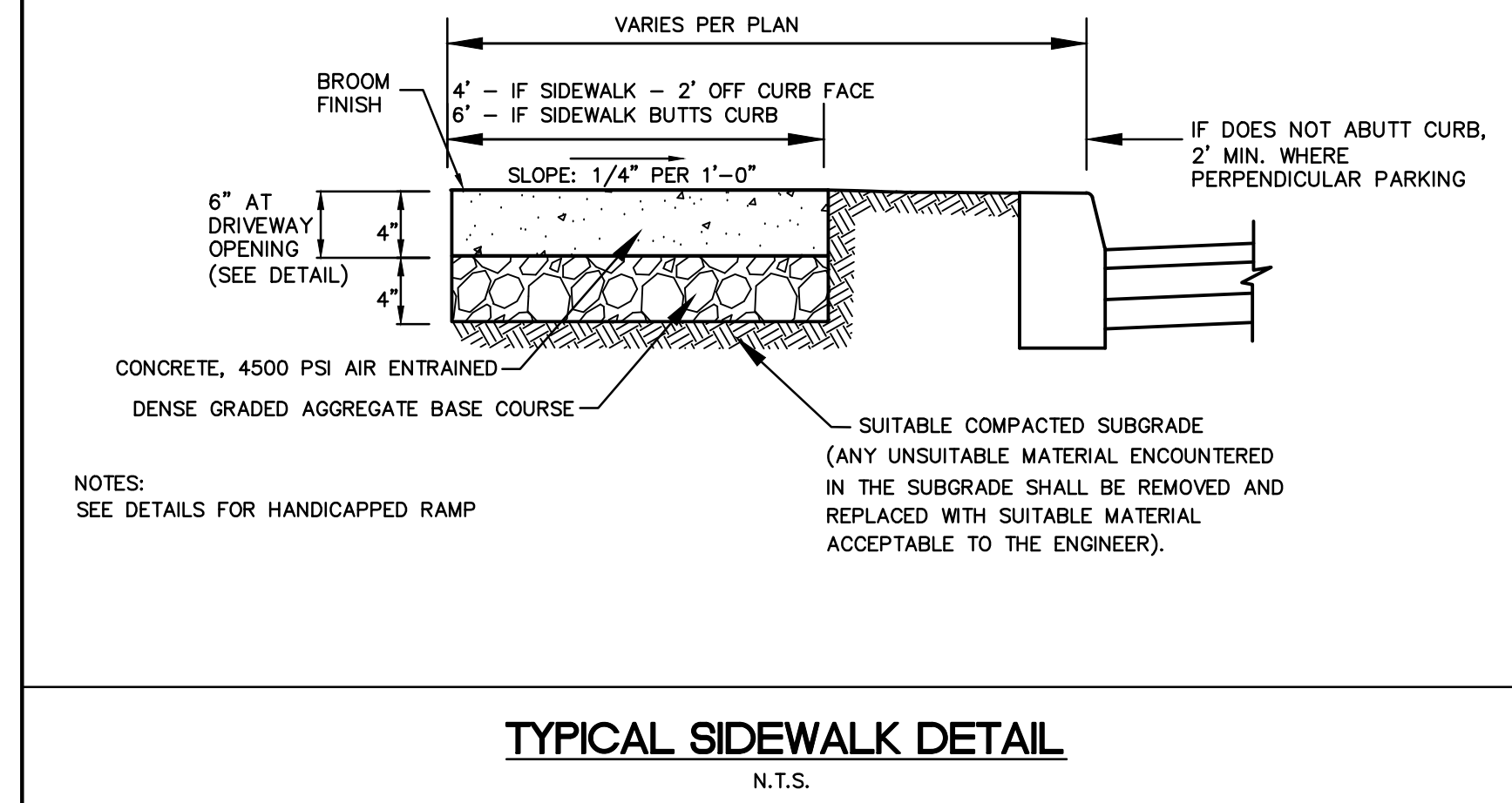
PARKING LOT PAVEMENT DETAIL
N.T.S.

HEAVY DUTY SIDEWALK DETAIL
N.T.S.

CONC. SLAB PAD DETAIL
(TRASH ENCLOSURE & E.V. EQUIPMENT)
N.T.S.

ENCLOSURE FRONT ELEVATION
N.T.S.

TRASH AND RECYCLING COMPACTOR DETAIL
N.T.S.



CONCRETE CURB DEPRESSION
N.T.S.

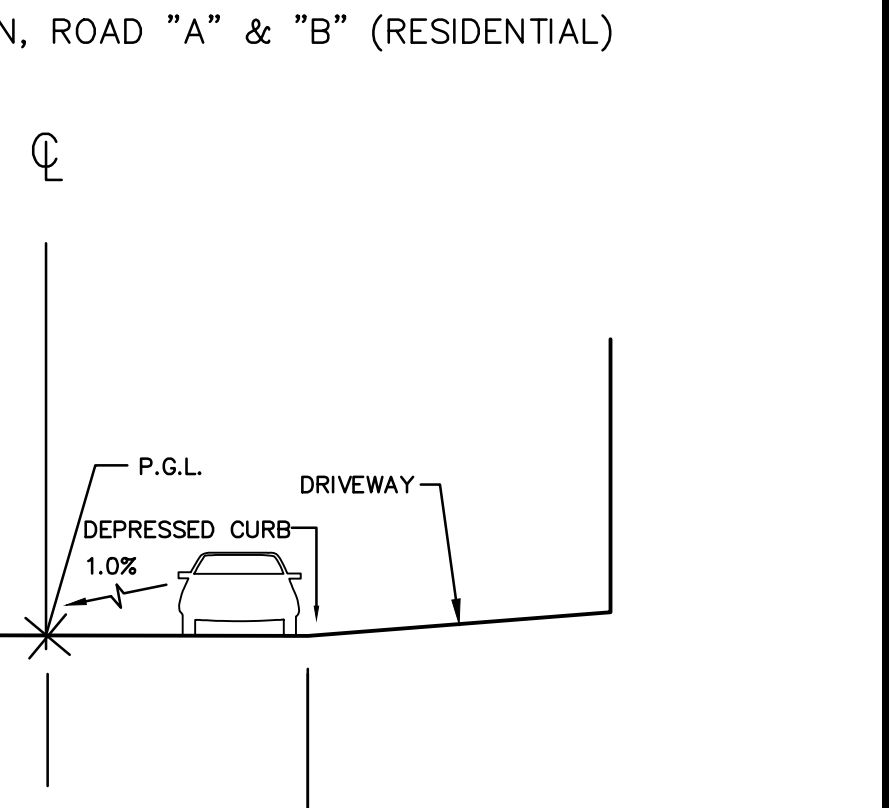
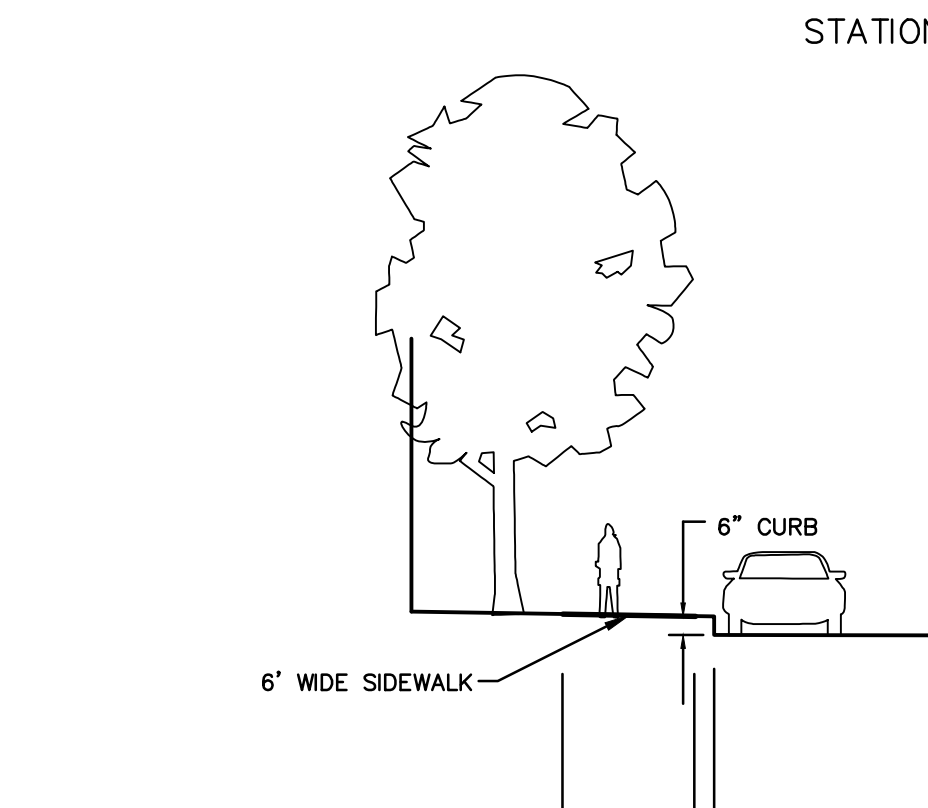
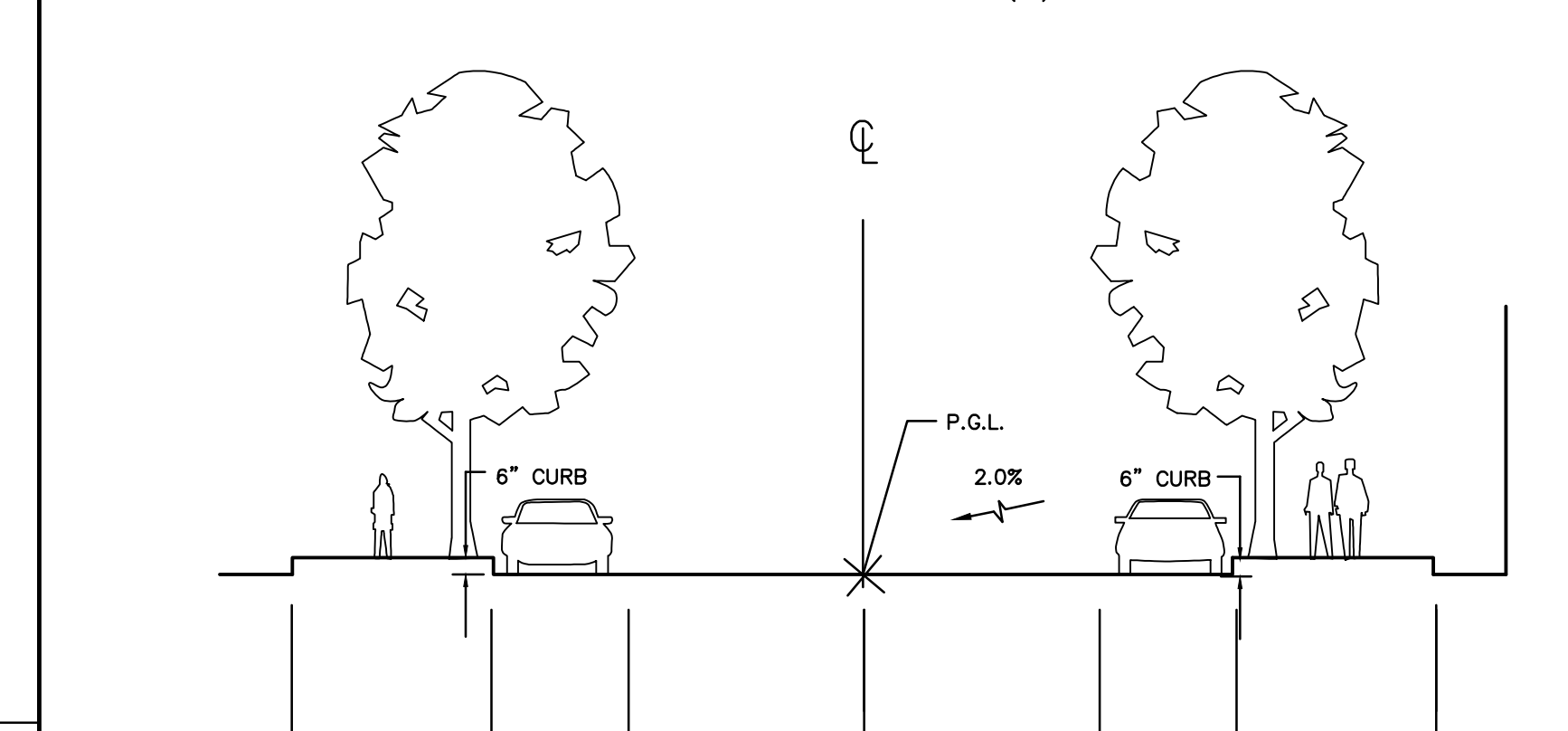
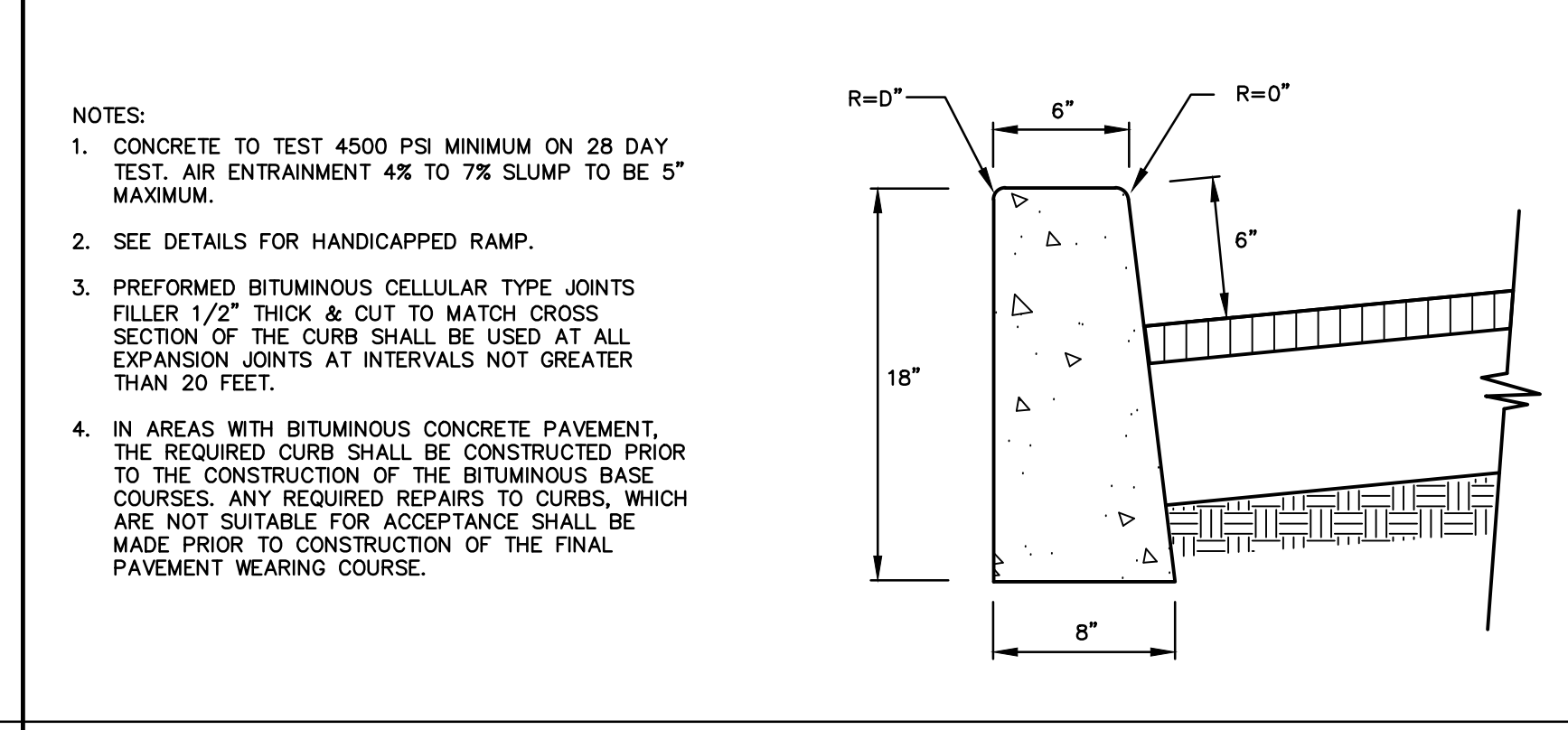
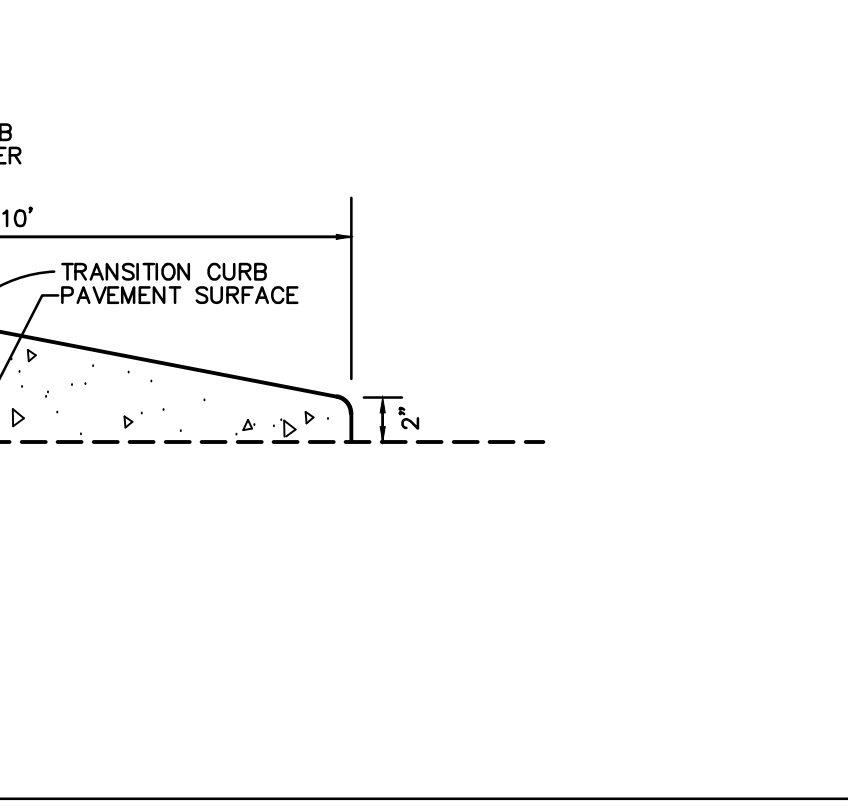
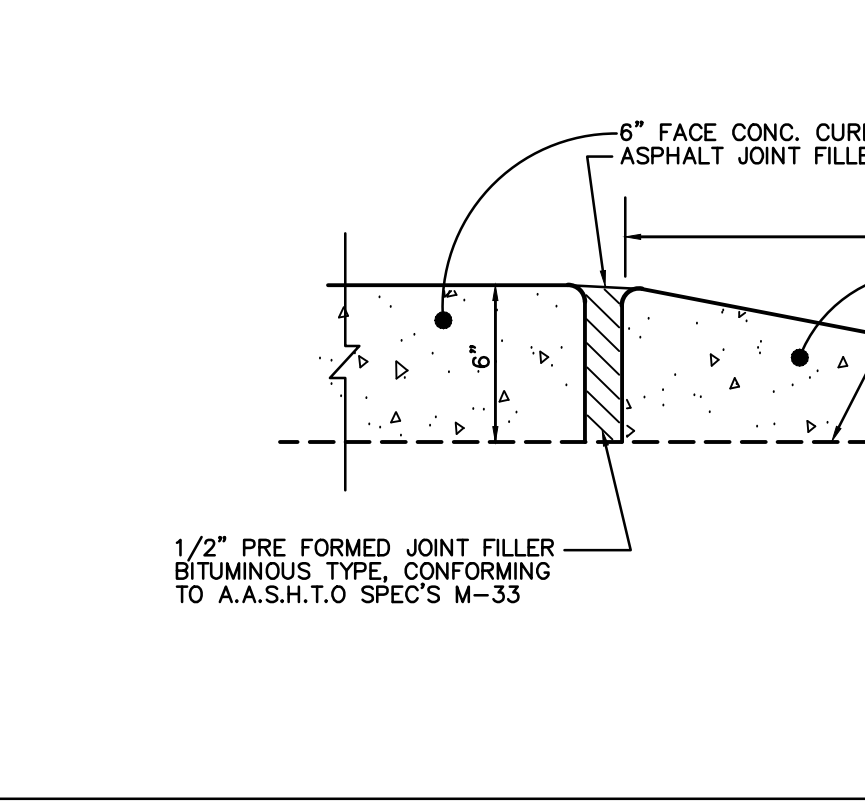
PARKING LOT PAVEMENT DETAIL
N.T.S.

HEAVY DUTY SIDEWALK DETAIL
N.T.S.

CONC. SLAB PAD DETAIL
(TRASH ENCLOSURE & E.V. EQUIPMENT)
N.T.S.

ENCLOSURE FRONT ELEVATION
N.T.S.

TRASH AND RECYCLING COMPACTOR DETAIL
N.T.S.



CONCRETE CURB DEPRESSION
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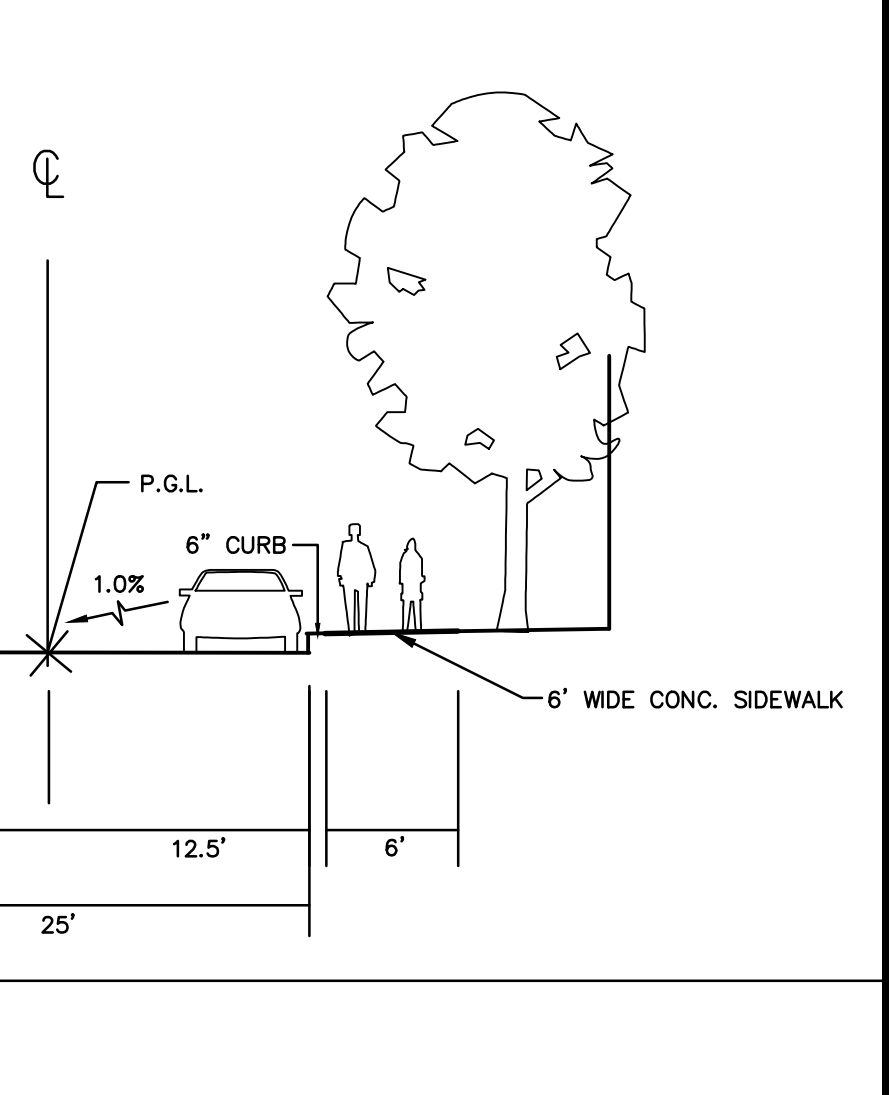
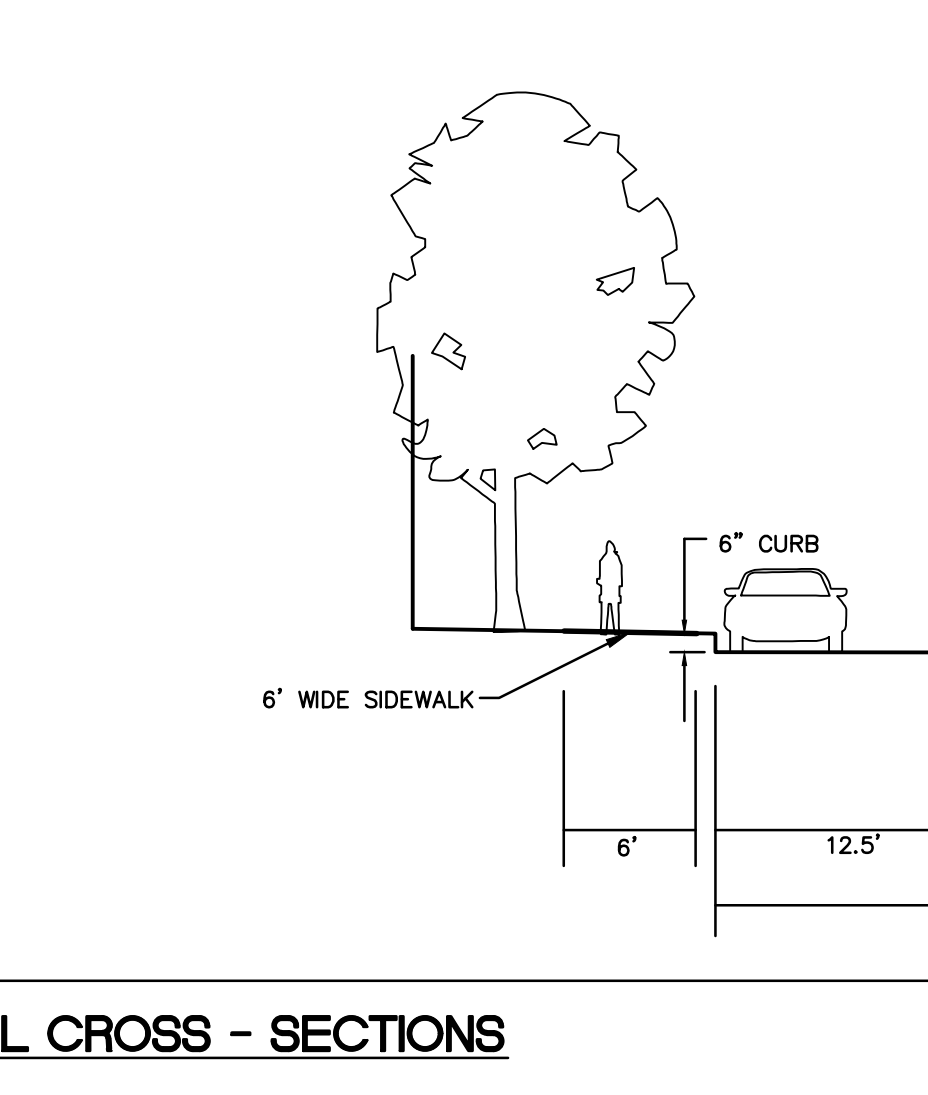
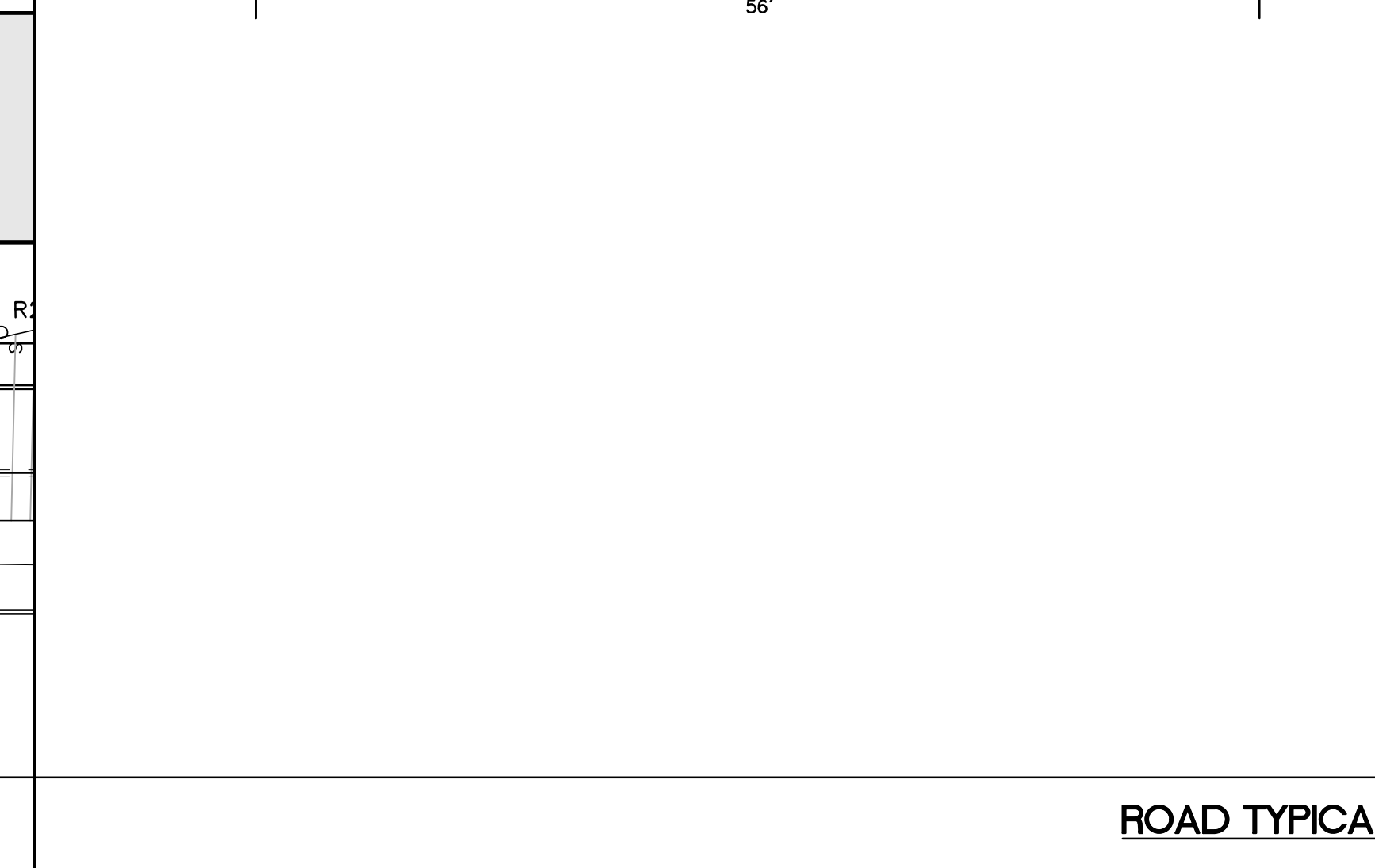
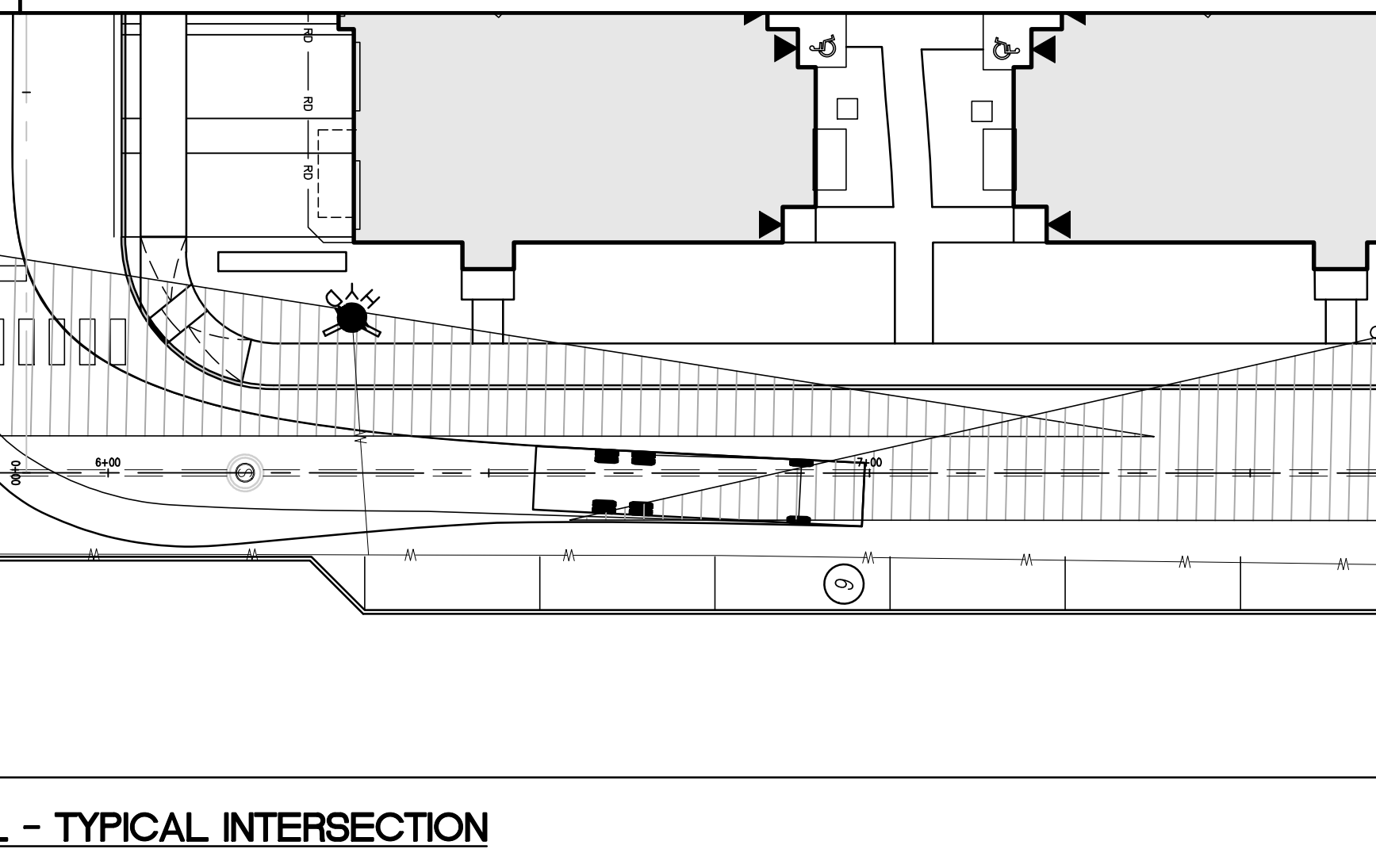
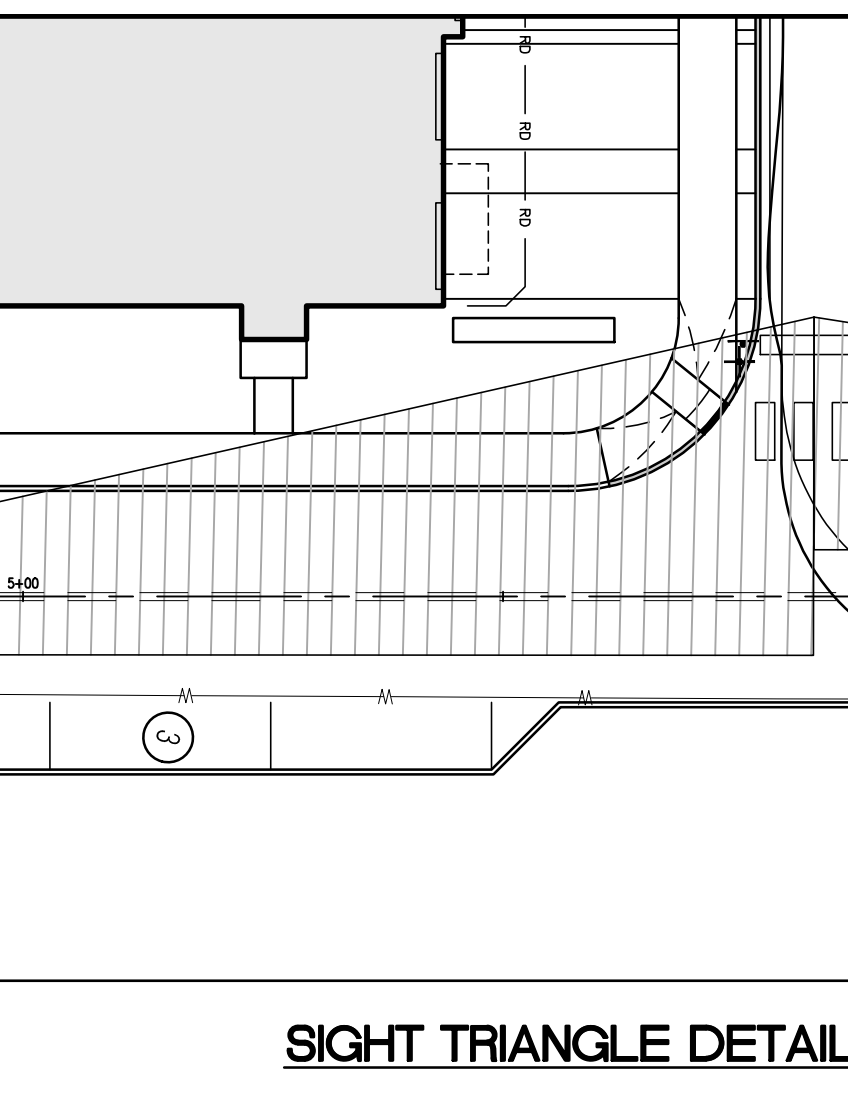
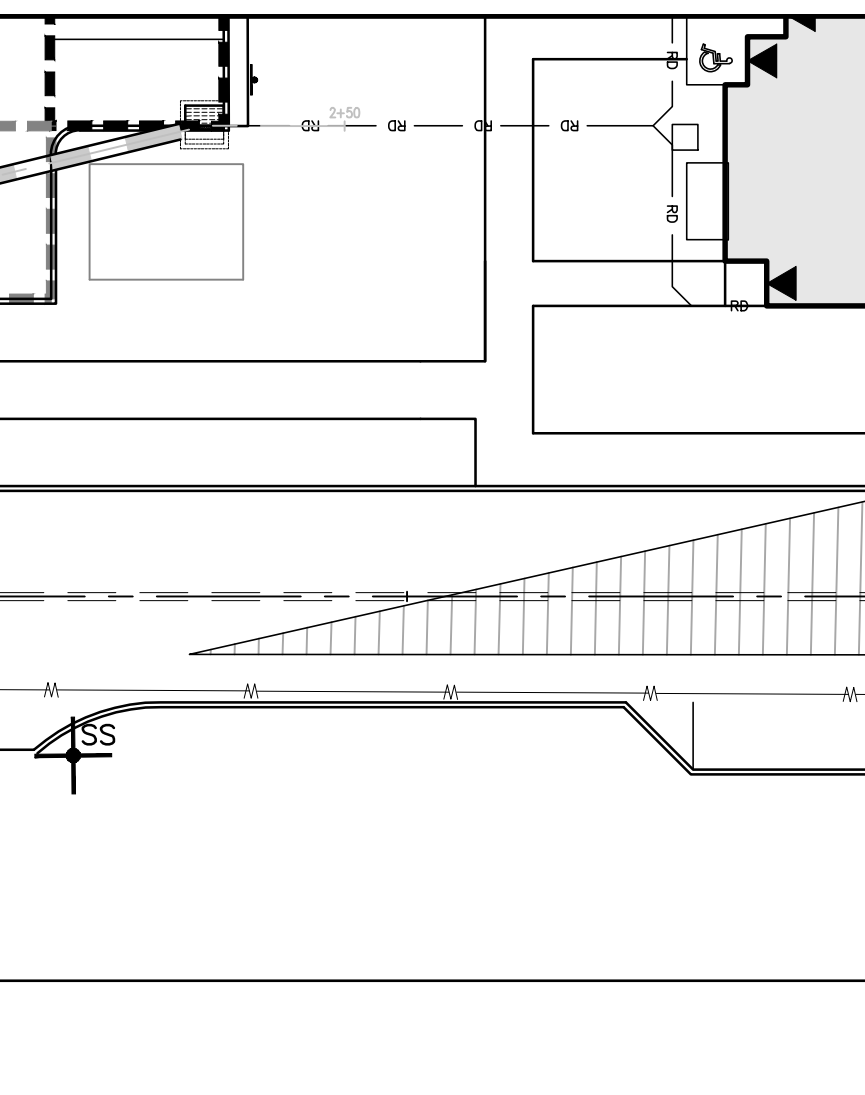
PARKING LOT PAVEMENT DETAIL
N.T.S.

HEAVY DUTY SIDEWALK DETAIL
N.T.S.

CONC. SLAB PAD DETAIL
(TRASH ENCLOSURE & E.V. EQUIPMENT)
N.T.S.

ENCLOSURE FRONT ELEVATION
N.T.S.

TRASH AND RECYCLING COMPACTOR DETAIL
N.T.S.



CONCRETE CURB DEPRESSION
N.T.S.

PARKING LOT PAVEMENT DETAIL
N.T.S.

HEAVY DUTY SIDEWALK DETAIL
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CONC. SLAB PAD DETAIL
(TRASH ENCLOSURE & E.V. EQUIPMENT)
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ENCLOSURE FRONT ELEVATION
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TRASH AND RECYCLING COMPACTOR DETAIL
N.T.S.

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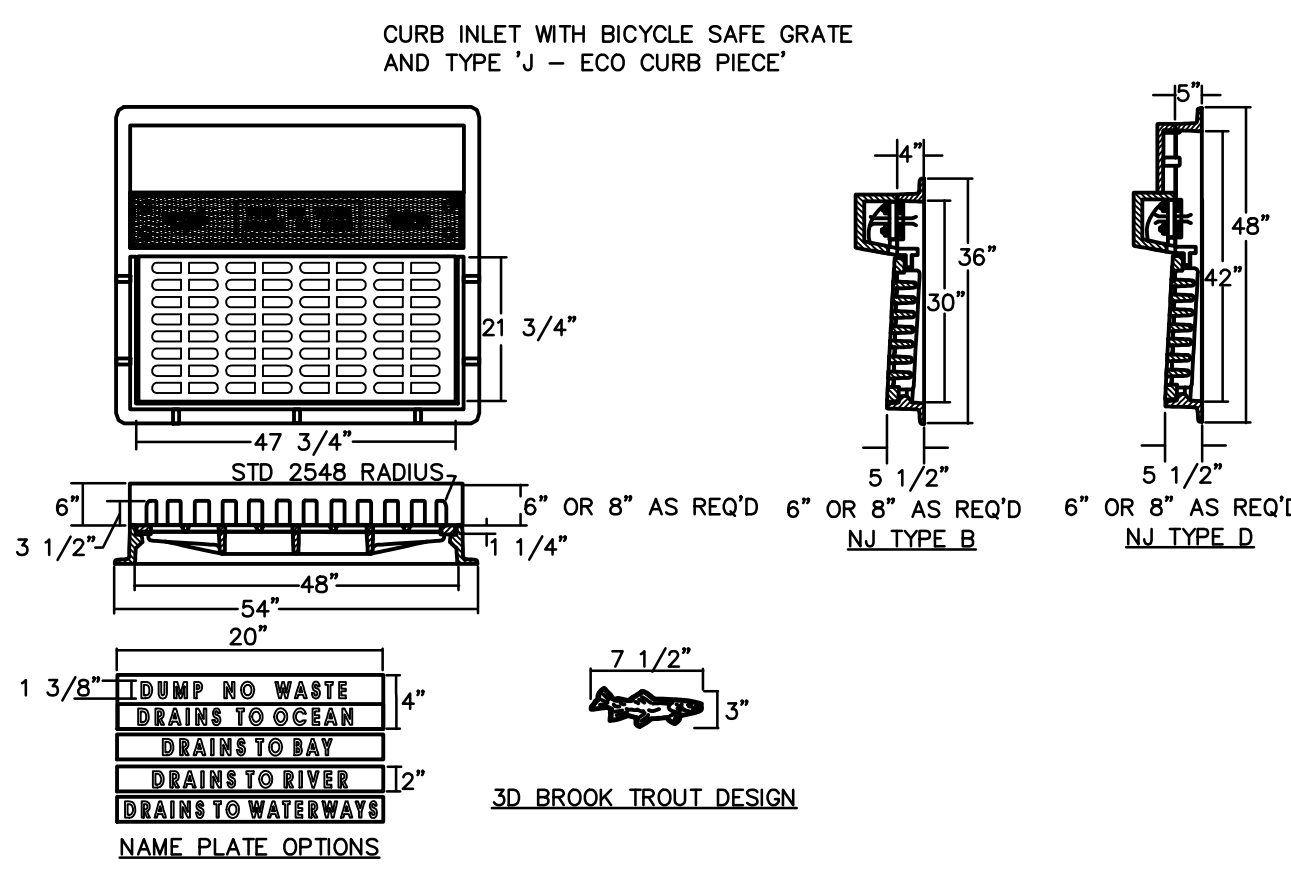
State of New Jersey
 Certificate of Authorization
 Number: 240427989200
 21MH00004300
 F. Mitchell Ardman, P.E., P.P.
 Jeffrey D. Reynolds, P.L.A.

F. Mitchell Ardman
 F. MITCHEL ARDMAN
 N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

Project: AMENDEL PRELIMINARY AND FINAL SITE PLAN PHASE 1F
 BLOCK 141
 LOTS 31,02,36,01,38,39,40,44,01,45,01,47,48,48,01,49,50,01,50,02,50,03,51,52,53,54,55,56,57,01,58,59,60,63,01,123
 NORTH BRUNSWICK TOWNSHIP
 MIDDLESEX COUNTY, NEW JERSEY

drawing title: CONSTRUCTION DETAILS

job number: 21-042	drawing number:
scale: 1"=10'	23
checked by: FMA/AC	
drawn by: AR	
date: 03/09/22	sheet 23 of 29



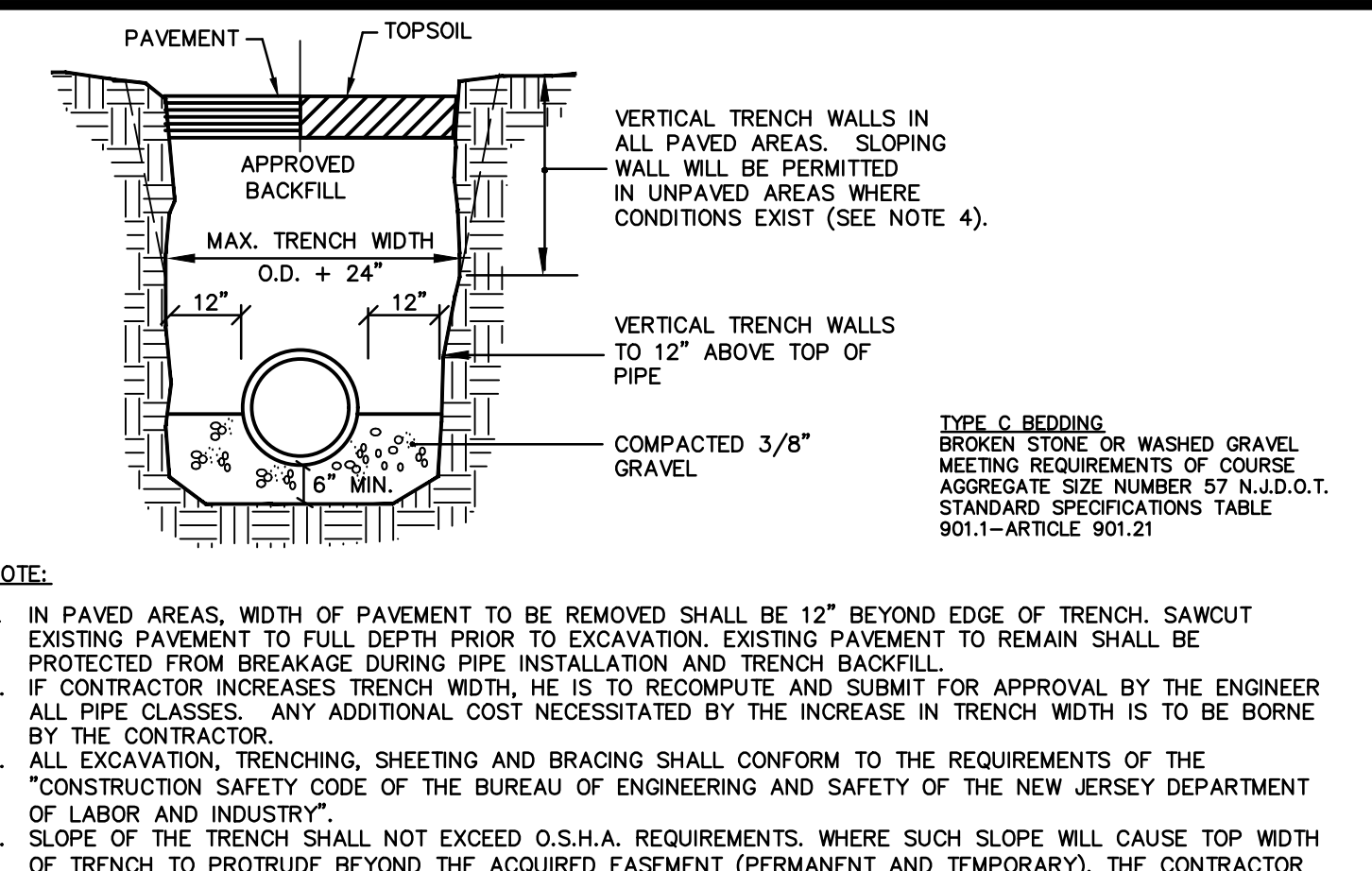
TYPE 'J' CURB PIECE + BICYCLE SAFE GRATE
N.T.S.

1. ALL TRENCHES OR DITCHES WHICH CROSS AN EXISTING STREET AND WHICH ARE DUG FOR SEWERS, WATER MAINS, GAS MAINS OR OTHER UTILITIES, INCLUDING THE HOUSE CONNECTIONS FOR THOSE UTILITIES, SHALL BE FILLED WITH QUARRY PROCESS STONE. THE STONE SHALL BE PLACED IN LAYERS NOT EXCEEDING TWELVE (12) INCHES IN DEPTH AND SHALL BE SPRINKLED WITH WATER AND MECHANICALLY COMPACTED. ALL SOFT SPOTS AND DEPRESSIONS IN A SURFACE WHICH HAS BEEN GRADED WILL BE REMOVED AND FILLED WITH STONE OF A SIZE TO BE DETERMINED BY THE TOWNSHIP ENGINEER. ALL TRENCHES WHICH ARE DUG IN A FUTURE STREET OR EXISTING R.O.W., ON WHICH NO SUBBASE OR PAVEMENT HAS BEEN CONSTRUCTED SHALL BE BACKFILLED AS INDICATED ABOVE OR MAY BE BACKFILLED WITH SUITABLE ON-SITE EXCAVATED MATERIALS OR IMPORTED FILL.

2. PRIOR TO USING ANY ON-SITE AND/OR IMPORTED SOIL MATERIALS THE CONTRACTOR OR ANY INDIVIDUAL OR FIRM SHALL EMPLOY A RECOGNIZED SOILS LABORATORY TO SECURE SOIL SAMPLES; PERFORM THE NECESSARY LABORATORY ANALYSIS AND ESTABLISH THE COMPACTION AND OTHER CRITERIA NECESSARY FOR THE PROPER PLACEMENT OF THE BACKFILL. A REPORT OF THE LABORATORY FINDINGS, INCLUDING THE COMPACTION SPECIFICATIONS, SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER FOR REVIEW AND APPROVAL PRIOR TO COMMENCING ANY BACKFILL OPERATIONS USING ON-SITE SOIL AND/OR IMPORTED SOIL MATERIALS.

3. DURING THE BACKFILLING OPERATIONS, THE CONTRACTOR OR ANY INDIVIDUAL OR FIRM ENGAGED IN A BACKFILLING OPERATION SHALL EMPLOY A PROFESSIONAL ENGINEER, LICENSED IN THE STATE OF NEW JERSEY, OR HIS REPRESENTATIVE, WHO IS REGULARLY ENGAGED IN THE PRACTICE OF GEOTECHNICAL ENGINEERING AND WHO IS TRAINED IN SOIL MECHANICS, TO OBSERVE THE PLACEMENT OF THE BACKFILL. THE SOILS ENGINEER SHALL FILE DAILY REPORTS, WITH THE TOWNSHIP ENGINEER INDICATING THE RESULTS OF THE COMPACTION AND UPON THE CONCLUSION OF THE PROJECT FILE A FINAL CERTIFICATION INDICATING THAT THE BACKFILL MATERIAL HAS BEEN PLACED AND COMPACTED IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED IN THE APPROVED LABORATORY REPORT.

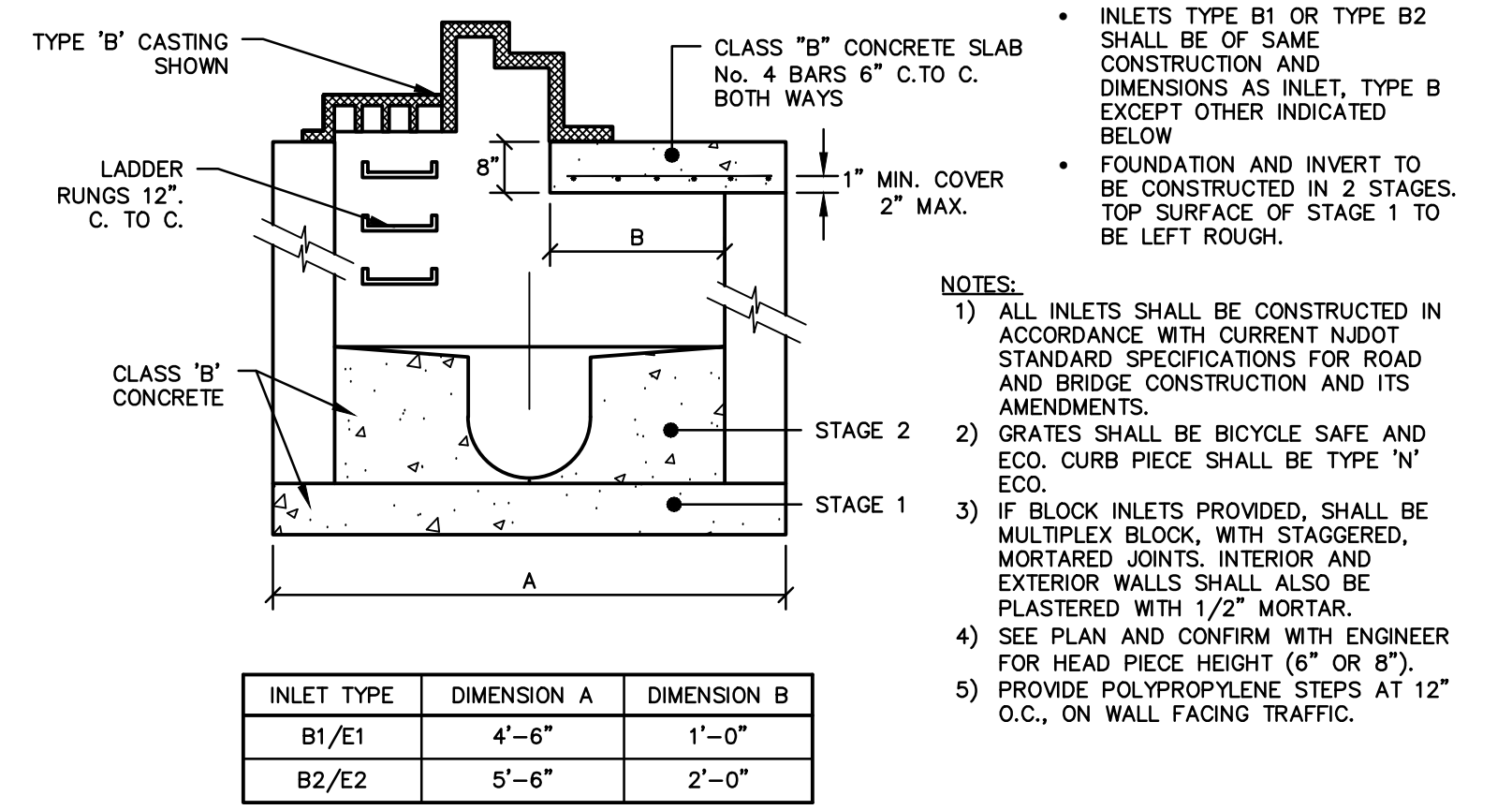
TRENCH NOTES



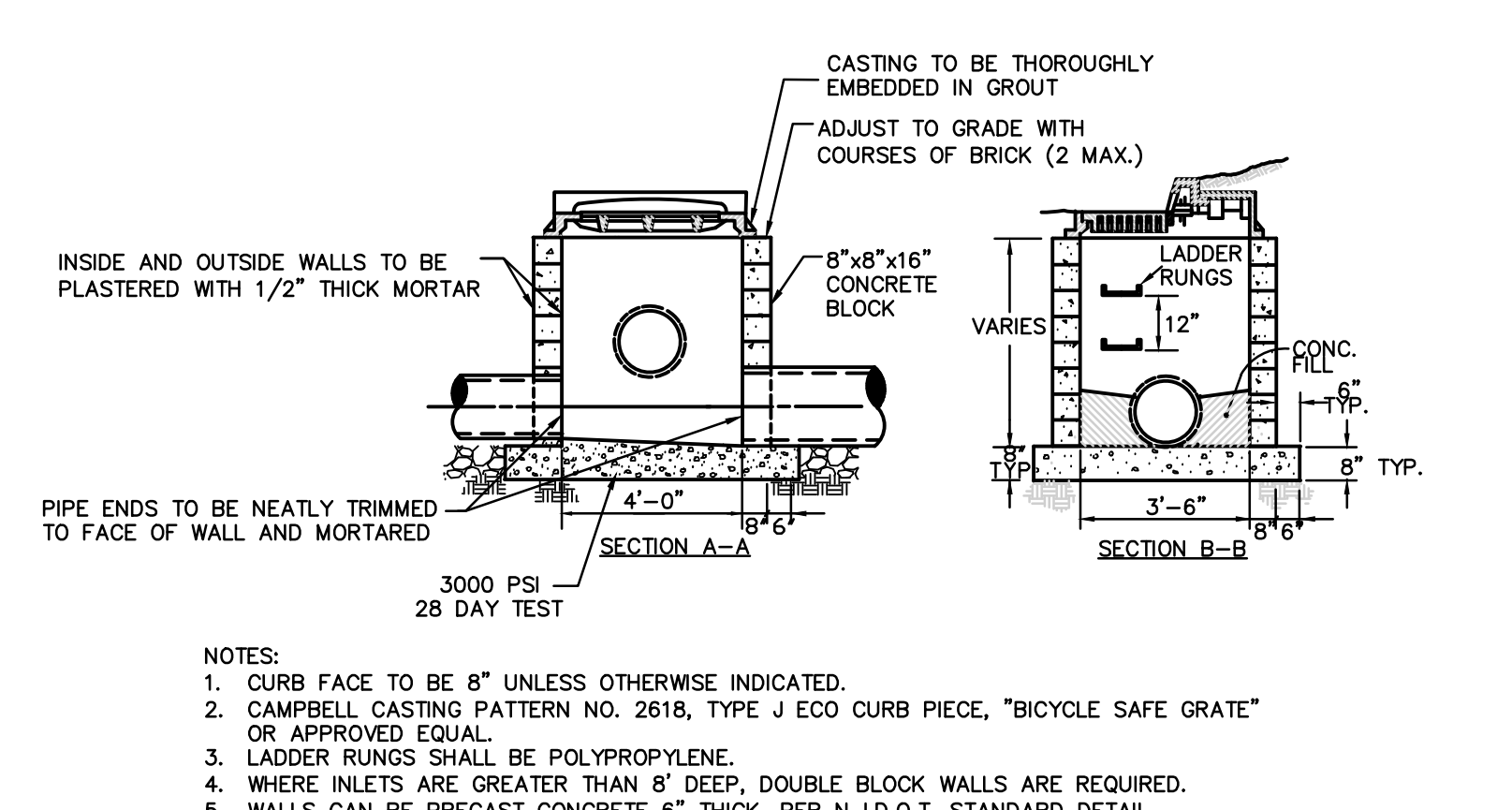
TYPICAL STORM LINE TRENCH

NOTE:

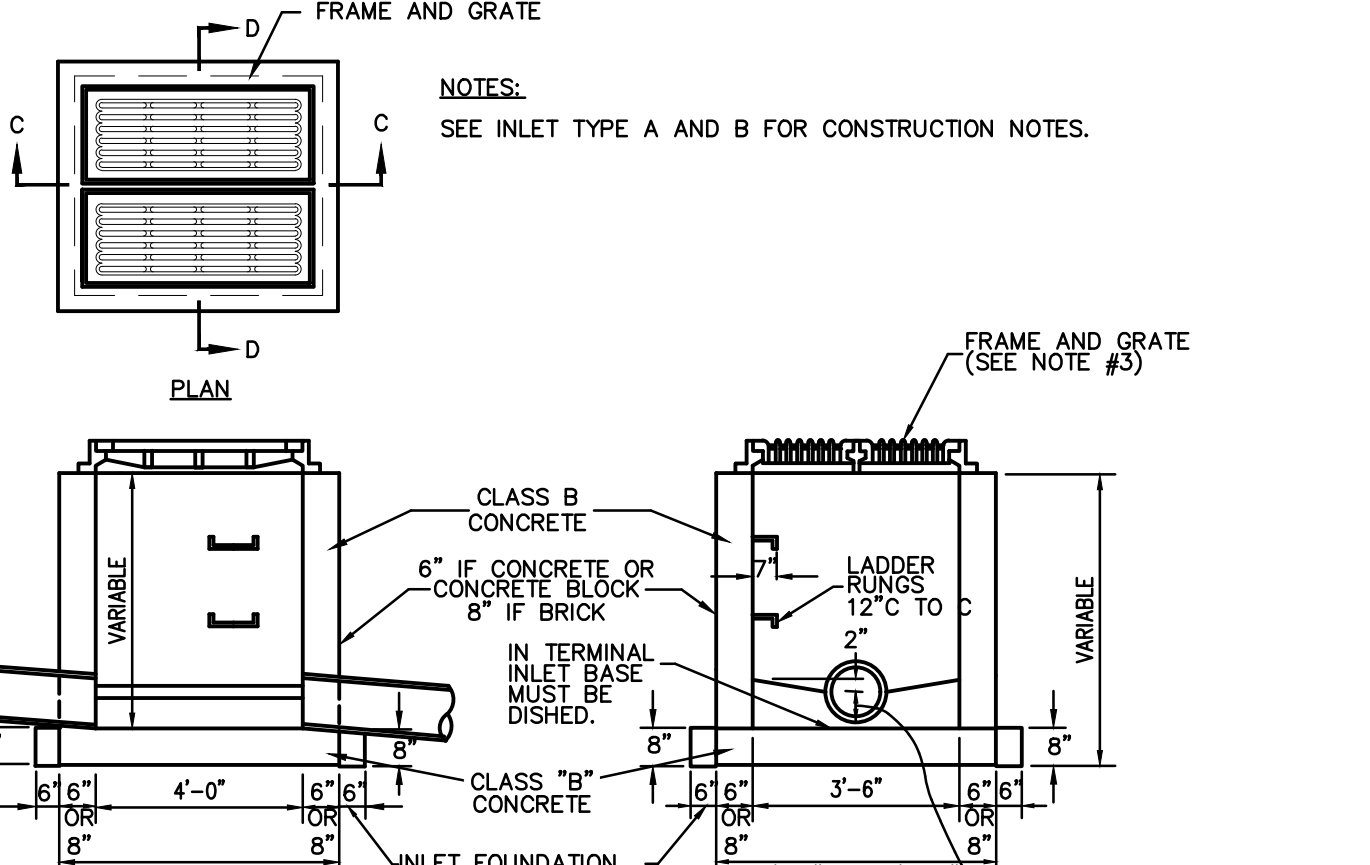
- IN PAVED AREAS, WIDTH OF PAVEMENT TO BE REMOVED SHALL BE 12" BEYOND EDGE OF TRENCH. SAWCUT EXISTING PAVEMENT TO FULL DEPTH PRIOR TO EXCAVATION. EXISTING PAVEMENT TO REMAIN SHALL BE PROTECTED FROM BREAKAGE DURING PIPE INSTALLATION AND TRENCH BACKFILL.
- IF CONTRACTOR INCREASES TRENCH WIDTH, HE IS TO RECOMPUTE AND SUBMIT FOR APPROVAL BY THE ENGINEER ALL PIPE CLASSES. ANY ADDITIONAL COST INCURRED BY THE INCREASE IN TRENCH WIDTH IS TO BE BORNE BY THE CONTRACTOR.
- ALL EXCAVATION, TRENCHING, SHEETING AND BRACING SHALL CONFORM TO THE REQUIREMENTS OF THE CONSTRUCTION SAFETY CODE OF THE BUREAU OF ENGINEERING AND SAFETY OF THE NEW JERSEY DEPARTMENT OF LABOR AND INDUSTRY.
- SLOPE OF THE TRENCH SHALL NOT EXCEED O.S.H.A. REQUIREMENTS, WHERE SUCH SLOPE WILL CAUSE TOP WIDTH OF TRENCH TO PROTRUDE BEYOND THE ACQUIRED EASEMENT (PERMANENT AND TEMPORARY), THE CONTRACTOR SHALL USE SHEETING.



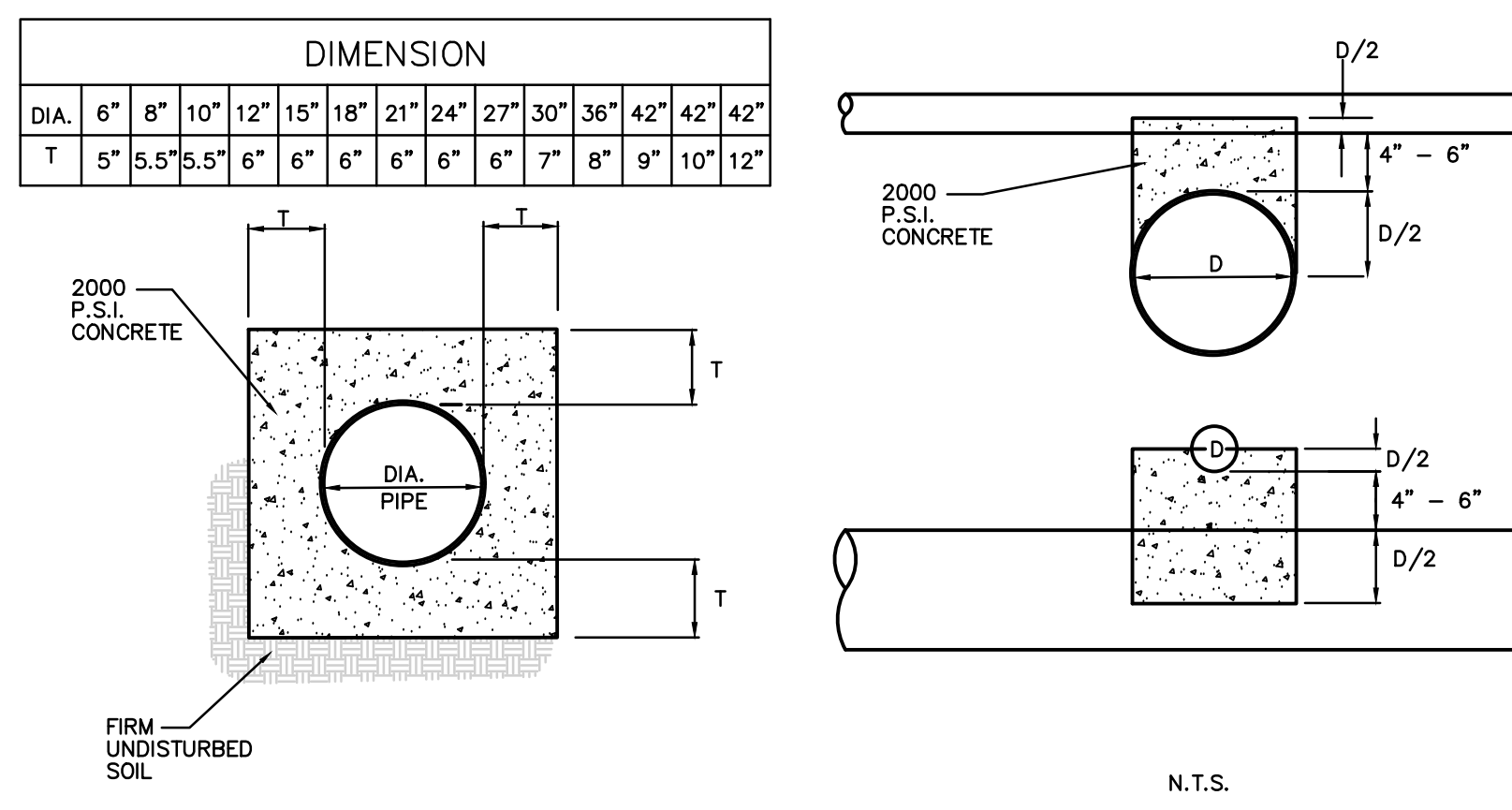
INLETS - TYPE B1/E1 AND TYPE B2/E2
CDI BB-1A (TYPE 'E2'), CDI BB-1B (TYPE 'B2')



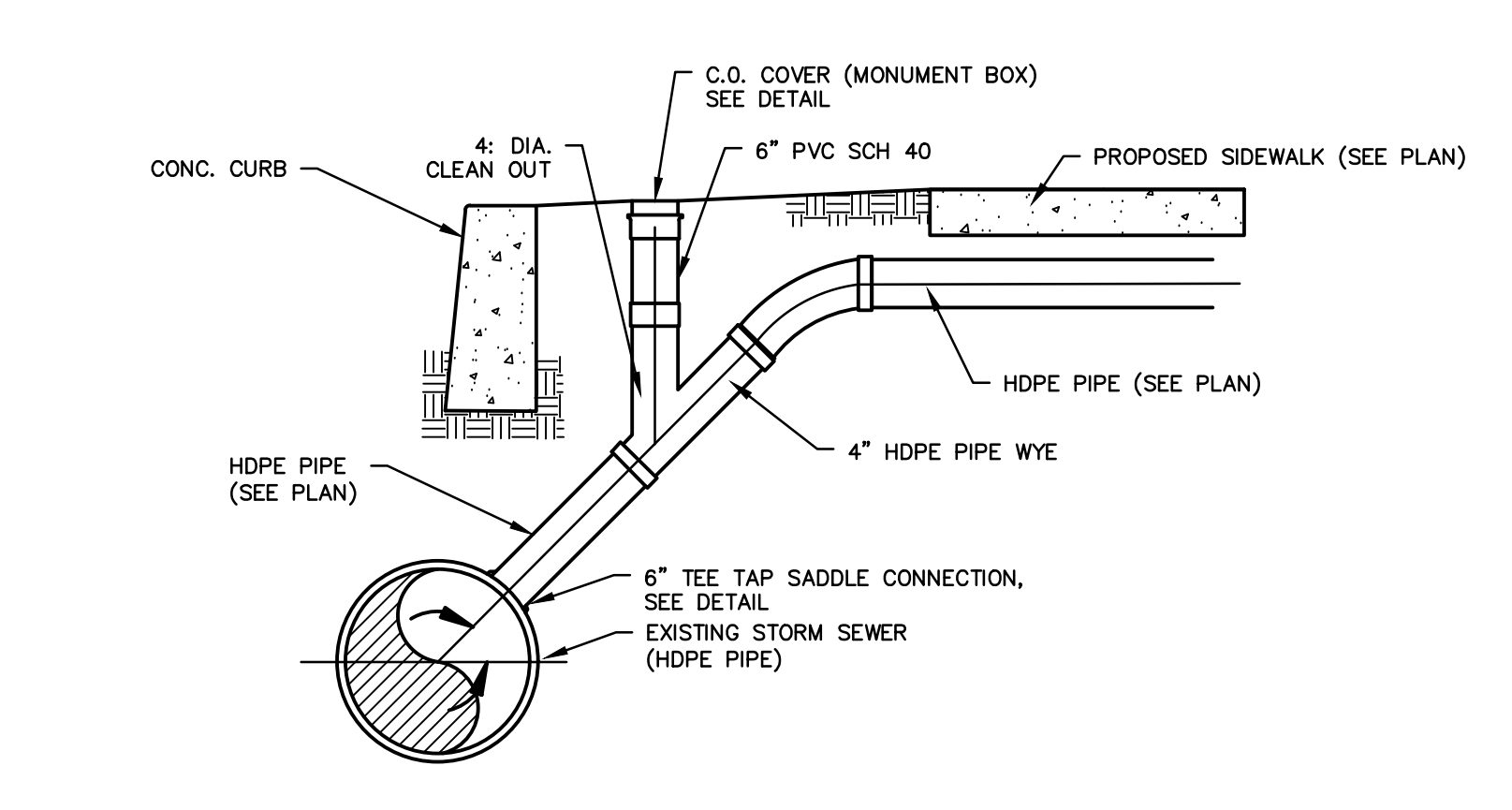
INLET TYPE 'B'
N.T.S.



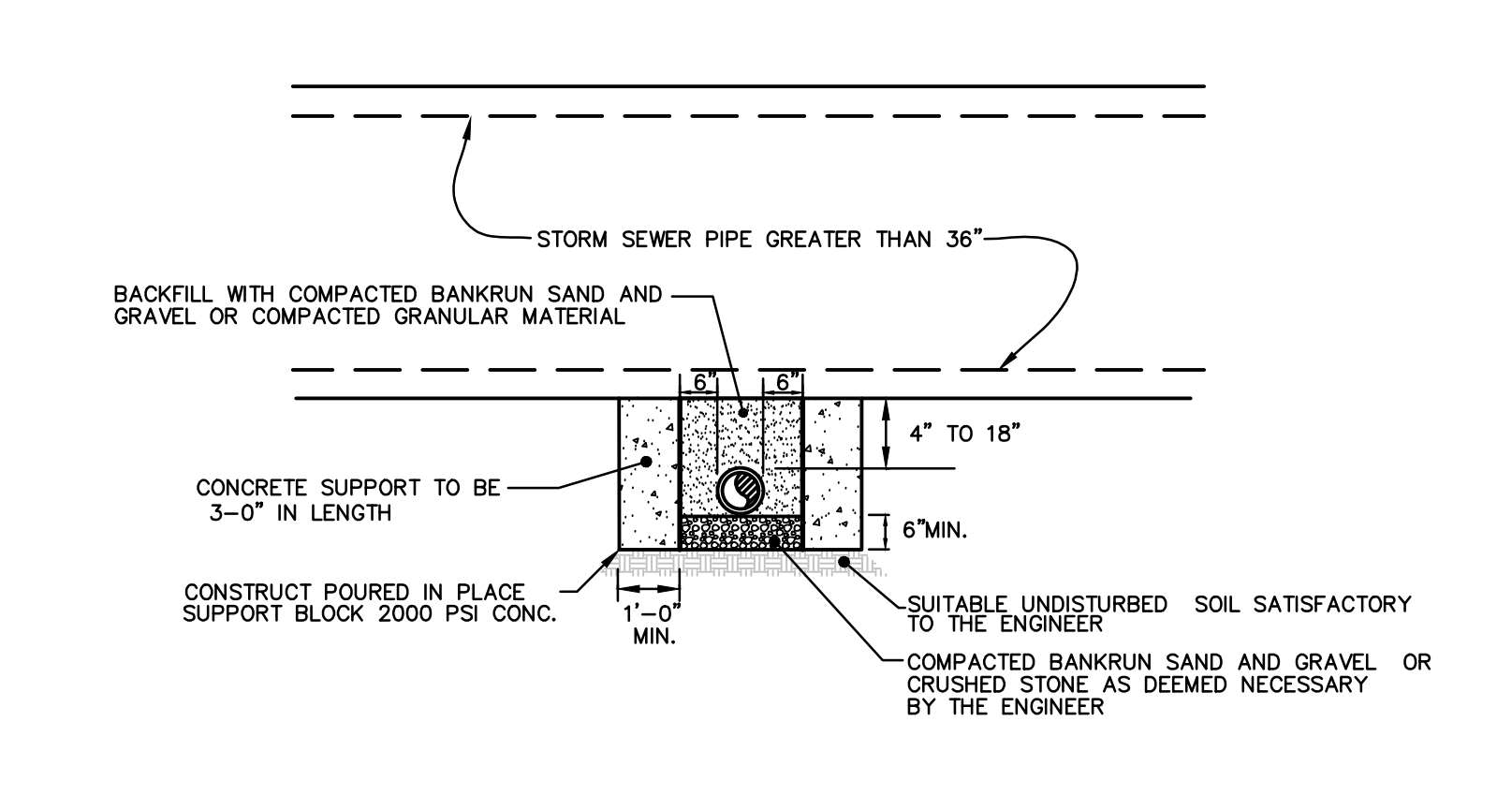
TYPE 'E' INLET
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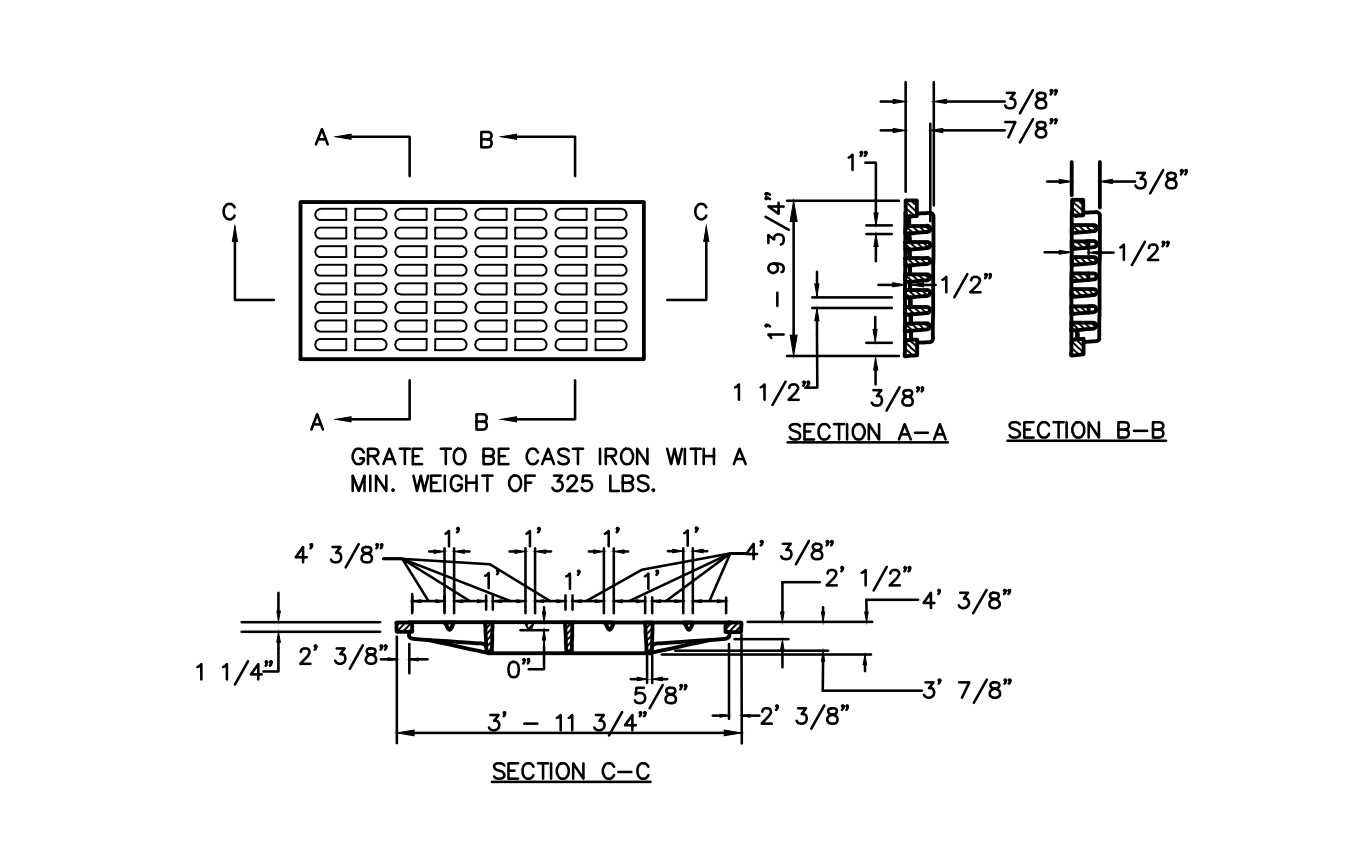
CONCRETE ENCASEMENT + CRADLE
N.T.S.



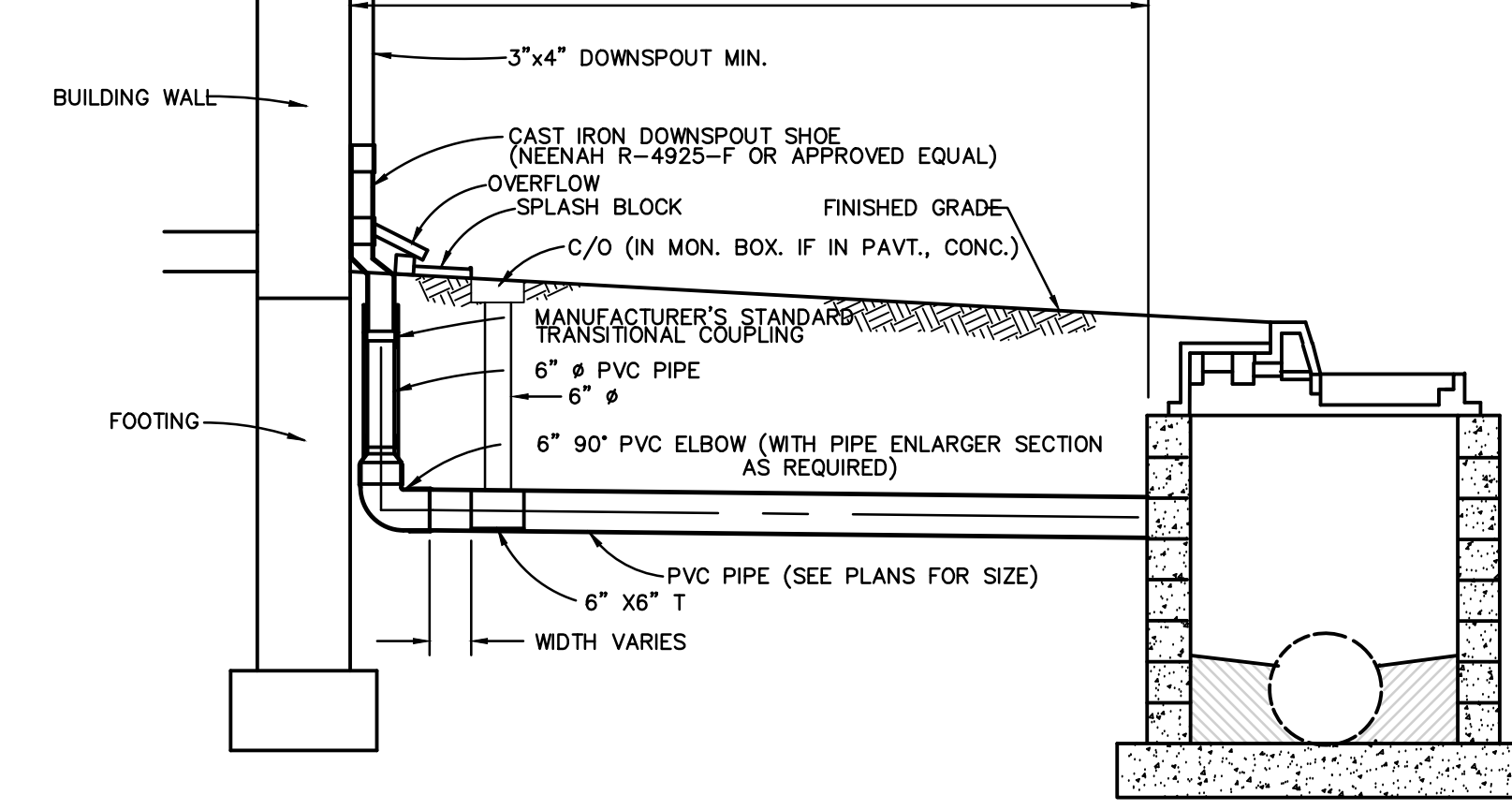
DRAIN CONNECTION TO EXISTING STORM SEWER



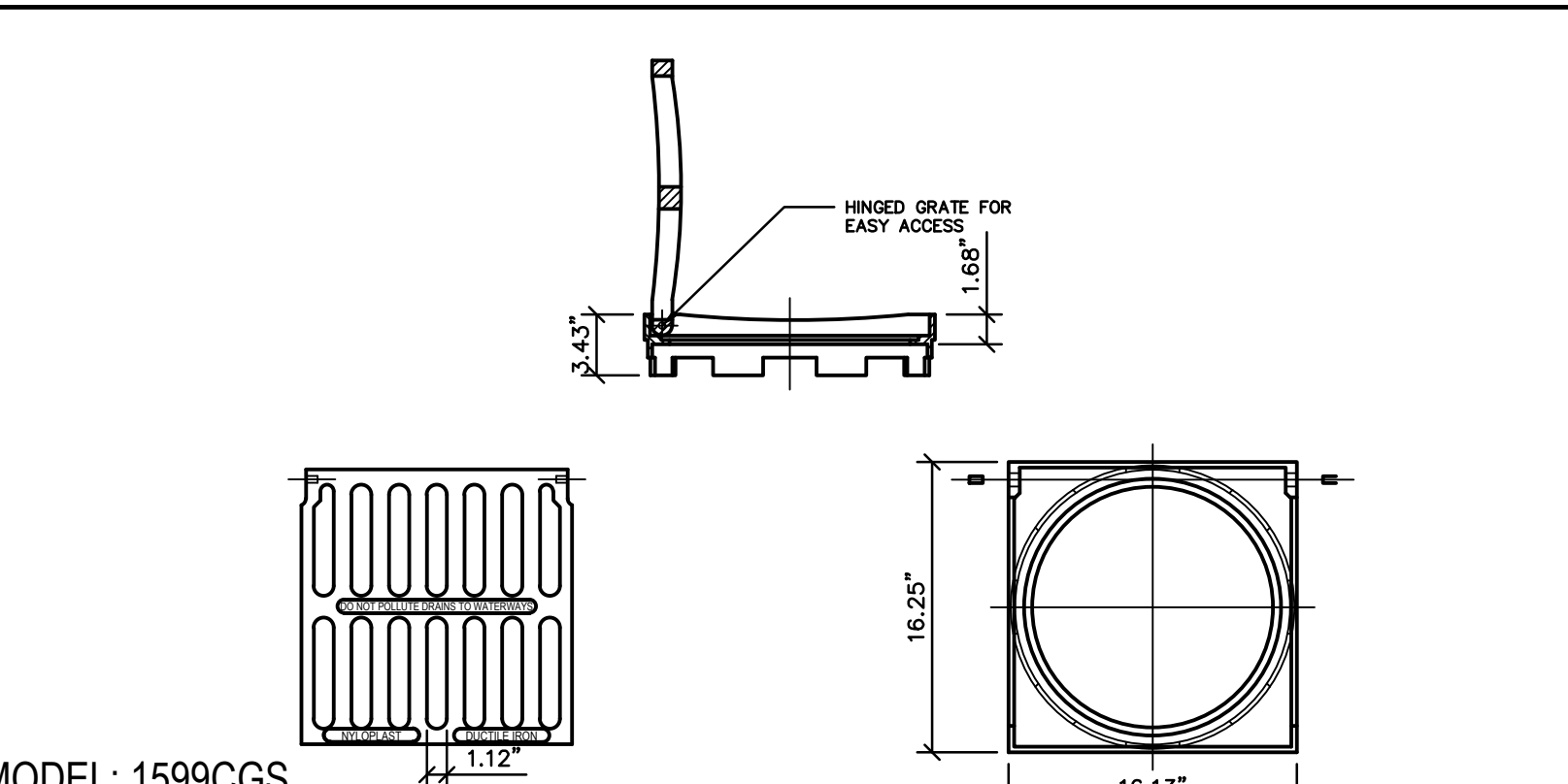
CONCRETE SUPPORT BLOCK DETAIL: PIPE/UTILITY CROSSING
N.T.S.



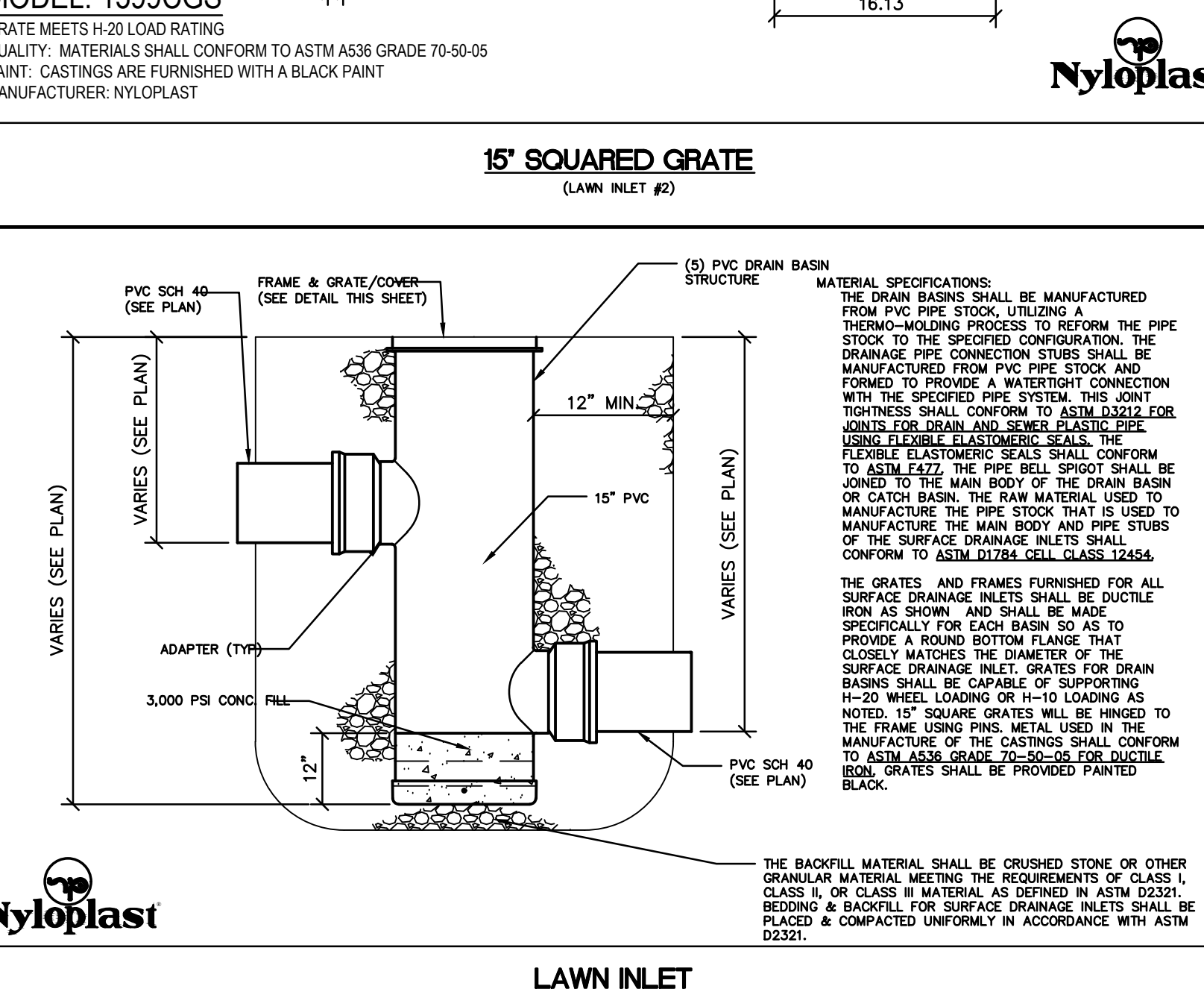
BICYCLE SAFE GRATE
N.T.S.
CAMPBELL CASTING 2618 OR EQUAL



TYPICAL ROOF DRAIN TIE-IN DETAIL
N.T.S.



15' SQUARED GRATE
(LAWN INLET #2)



LAWN INLET
(AS MANUF. BY NYLOPLAST OR EQUAL)

GENERAL NOTES

- INLETS MAY BE CONSTRUCTED OF BRICK, CONCRETE, CONCRETE BLOCK OR PRECAST CONCRETE. WALLS SHALL BE 8 INCHES THICK IF BRICK AND 6 INCHES THICK IF CONCRETE, CONCRETE BLOCK OR PRECAST CONCRETE. INLET FOUNDATIONS AND INVERTS SHALL BE CLASS B CONCRETE.
- CORRELLING OF INLET WALLS WILL BE PERMITTED AT THE RATE OF 1/8 INCH PER 8 INCHES OF HEIGHT; MAXIMUM CORREL 6 INCHES PER WALL.
- EXCEPT FOR INLETS TYPE A AND C, FOUNDATIONS AND INVERTS SHALL BE CONSTRUCTED IN TWO STAGES AND THE BOTTOM OF THE FOOTINGS SHALL BE 8 INCHES BELOW THE OUTER WALL OF THE LOWEST PIPE IN THE INLET.
- WHEN THE DEPTH OF AN INLET THAT IS NOT PRECAST EXCEEDS 10 FEET AS MEASURED FROM TOP OF GRATE TO INVERT, WALLS BELOW A DEPTH OF 8 FEET SHALL BE 12 INCHES THICK AND THE DEPTH OF FOUNDATION INCREASED TO 12 INCHES. WHEN ROCK IS ENCOUNTERED THE DEPTH OF FOUNDATION SHALL NOT BE INCREASED.
- INLET FOUNDATIONS WHICH ARE PRECAST SHALL BE PLACED ON A 6 INCH THICK BED OF COMPACTED COARSE AGGREGATE #57. THE COARSE AGGREGATE SHALL EXTEND 8 INCHES BEYOND THE HORIZONTAL LIMITS OF THE INLET FOUNDATION.
- CASTINGS FOR PRECAST INLETS SHALL BE ADJUSTED TO GRADE WITH COURSES OF BRICK, AS REQUIRED, 12 INCHES MAXIMUM.
- WHEN THE DEPTH OF A PRECAST INLET EXCEEDS 10 FEET AS MEASURED FROM TOP OF GRATE TO INVERT, THE FOUNDATION SHALL BE INCREASED TO 12 INCHES. WHEN ROCK IS ENCOUNTERED, THE DEPTH OF THE FOUNDATION SHALL NOT BE INCREASED.
- MINIMUM WALL REINFORCEMENT FOR PRECAST INLETS TYPES A, B, C, E, D-1, D-2, AND B MODIFIED:

DEPTH BELOW TOP OF GRATE	HORIZONTAL REINF.	VERTICAL REINF.	WALL THK.
0' TO 10'-0"	#13 @ 10" C.C.	#13 @ 18" C.C.	6"
10'-1" TO 15'-0"	#13 @ 8" C.C.	#13 @ 18" C.C.	6"
15'-1" TO 20'-0"	#13 @ 6" C.C.	#13 @ 18" C.C.	6"

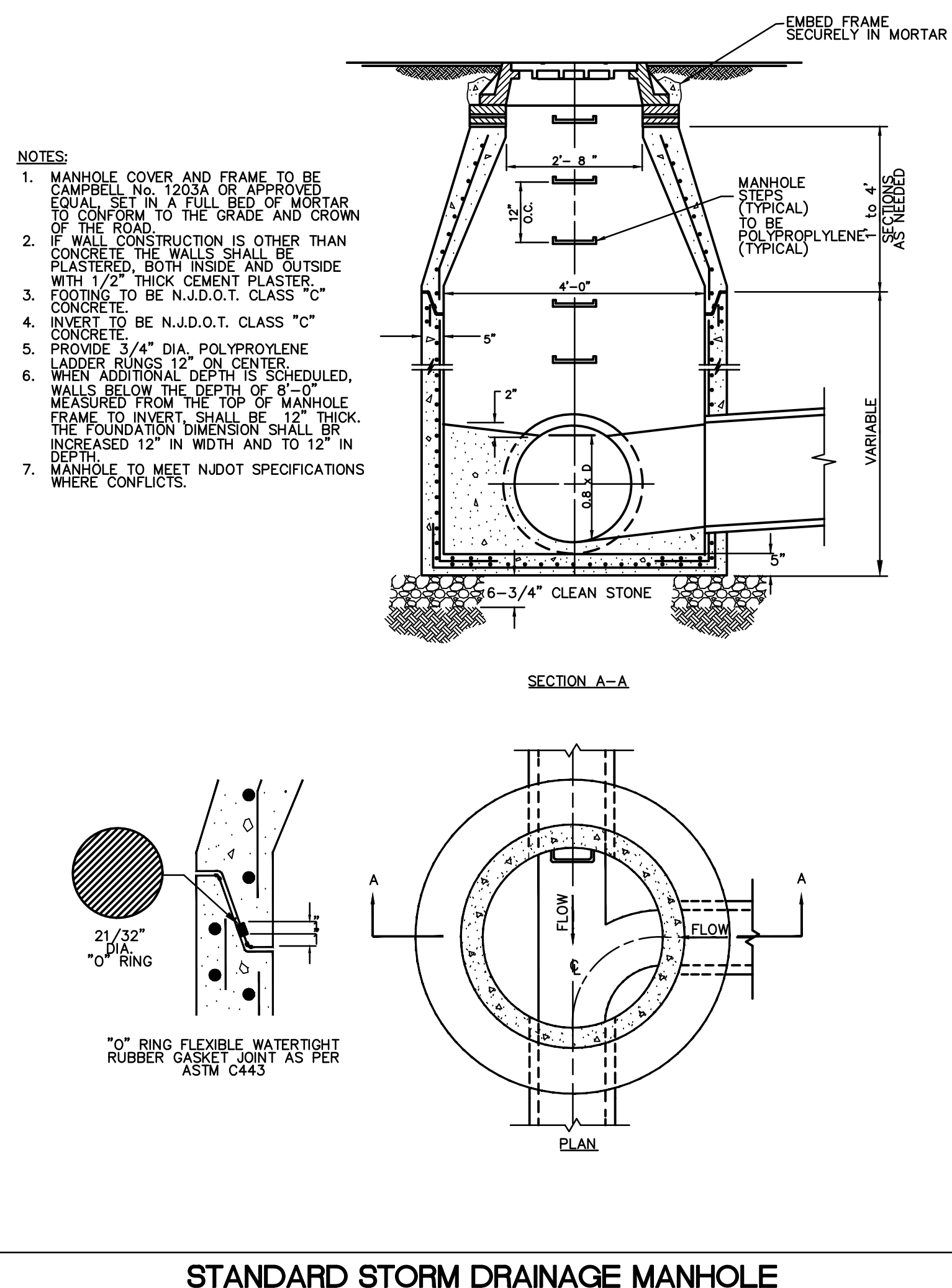
REINFORCING SHOWN FOR PRECAST INLETS IS THE MINIMUM REQUIRED; ADDITIONAL REINFORCING FOR HANDLING IS THE RESPONSIBILITY OF THE CONTRACTOR.

ALTERNATE REINFORCEMENT

DEPTH BELOW TOP OF GRATE	REINFORCEMENT
0' TO 10'-0"	WWF 3 x 6 W/6 WIRES SPACED AT 3" TO RUN HORIZONTAL IN ALL CASES.
10'-1" TO 15'-0"	WWF 3 x 6 W/6 ASS #10 REINFORCEMENT STEEL @ 18" HORIZONTAL
15'-1" TO 20'-0"	WWF 3 x 6 W/6 ADD #10 REINFORCEMENT STEEL @ 9" HORIZONTAL OR ADD #13 REINFORCEMENT STEEL AT 15" HORIZONTAL

9. ALL INLETS AND MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT N.J.DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND ITS AMENDMENTS.

10. DIMENSIONS, WEIGHTS AND OTHER CRITERIA SHOWN ON THESE DETAILS ARE FOR CLASS JOB CAST IRON ONLY.



STANDARD STORM DRAINAGE MANHOLE
N.T.S.
SHOP DRAWING S TO BE PROVIDED FOR GREATER THAN 4 DIA. MANHOLE

revisions		
no.	date	description

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State of New Jersey
Certificate of Authorization
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21MH00004300

F. Mitchell Ardman, P.E., P.P.
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PROJECT: AMENDED PRELIMINARY AND FINAL SITE PLAN PHASE 1F
BLOCK 141
LOTS 31,02,36,01,38,39,40,44,01,45,01,47,48,48,01,49,50,01,50,02,50,03,51,52,53,54,55,56,57,01,58,59,60,63,01,123
NORTH BRUNSWICK TOWNSHIP
MIDDLESEX COUNTY, NEW JERSEY

drawing title: STORM SEWER DETAILS

job number	21-042	drawing number	
scale	1"=10'		
checked by	FMA/AC		
drawn by	AR		
date	03/09/22	sheet	25 of 29

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PLANTING NOTES

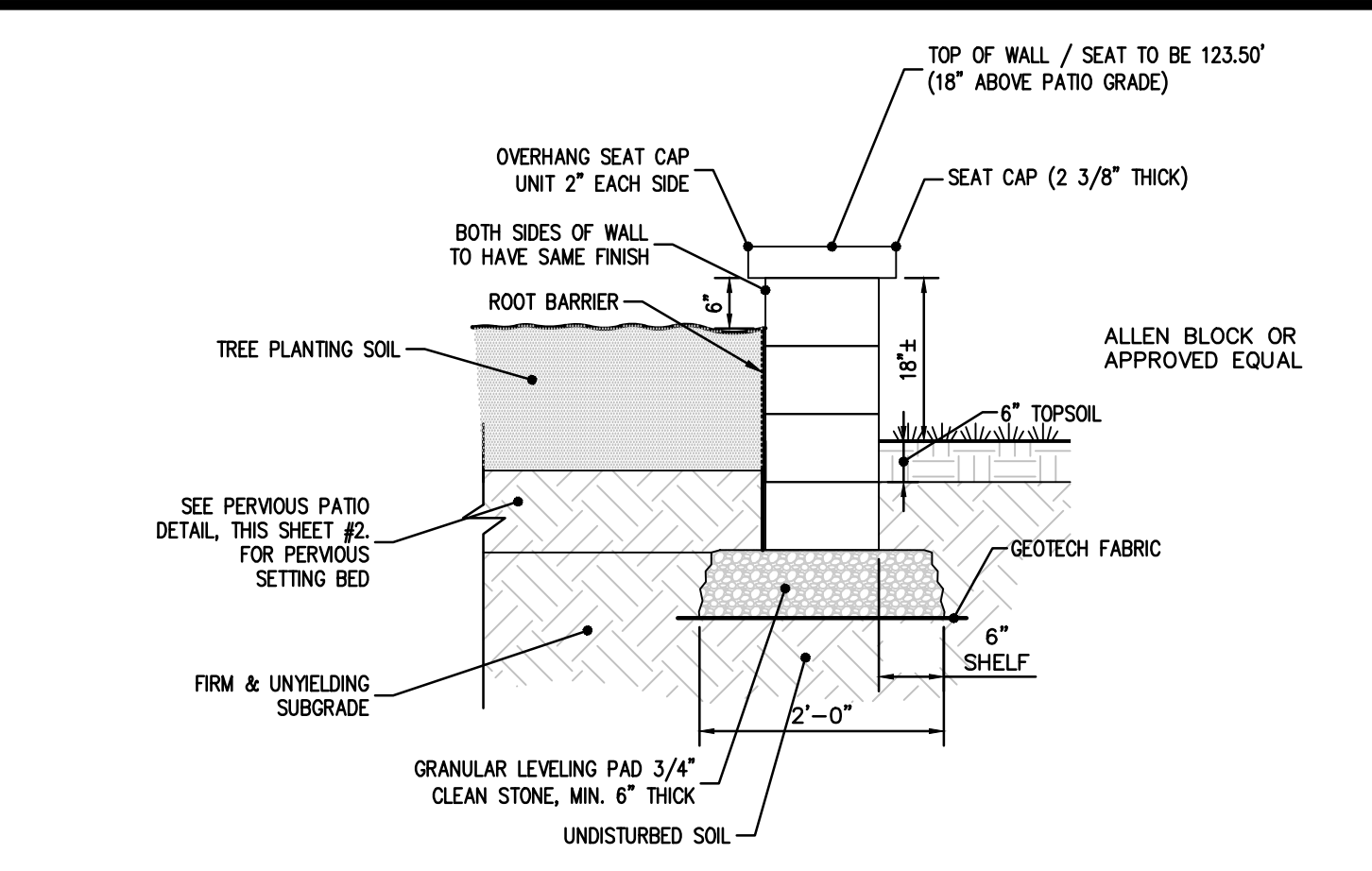
1. ALL PLANT MATERIAL TO BE FIRST QUALITY, NURSERY GROWN STOCK, FREE FROM DISEASE OR OBJECTIONABLE DISFIGUREMENTS. QUALITY AND SIZE OF PLANTS, INCLUDING ROOT SIZE SHALL BE IN ACCORDANCE WITH "AMERICAN STANDARDS FOR NURSERY STOCK" ANSI Z60.1 (MOST RECENT ADDITION) AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
2. CONTRACTOR TO VERIFY ALL PLANT DISCREPANCIES INCLUDING PLANT QUANTITIES BETWEEN PLANT LIST AND PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING QUANTITY WHICH IS GREATER.
3. NO SUBSTITUTES SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
4. ALL PROPOSED PLANT MATERIAL SHALL BE BALLED AND BURLAPPED UNLESS NOTED OTHERWISE ON PLANTING SCHEDULE.
5. ALL INSTALLED PLANT MATERIALS SHALL BEAR THE SAME RELATION TO GRADE WHEN INSTALLED ON SITE AS EXISTED IN NURSERY PRIOR TO DIGGING.
6. HOLES FOR PLANT MATERIALS (B&B) SHALL BE DUG A MINIMUM OF TWICE THE BALL DIAMETER. ALL PLANTS SHALL BE LOCATED IN THE CENTER OF THEIR RESPECTIVE PITS.
7. B&B PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOT BALL ONLY. PLANTS WITH BROKEN, SPLIT OR DAMAGED ROOT BALLS SHALL BE REJECTED.
8. PLANTS SHALL NOT BE BOUND AT ANY TIME WITH WIRE OR ROPE AS TO DAMAGE THE BARK AND BRANCHES.
9. PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE THE CONTRACTOR WILL PROTECT THE STOCK THAT IS NOT PLANTED AND KEEP WELL WATERED. PLANTS SHALL NOT REMAIN UNPLANTED FOR MORE THAN A THREE DAY PERIOD AFTER BEING DELIVERED.
10. ALL STAKING AND GUYING WIRES SHALL BE FLAGGED WITH A BRIGHT REFLECTIVE MATERIAL TO WARN PEDESTRIANS.
11. TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION AND ALL LOCATIONS SHOWN AS LAWN AREAS ON PLAN.
12. ALL PLANTS SHALL BE PLANTED IN AN APPROVED BACKFILL MIXTURE THAT IS THOROUGHLY WATERED AND TAMPED AS BACKFILLING PROGRESSES. ONLY SUITABLE TOPSOIL, FREE OF DRY SOO, STEEP CLAY, LITTER ETC., SHALL BE USED FOR PLANTING.
13. ALL SHRUB BEDS AND TREE SAUCERS TO BE MULCHED AS DETAILED.
14. THE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF ANY OF THE PROPOSED PLANTING MATERIAL.
15. PROVIDE SNOW/TREE PROTECTION FENCING AS REQUIRED AROUND EXISTING TREES TO BE SAVED.
16. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL (NOT INCLUDING LAWNS) FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE.
17. AFTER THE PLANTING CONTRACTOR HAS COMPLETED THE TERMS OF HIS CONTRACT, THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF PLANTINGS BY PROVIDING THE CORRECT METHODS OF WEEDING, SPRAYING, WATERING, PRUNING AND FERTILIZING ACCORDING TO GOOD HORTICULTURAL PRACTICE.
18. ALL TREES TO BE BRANCHED 7' HIGH.

ADDITIONAL PLANTING NOTES

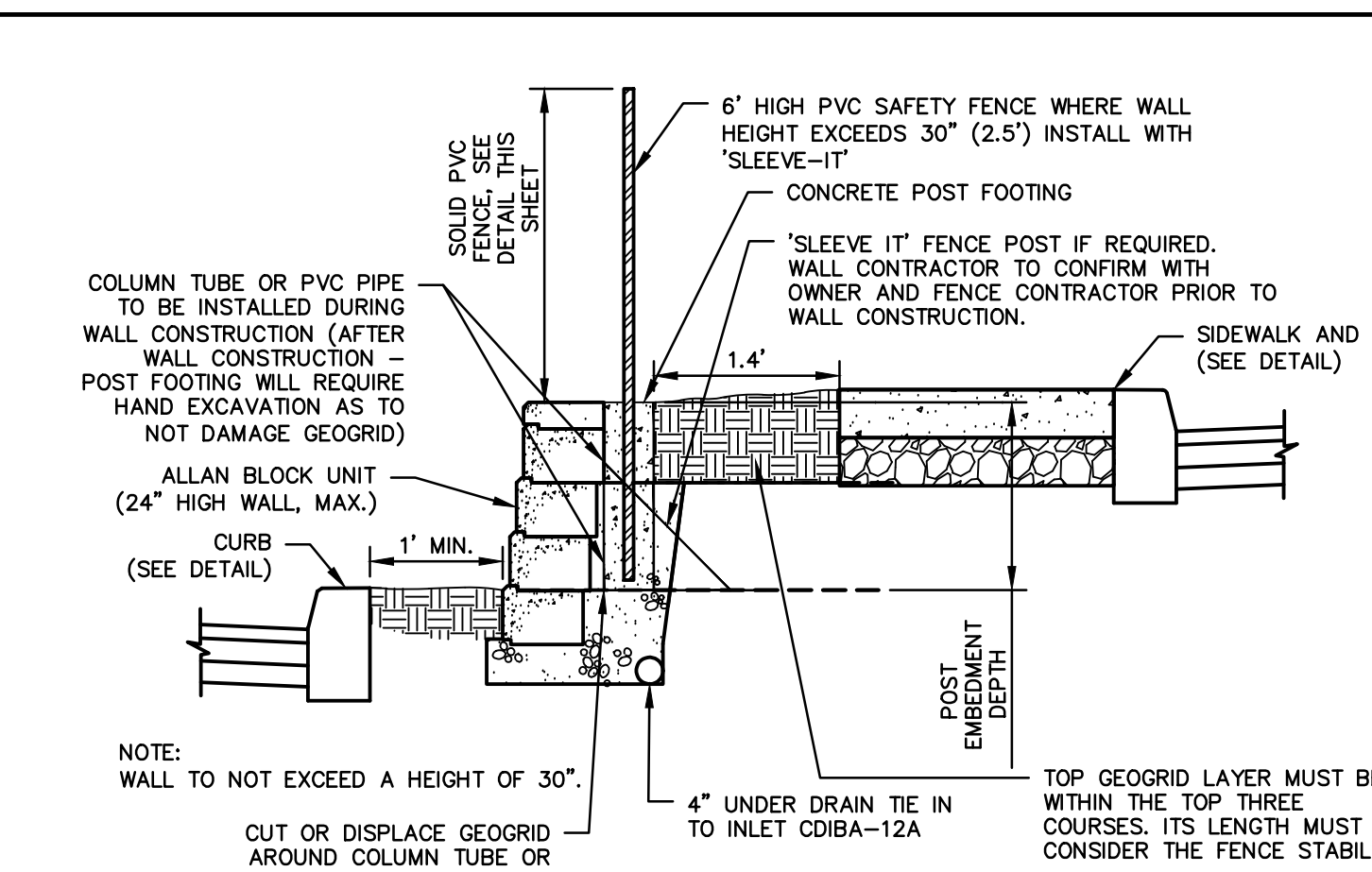
1. AFTER CONSTRUCTION, IT MAY BE ADVISABLE TO SEED OR PLANT CERTAIN AREAS WITH NON-WOODY HERBACEOUS PLANT MATERIALS (I.E. WILDLOWERS, FERNS, TALL GRASSES, ETC.). THIS APPROACH MAY BE USEFUL ON STEEP SLOPES, EDGES FOR EXISTING WOODED AREAS, WHERE THE UNDERSTORY HAS BEEN DISTURBED AND IN AREAS WHERE MOWING IS NOT PRACTICAL OR NECESSARY. SELECTION OF APPROPRIATE PLANTS SHALL BE DETERMINED AFTER COMPLETION OF GRADING AND CONSTRUCTION. POST CONSTRUCTION CONDITIONS WILL DICTATE WHICH HERBACEOUS PLANTS ARE MOST SUITABLE.
2. PRUNING NOTES:
 - IT IS RECOMMENDED THAT AN ANNUAL PRUNING PROGRAM BE BUDGETED AND SCHEDULED ON A CONTINUOUS BASIS.
 - ALL TREES AND SHRUBS PLANTED NEAR SIGHT TRIANGLES, DRIVEWAYS, PARKING AREAS AND SIDEWALKS SHALL BE MAINTAINED AS FOLLOWS: ALL BRANCHES EXTENDING INTO LINE OF SIGHT OR INTERFERING WITH VEHICULAR OR PEDESTRIAN ACCESS SHALL BE REMOVED TO AN ACCEPTABLE HEIGHT.
 - REMOVAL OF DEAD LIMBS AND BRANCHES AND PRUNING FOR THE GENERAL HEALTH AND APPEARANCE OF ALL PLANT MATERIAL IS RECOMMENDED.
 - SOUND PRUNING PRACTICES SHALL BE OBSERVED IN MAINTENANCE OF ALL PLANT MATERIALS.
3. EXISTING TREES AND SHRUBS IN AREAS TO BE CLEARED FOR CONSTRUCTION MAY ALSO BE SUBSTITUTED FOR PROPOSED PLANT MATERIAL PROVIDED THEY HAVE EQUIVALENT SIZE AND CHARACTER. IT IS RECOMMENDED THAT AN EXPERIENCED CONTRACTOR USE A TREE DIGGING MACHINE TO REMOVE AND TRANSPLANT SUCH PLANT MATERIAL.
 - IF TRANSPLANTED TREES ARE NOT ABLE TO BE TRANSPLANTED, REPLACEMENT TREES OF LIKE KIND WILL BE PROVIDED.
 - CONTRACTOR TO MARK NORTH SIDE OF TREE PRIOR TO DIGGING AND TRANSPLANT WITH SAME ORIENTATION.
 - CONTRACTOR TO ENSURE THAT THE ROOT MASS OF ALL TRANSPLANTS ARE IN TACT.
 - THE ROOT BALL OF ALL TREES SHALL BE BALLED AND BURLAPPED UPON REMOVAL FROM PREVIOUS LOCATION.
 - CONTRACTOR TO STOCKPILE AND PROTECT ALL TRANSPLANT MATERIAL UNTIL IT IS TIME TO REPLANT.
 - PLANTS SHALL BE MAINTAINED BY WATERING, FERTILIZING, PRUNING AND ANY OTHER METHODS TO KEEP PLANTS IN HEALTHY CONDITION.
 - ALL TRANSPLANTS ARE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM FINAL COMPLETION. ANY PLANTS THAT DIE DURING THAT PERIOD WILL BE REPLACED TO THE CORRECT SIZE AND SPECIES AT THE CONTRACTOR'S EXPENSE.

LANDSCAPE MAINTENANCE NOTES:

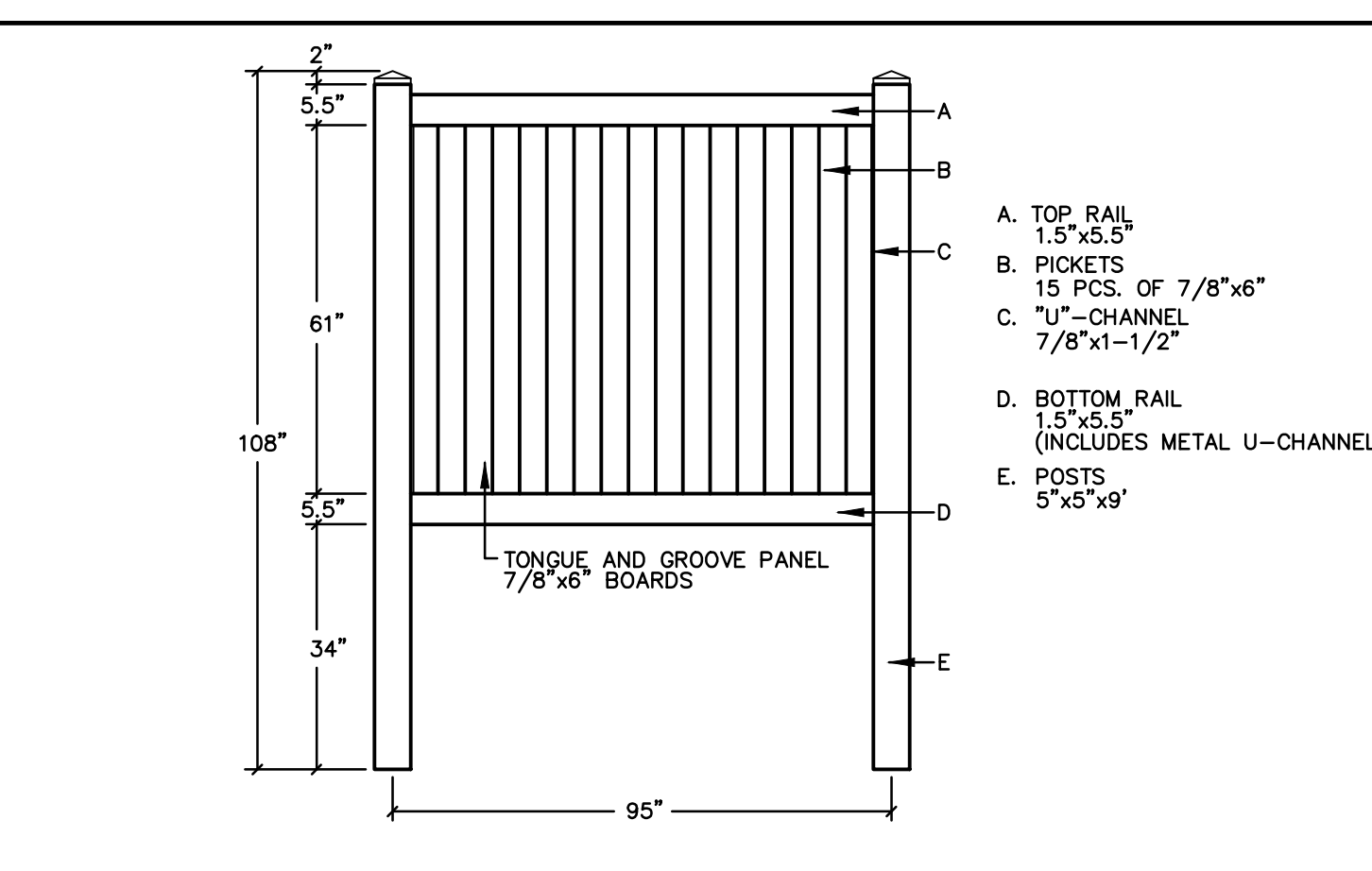
1. LAWN AREAS: ALL LAWNS SHALL BE MAINTAINED AT A MOWN HEIGHT OF 2.5-3 INCHES. THE CUT SHALL NOT REMOVE MORE THAN 1/3 OF THE BLADE HEIGHT THEREFORE LAWN SHALL BE MOWED WHEN IT ACHIEVES A HEIGHT OF 3.5-4 INCHES.
 - A. MOWING: USING CLEAN WELL SERVICED EQUIPMENT, MOW, TRIM, AND EDGE ALL FINE LAWN AREAS AS NEEDED; REMOVE ALL EXCESS CLIPPINGS.
 - B. EDGING: TURF ALONG ALL PLAYING SURFACES (OTHER THAN TURF), FENCE LINES, AND ANY OTHER PERMANENT OBJECTS IS TO BE CUT WITH A MECHANICAL EDGER TO PRODUCE A WELL DEFINED EDGE. ALL DEBRIS FROM THIS OPERATION IS TO BE REMOVED.
 - C. AERATION/AERATE LAWNS ON A YEARLY BASIS OR AS NEEDED TO PREVENT COMPACTION. ACCEPTABLE METHODS INCLUDE SPOON OR CORE PROCESSES. KNIFE TYPE METHODS ARE NOT RECOMMENDED.
 - D. LEAVES AND OTHER DEBRIS SHALL BE REMOVED FROM ALL LAWNS AS NECESSARY IN THE AUTUMN AND SPRING.
 - E. IRRIGATION: ALL TURF SHOULD MAINTAIN A MOIST SOIL DEPTH TO AT LEAST FOUR INCHES THROUGH AUTOMATIC SYSTEMS IF POSSIBLE. PRECAUTIONS SHOULD BE TAKEN TO AVOID WILTING AND DRYING OF THE TURF.
2. FERTILIZATION: ALL FERTILIZER SHOULD BE INSPECTED BEFORE APPLICATION FOR REVIEW ON CONTENT AND APPLICATION.
 - A. ALL LAWNS SHOULD BE FERTILIZED WITH THREE APPLICATIONS A YEAR, EARLY SPRING, LATE SPRING, AND EARLY FALL. GREAT CARE SHOULD BE TAKEN IN REGARDS TO HEAT AND MOISTURE TO AVOID BURNING OR DAMAGING TURF. ALL APPLICATIONS SHOULD BE MADE WITH TWO PASSES IN DIFFERING DIRECTIONS TO AVOID STREAKING. FERTILIZER SHOULD BE A 13-13-13 WITH A 50% SLOW RELEASE. APPLICATION RATE OF ONE POUND NITROGEN PER THOUSAND SQUARE FEET.
 - B. BROADLEAF WEED CONTROL: APPLICATION OF BROADLEAF WEED CONTROL SUCH AS TRIMEC OR SIMILAR PRODUCT TO ALL MAINTAINED TURF APPLICATIONS TO BE MADE IN MID SPRING AND EARLY FALL. GREAT CARE SHOULD BE TAKEN IN REGARDS TO HEAT AND MOISTURE AT TIME OF APPLICATION TO AVOID TURF.
 - C. CRABGRASS CONTROL: APPLY PRE-EMERGENT CRABGRASS CONTROL SUCH AS TEALM, BALAN, OR OTHER LIKE MATERIAL WITH TWO APPLICATIONS IN THE SPRING.
 - D. LIMING: MAINTAIN A PH OF 6.5 ON ALL PLAYING TURF WITH APPLICATIONS OF POLYMERIZED LIME AT RATES AND FREQUENCIES AS NEEDED.
 - E. INSECT CONTROL: APPLY DURSBAN, OR EQUAL, IN MID-JUNE FOR CHINCH BUG AND SOD WEBWORM CONTROL. APPLY OBTANOL, OR EQUAL, IN LATE AUGUST OR EARLY SEPTEMBER FOR GRUB CONTROL. APPLY FUNGICIDES AND INSECTICIDES AS NECESSARY TO MAINTAIN TURF CONDITIONING.
3. TREE, SHRUB AND GROUNDCOVER BED AREAS: BED AREAS ARE COVERED BY MULCH OR OTHER LIKE DECORATIVE MATERIAL. THESE AREAS TO BE MAINTAINED IN A WEED FREE AND WELL KEPT CONDITION.
 - A. BED WEED CONTROL: APPLY PRE-EMERGENT WEED CONTROL SUCH AS RONSTAR G, SURFLAN, OR SIMILAR PRODUCT. TWO (2) APPLICATIONS PER YEAR.
 - B. EDGE ALL BEDS, TREE RINGS, REMOVE ALL WEEDS, CLEAR EXISTING PLANTS OF DEBRIS AND DEAD MATERIAL.
 - C. PLANTING BED MULCH SHALL BE REPLISHED AS NECESSARY TO MAINTAIN A 1 TO 3 INCH DEPTH OF MULCH UNLESS THE GROUNDCOVER OR PLANTING HAS COMPLETELY COVERED THE BED, PRECLUDING THE NEED FOR MULCH.
 - D. ALL PLANTS AND LAWN AREAS SHALL BE IRRIGATED OR WATERED AS NECESSARY TO MAINTAIN VIGOROUS AND HEALTHY GROWTH.
 - E. HERBICIDES AND PESTICIDES SHALL BE APPLIED ONLY AS NECESSARY TO TREAT SPECIFIC PROBLEMS AS THEY ARE OBSERVED. ALL TREATMENTS SHALL BE PERFORMED BY TRAINED AND LICENSED PERSONNEL IN ACCORDANCE WITH ALL REGULATIONS.
 - F. PERENNIAL VEGETATION SHALL BE REMOVED AS APPROPRIATE IN THE FALL AND ORNAMENTAL GRASSES SHALL BE CUT IN THE SPRING TO PROMOTE PROPER GROWTH AND A NEAT AND CLEAN APPEARANCE, BUT NOT TO DIMINISH THEIR WINTER INTEREST.
 - G. PLANTINGS WHICH ARE NOT GROWING IN A VIGOROUS MANNER AND ANY DEAD PLANTS SHALL BE REPLACED AS NECESSARY TO ACHIEVE THE INTENDED DESIGN DURING THE NEXT SPRING OR FALL PLANTING SEASON.
4. GENERAL SITE CLEAN UP: TO BE PERFORMED ON A TWICE YEARLY BASIS, EARLY SPRING AND LATE FALL. WORK LIMITED TO NATURAL PRODUCTION OF DEBRIS AND DOES NOT COVER DUMPING OR MUNICIPAL WASTE.
 - A. SPRING CLEAN UP: GENERAL CLEAN UP OF ENTIRE GROUNDS. EDGE ALL BEDS, REMOVE ALL WEEDS AND REMOVE WINTER KILL.
 - B. FALL CLEAN UP: WHEN VIRTUALLY ALL LEAVES HAVE FALLEN ALL LAWNS, BEDS, STREETS AND PARKING AREAS WILL BE CLEARED OF LEAVES, BROKEN BRANCHES, LITTER AND OTHER ASSORTED DEBRIS.
5. TRIMMING AND PRUNING: TRIMMING WILL REFER TO ALL ORNAMENTAL TREES, SHRUBS AND GROUNDCOVER. TRIMMING SHALL CONSIST OF REMOVAL OF EXCESSIVE SEASONAL GROWTH TO ALL HEDGE ROWS OR SHEARED MATERIAL PLANTED ON-SITE. PRUNING SHALL CONSIST OF REMOVAL OF WINTER KILL, REMOVAL OF DEAD BRANCHES, REMOVAL OF EXCESSIVE SUCKERING GROWTH FROM BASE OF TREES, AND DISEASED OR DAMAGED WOOD.
 - A. IT IS RECOMMENDED THAT EXISTING TREES REMAINING ON SITE AFTER CONSTRUCTION BE PRUNED, ESPECIALLY IN CASES WHERE ROOT SYSTEMS HAVE BEEN DISTURBED (I.E. CUT OR COMPACTED BY HEAVY EQUIPMENT).
 - B. ALL PLANTS SHALL BE PERIODICALLY PRUNED FREE OF DEAD, DAMAGED OR DISEASED BRANCHES TO MAINTAIN VIGOR OF THE PLANT AND MAINTAIN A SAFE CONDITION. PRUNING SHALL MAINTAIN THE NATURAL FORM OR HABIT OF THE PLANT. FLOWERING SHRUBS AND TREES SHOULD BE PRUNED AFTER FLOWERING TO LIMIT IMPACT UPON FOLLOWING SEASON FLOWER BUDS UNLESS SAFETY CONCERNS WARRANT IMMEDIATE PRUNING. HEDGES SHALL BE SHEARED TO A TRAPEZOIDAL FORM TO PREVENT SHADING OF LOWER BRANCHES.
 - C. IT IS RECOMMENDED THAT AN ANNUAL PRUNING PROGRAM BE BUDGETED AND SCHEDULED ON A CONTINUOUS BASIS.
 - D. ALL TREES AND SHRUBS PLANTED NEAR SIGHT TRIANGLES, DRIVEWAYS, PARKING AREAS AND SIDEWALKS SHALL BE MAINTAINED AS FOLLOWS: ALL BRANCHES EXTENDING INTO LINE OF SIGHT OR INTERFERING WITH VEHICULAR OR PEDESTRIAN ACCESS SHALL BE REMOVED TO AN ACCEPTABLE HEIGHT.
 - E. REMOVAL OF DEAD LIMBS AND BRANCHES ALONG WITH EXCESSIVE SUCKERING GROWTH FROM BASE OF PLANTS AND PRUNING FOR THE GENERAL HEALTH AND APPEARANCE OF ALL PLANT MATERIAL IS RECOMMENDED.
 - F. SOUND PRUNING PRACTICES SHALL BE OBSERVED IN MAINTENANCE OF ALL PLANT MATERIALS.
6. DEAD PLANT MATERIAL: FAILED PLANT MATERIAL UP TO TWELVE (12) FEET IN HEIGHT WILL BE REMOVED AT THE BASE AND PLACED AT ON-SITE STORAGE OR AS DIRECTED.
7. TREE AND SHRUB SPRAYING: SPRAYING OF ALL TREES AND SHRUBS, AS REQUIRED, TO CONTROL INSECT INFESTATION AND DISEASE.
8. TREE AND SHRUB FERTILIZATION: TREES AND SHRUBS WILL BE FERTILIZED IN SPRING AND FALL.
9. GENERAL:
 - A. AT ALL TIMES USE GOVERNMENTAL APPROVED CHEMICALS AND WILL PROVIDE THE OWNER WITH MSDS SHEETS FOR ALL MATERIAL USED ON-SITE.
 - B. AT ALL TIMES USE LICENSED APPLICATORS AND HAVE ALL PERMITS AND INSURANCE IN ACCORDANCE WITH DEP GUIDELINES AND REQUIREMENTS.



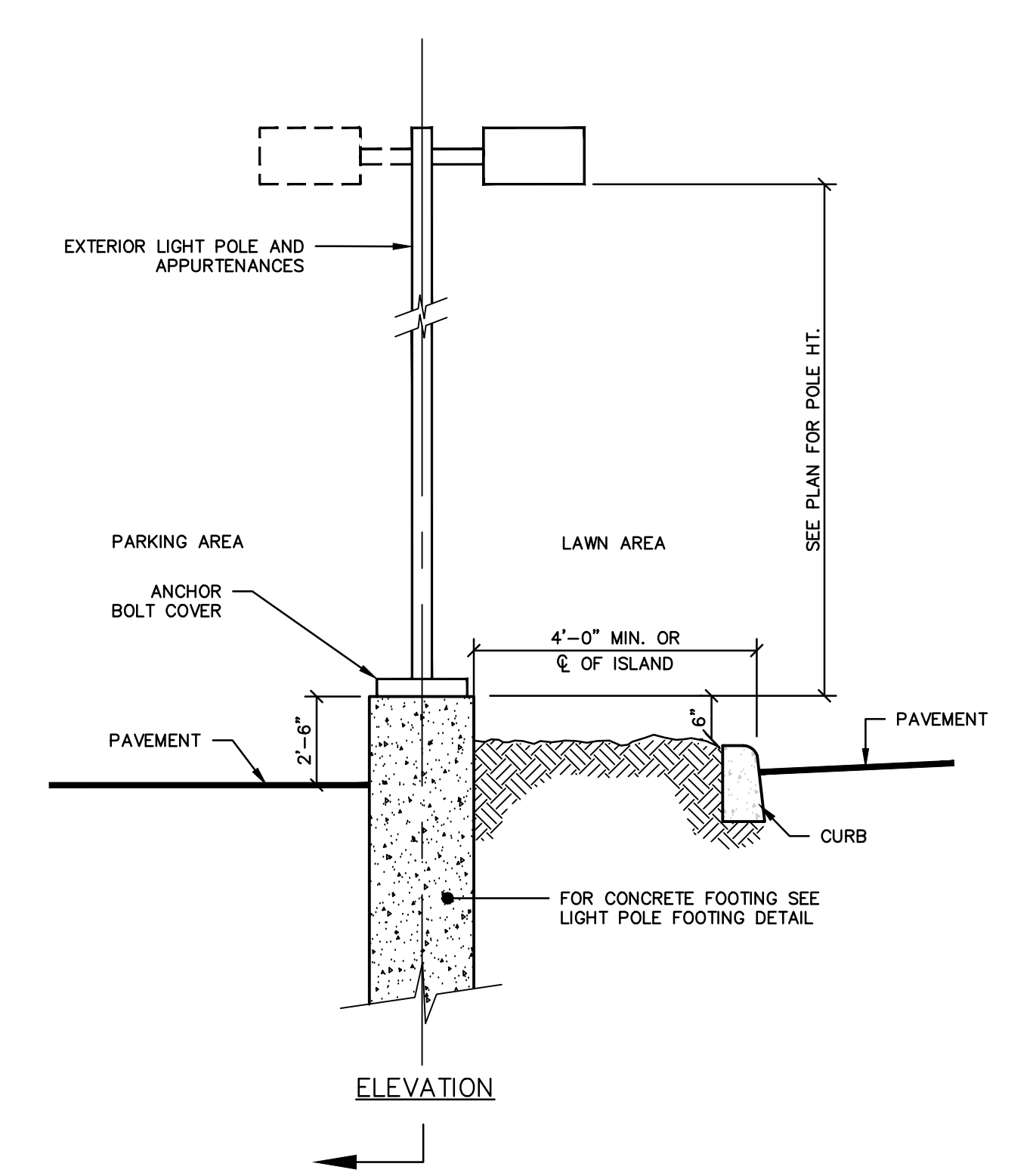
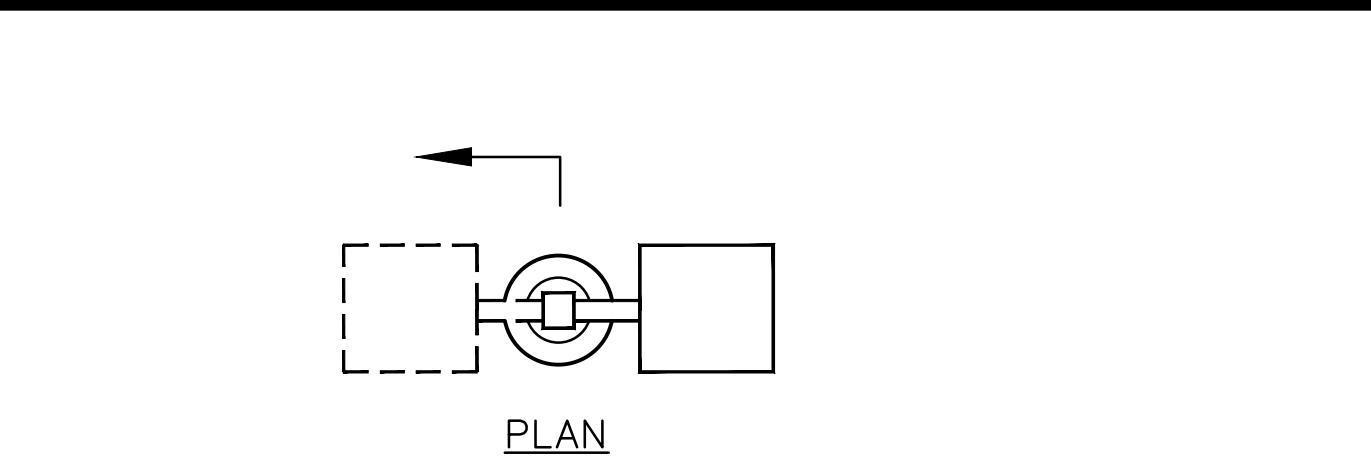
FREESTANDING SEATING WALL DETAIL



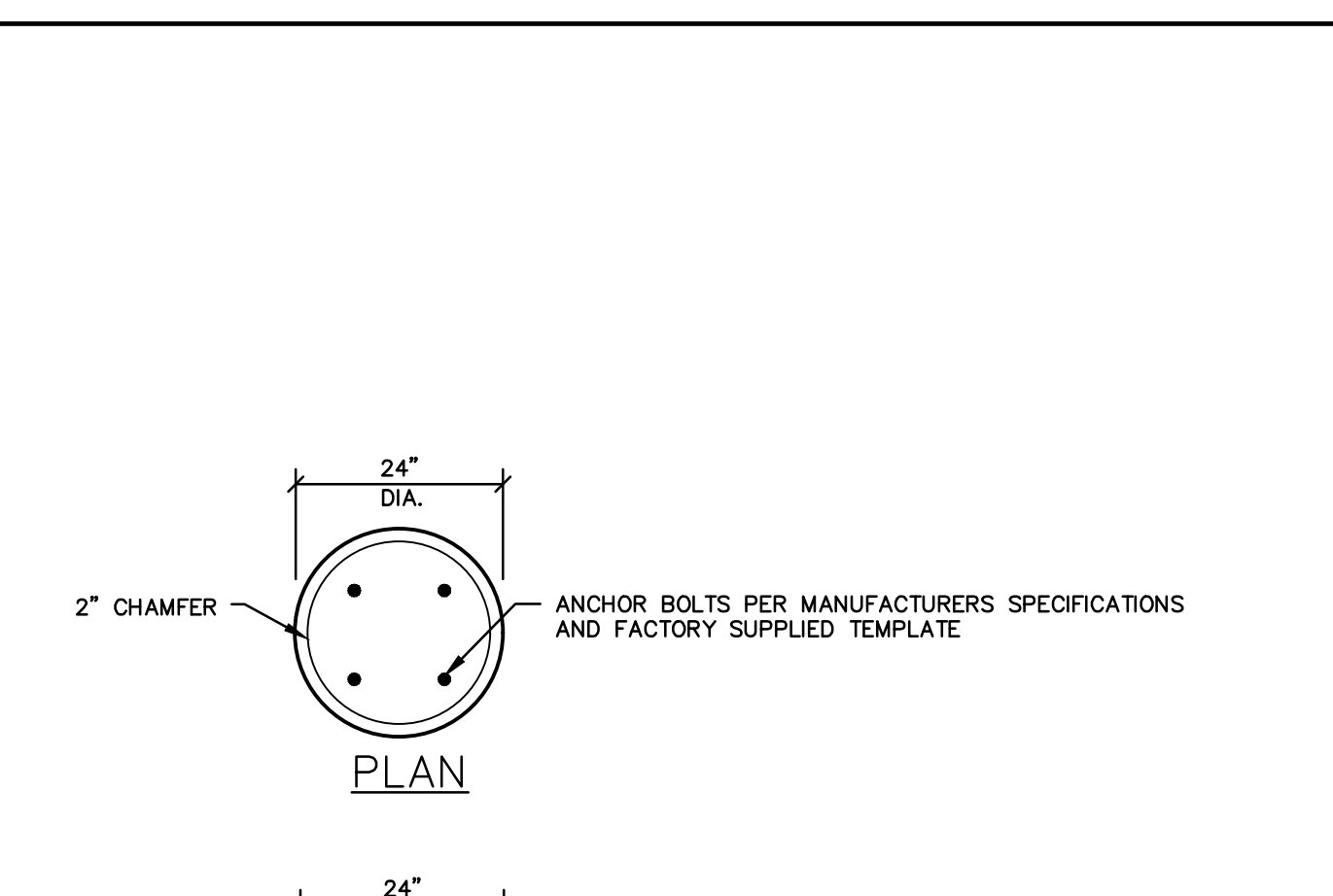
BLOCK WALL AND SAFETY FENCE DETAIL



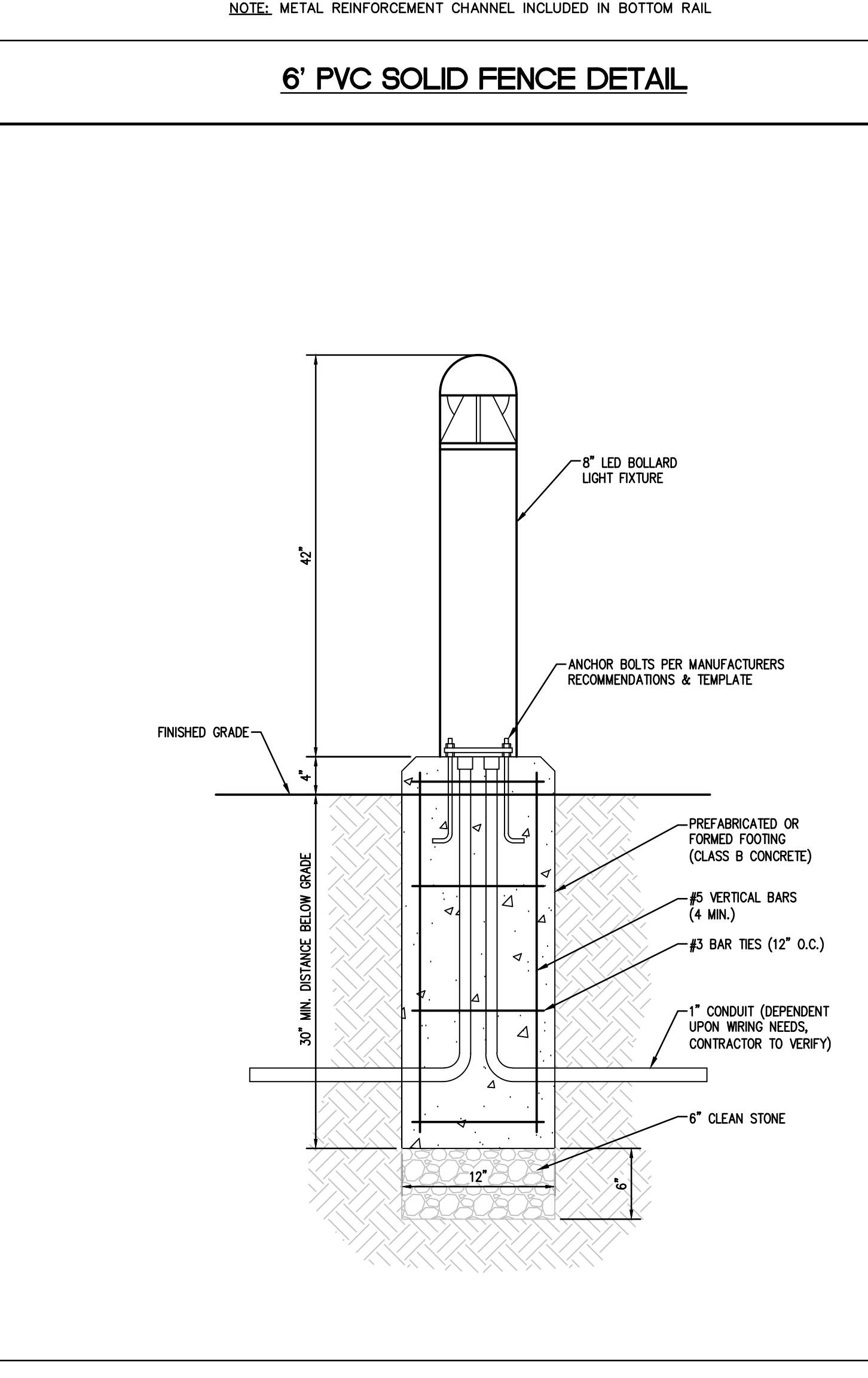
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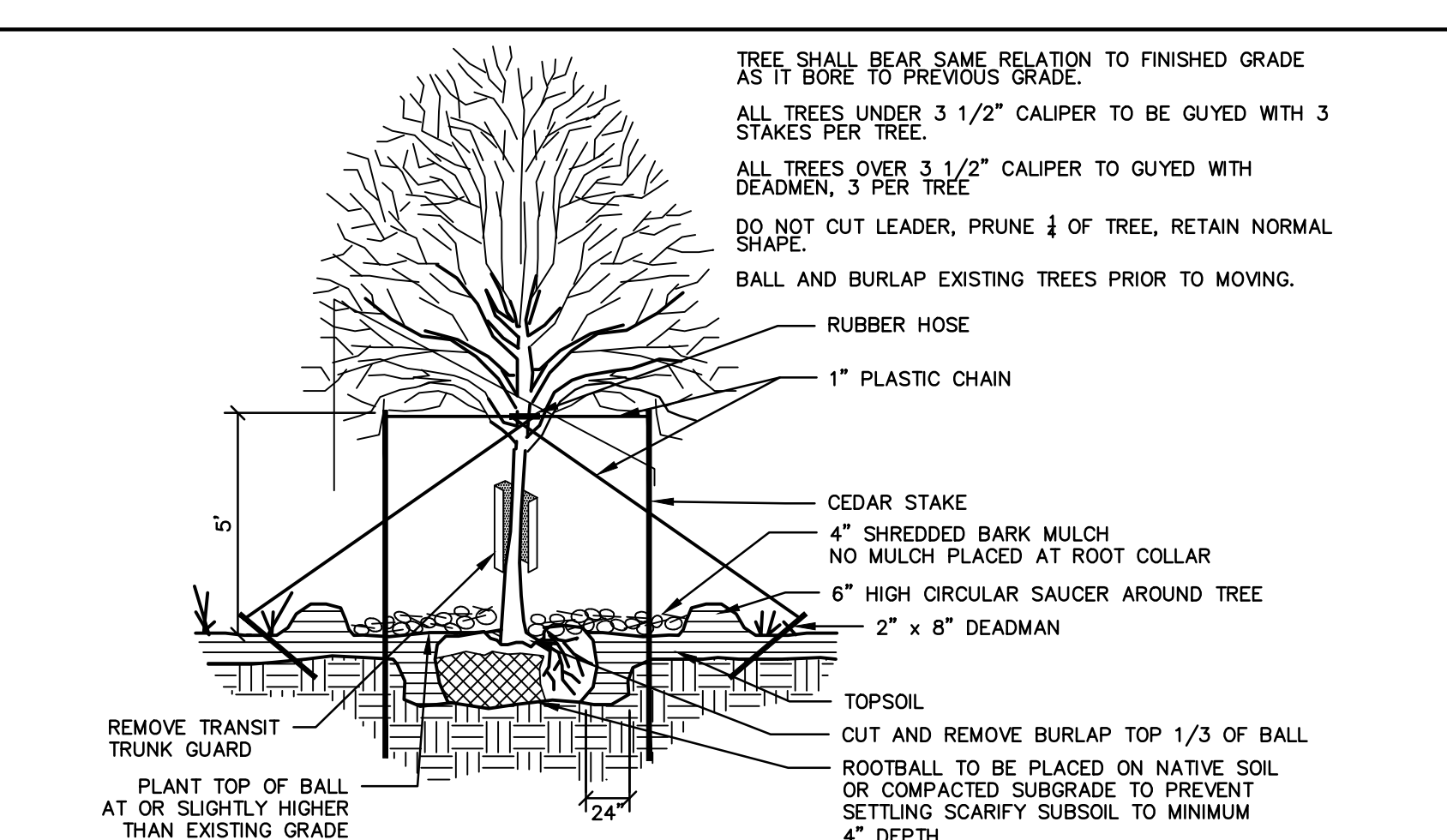
LIGHT POLE MOUNTING



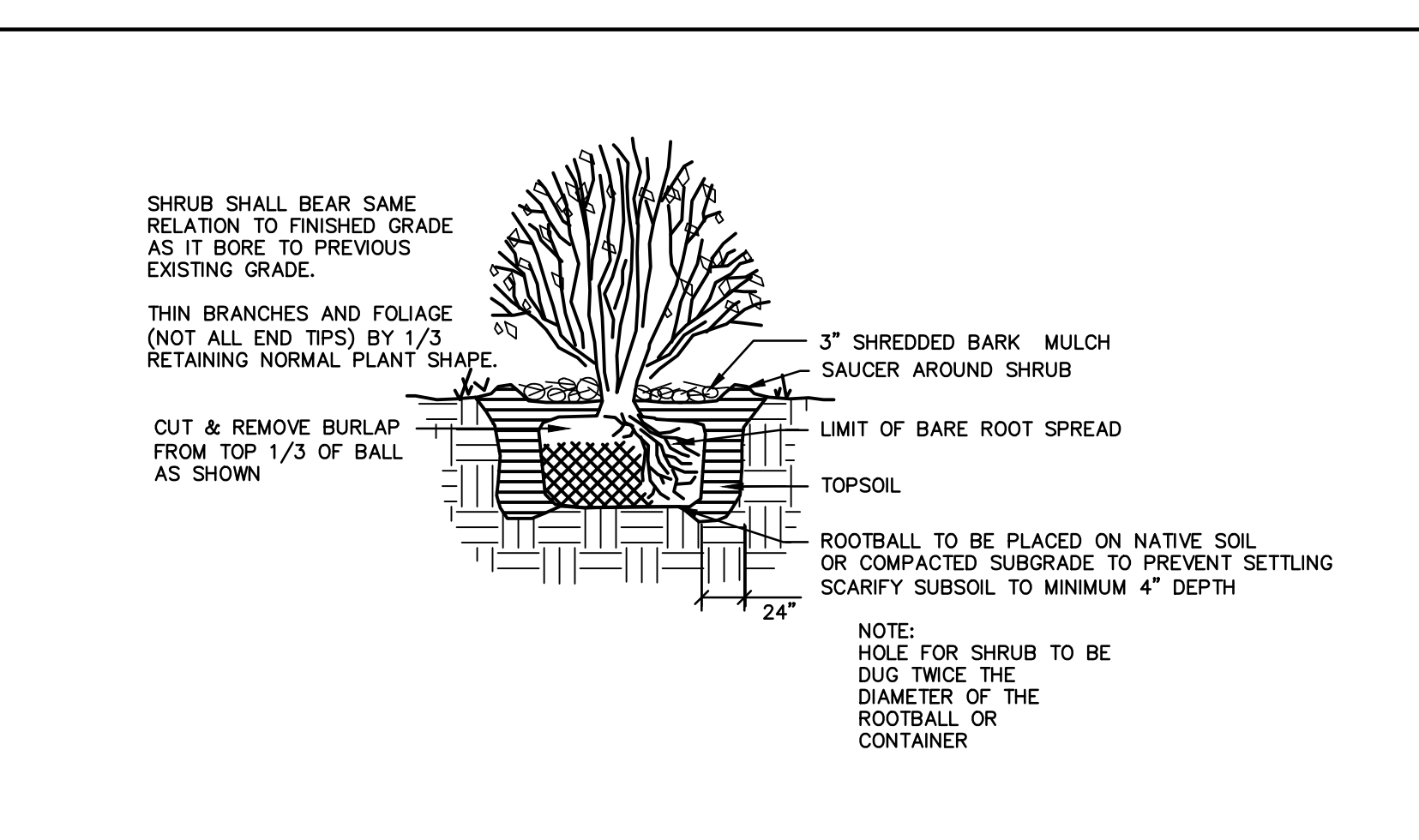
LIGHT POLE FOOTING



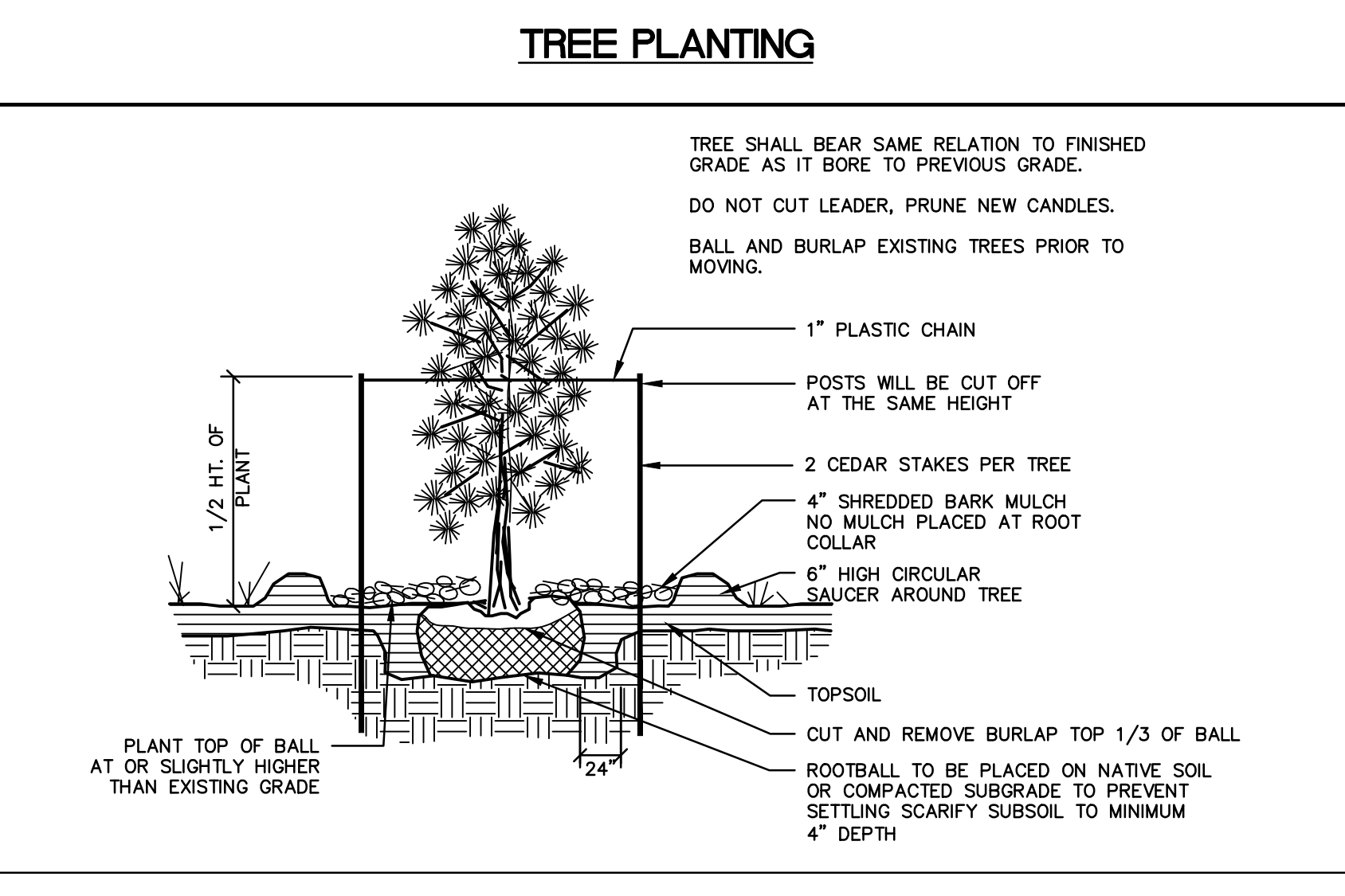
LIGHT BOLLARD FOOTING DETAIL



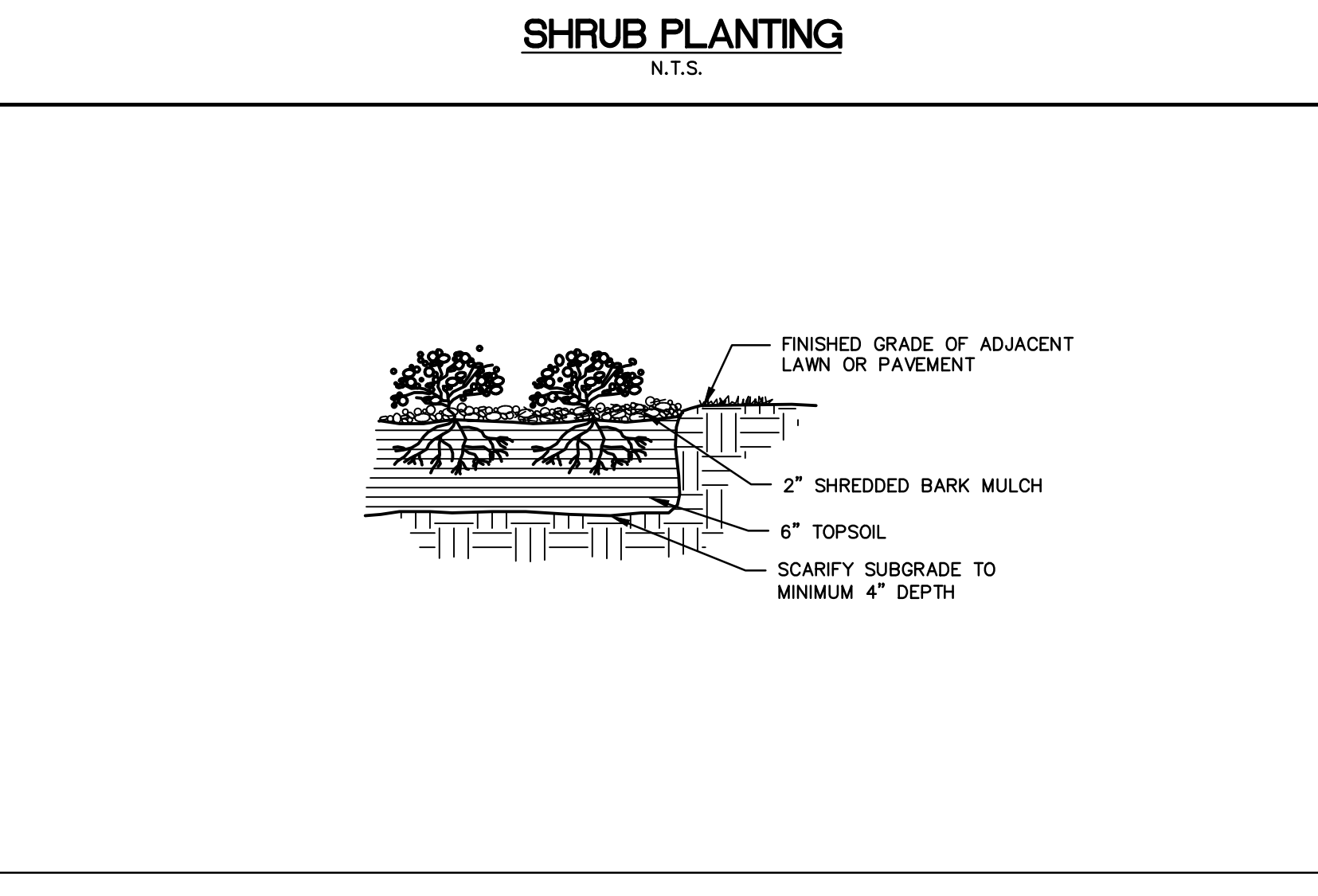
TREE PLANTING



SHRUB PLANTING



EVERGREEN TREE PLANTING



GROUNDCOVER PLANTING

revisions		
no.	date	description

The Reynolds Group Inc.
 State of New Jersey
 Certificate of Authorization
 Number 240427989200
 21MH00004300
 F. Mitchell Ardman, P.E., P.P.
 Jeffrey D. Reynolds, P.L.A.

F. Mitchell Ardman
F. MITCHEL ARDMAN
 N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

PROJECT: AMENDED PRELIMINARY AND FINAL SITE PLAN PHASE 1F
 BLOCK 141
 LOTS 31,02,36,01,38,39,40,44,01,45,01,47,48,48,01,49,50,01,50,02,50,03,51,52,53,54,55,56,57,01,58,59,60,63,01,123
 NORTH BRUNSWICK TOWNSHIP
 MIDDLESEX COUNTY, NEW JERSEY

drawing title: LANDSCAPE AND LIGHTING DETAILS

job number: 21-042	drawing number:
scale: 1"=10'	27
checked by: FMA/AC	
drawn by: AR	
date: 03/09/22	sheet 27 of 29

ARKAY THREE BOLLARD

TECH LIGHTING

The Arkay Three LED bollard by Tech Lighting features an understated, contemporary design for outdoor lighting that blends beautifully with surrounding architecture and landscape details. The Arkay Three bollard is topped with a band of light that aims symmetrical illumination downward to create controlled pools of light, ideal for outdoor path and campus illumination. This timeless outdoor light fixture comes in two marine-grade powder coat finishes: Bronze and Black.

- Marine-grade powder coat finish and stainless steel hardware
- Options: GFCI outlet, Photo Control, In-Line Fuse, Emergency Backup
- Wet listed, IP65

SPECIFICATIONS

DELIVERED LUMENS	1860
WATTS	16.25
VOLTAGE	Universal (120-277V) with integral transformer 2.5kV surge protection device
SECONDARY SURGE PROTECTION	10kA
DIMMING	0-100 EVL, Triac
LIGHT DISTRIBUTION	Symmetrical
INDICATING OPTIONS	None
PERFORMANCE OPTIONS	GFCI / Photo Control / In-Line Fuse / Emergency Backup
CCT	3000K or 4000K
CRI	80+
COLOR BINNING	3 Step
BUS RATING	80-40
DARK SKY	Non-Compliant
WET LISTED	IP65
GENERAL LISTING	ETL
START TEMP	50°C
FIELD SERVICEABLE LED	Yes
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Marine-Grade Powder Coat
LED LIFETIME	L70, 100,000 Hours
WARRANTY**	5 Years
WEIGHT	17 lbs

*Light fixture not suitable for branch-circuit through wiring.
**Tech Lighting.com for specific warranty limitations and details.

ORDERING INFORMATION

PRODUCT	CODE	LENGTH	FINISH	VOLTAGE	OPTIONS
ROOMARK	88	30"	Black	120V/277V	None
	89	30"	Black	120V/277V	In-Line Fuse
	90	30"	Black	120V/277V	In-Line Fuse, Photo Control
	91	30"	Black	120V/277V	In-Line Fuse, Emergency Backup
	92	30"	Black	120V/277V	GFCI

IP65 OPTION CAN ONLY BE ORDERED WITH 120V

techlighting.com

UPDATED 04/20

ARKAY THREE BOLLARD

TECH LIGHTING



PHOTOMETRICS*

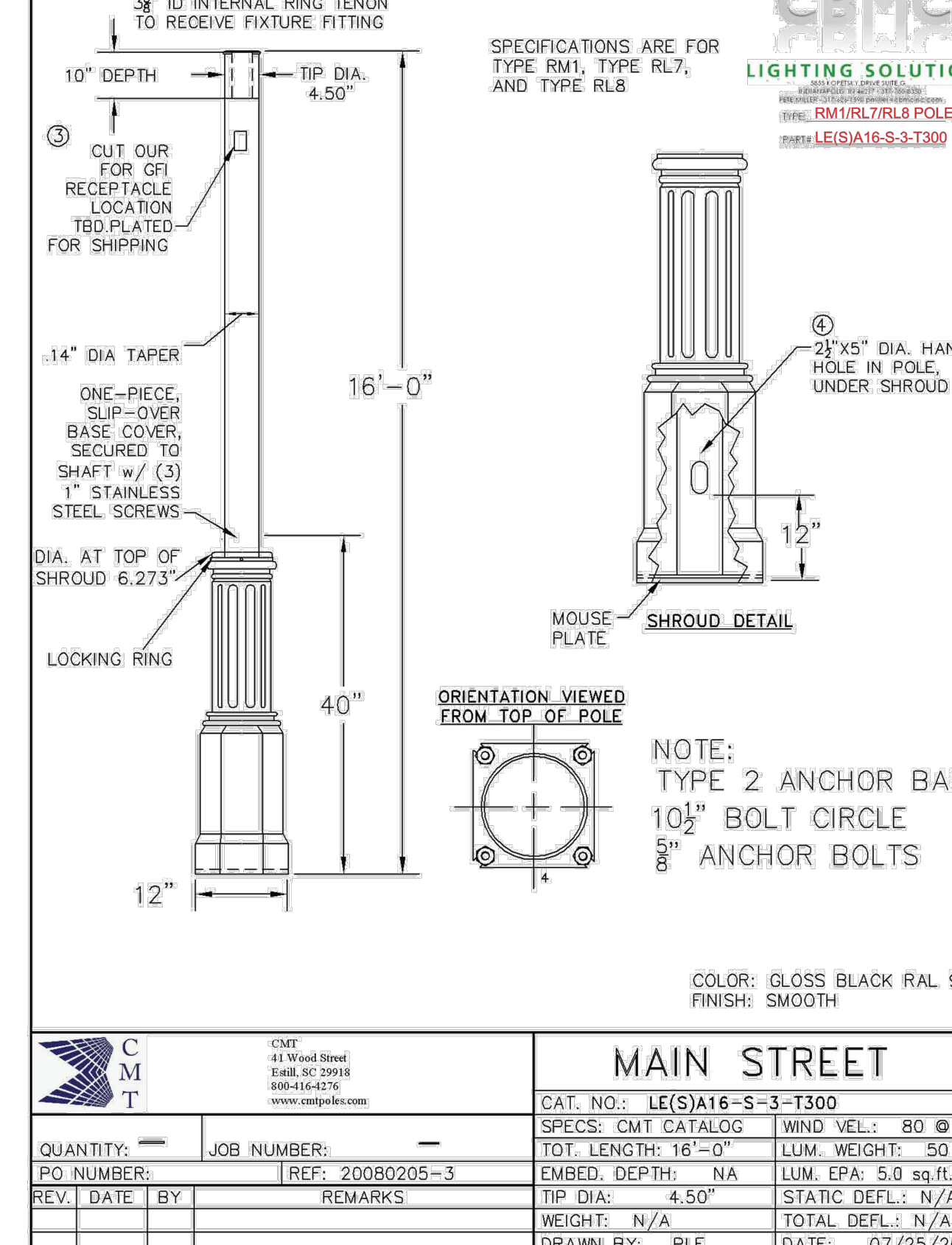
ARKAY THREE BOLLARD	1860
Total Lumen Output	1860
Total Power	16.25
Luminaires Efficacy	89.2
Color Temp.	3000K
CRI	81.3
BUS Rating	80-40-G1

*For latest photometrics, please visit www.techlighting.com/OUTDOOR

PROJECT INFO

FIXTURE TYPE & QUANTITY	JOB NAME & INFO	NOTES

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MAIN STREET LIGHT POLE DETAIL

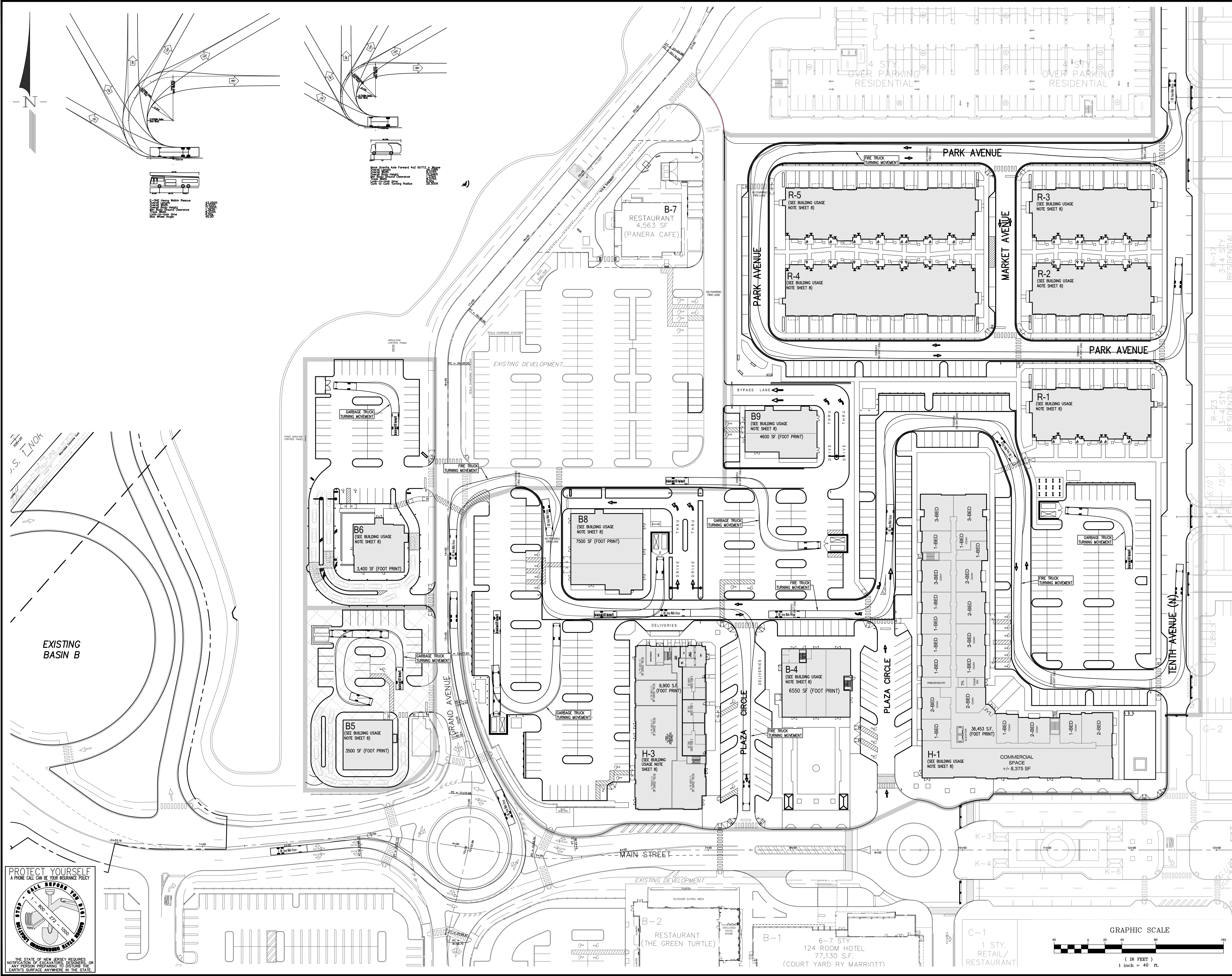
NERI

Product Heritage Connection to head post Source LED

Light 500 Range Performance Cod. SN500L XX'YYY'ZZ

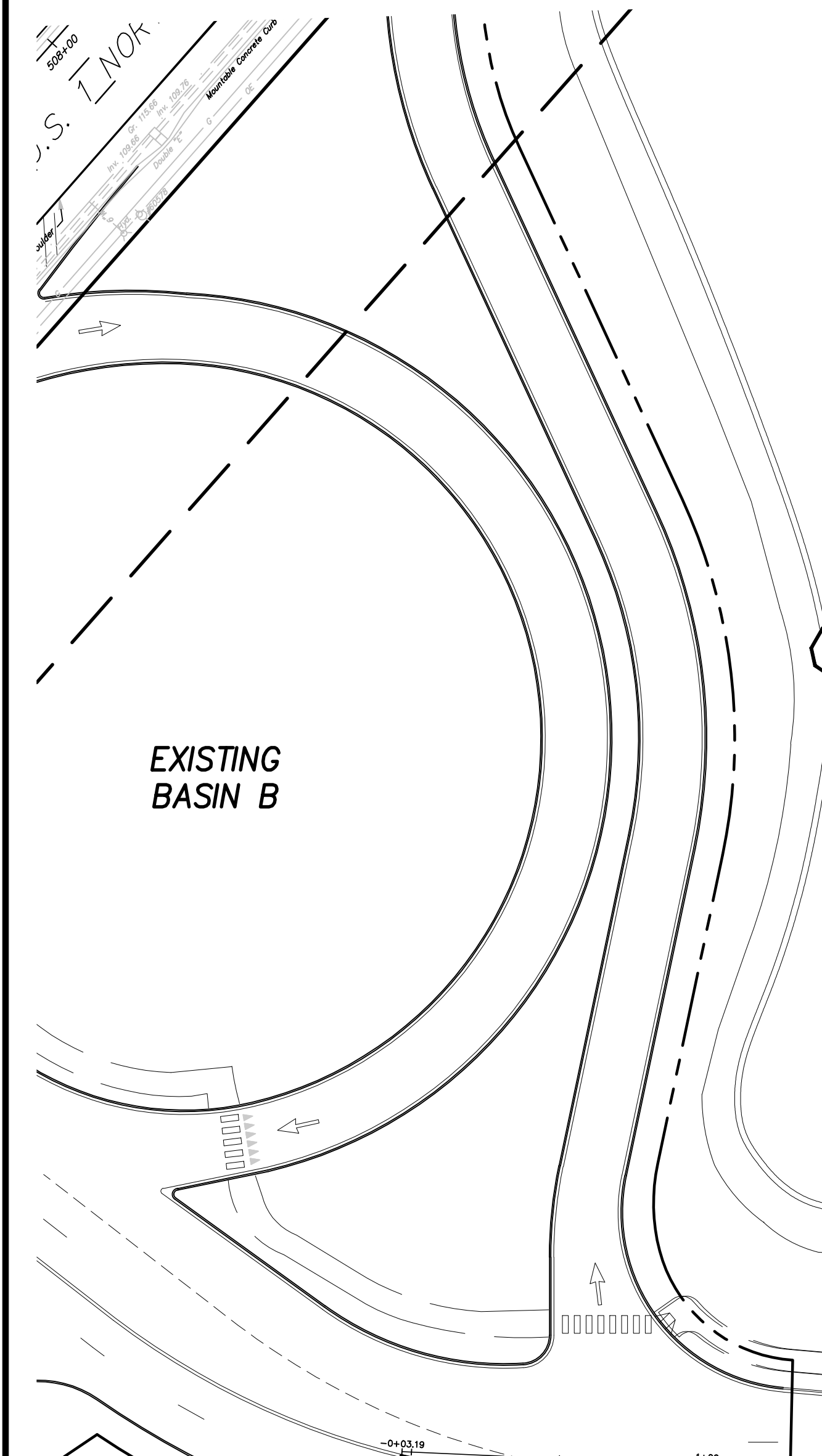
Technical sheet Rev. A - 03/2014 Measures in mm

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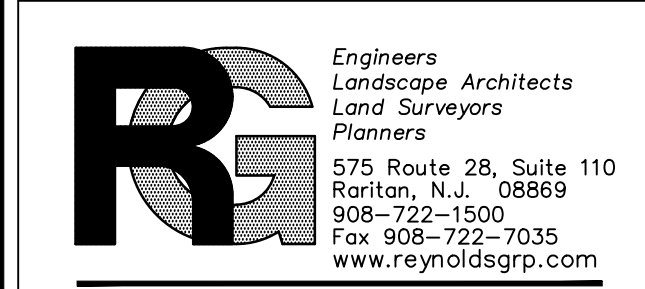
revisions		
no.	date	description

- LEGEND**
- ⊕ GAS VALVE
 - ⊕ GAS METER
 - ⊕ WATER VALVE
 - ⊕ HYDRANT
 - ⊕ WATER METER
 - ⊕ CURB STOP
 - ⊕ FIRE DEPT. CONNECTION
 - ⊕ DRAINAGE MH
 - ⊕ CURB INLET
 - ⊕ LAWN INLET
 - ⊕ SANITARY MH
 - ⊕ CLEANOUT
 - ⊕ BOLLARD
 - ⊕ SIGN
 - ⊕ LIGHT
 - ⊕ MAIL BOX
 - ⊕ GUY WIRE
 - ⊕ UTILITY POLE
 - ⊕ ELECTRIC MH
 - ⊕ CONIFEROUS TREE
 - ⊕ DECIDUOUS TREE
 - X — FENCE
 - RAILING
 - WALL
 - ⊕ GATE POST
 - W — WATER LINE
 - G — GAS LINE
 - E — ELECTRIC LINE
 - S — SANITARY LINE
 - OH — OVERHEAD WIRES



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THE STATE OF NEW JERSEY REQUIRES NOTARY PUBLICS & RESIDENTIAL DESIGNERS TO OBTAIN INSURANCE TO PROTECT THE EARTH'S SURFACE ANYWHERE IN THE STATE.



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F. Mitchell Ardmán, P.E., P.P.
Jeffrey D. Reynolds, P.L.A.

F. MITCHEL ARDMAN
N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

PROJECT: AMENITY PRELIMINARY AND FINAL SITE PLAN PHASE 1F
BLOCK 141
LOTS 31, 02, 36, 01, 38, 39, 40, 44, 01, 45, 01, 47, 48, 48, 01, 49, 50, 01, 50, 02, 50, 03, 51, 52, 53, 54, 55, 56, 57, 01, 58, 59, 60, 63, 01, 123
NORTH BRUNSWICK TOWNSHIP
MIDDLESEX COUNTY, NEW JERSEY

DRAWING TITLE: FIRE TRUCK AND GARBAGE TRUCK TURNING PLAN

job number	21-042	drawing number	29
scale	1"=40'	checked by	FMA
drawn by	A.A.	date	03/09/22
sheet	29 of 29		

