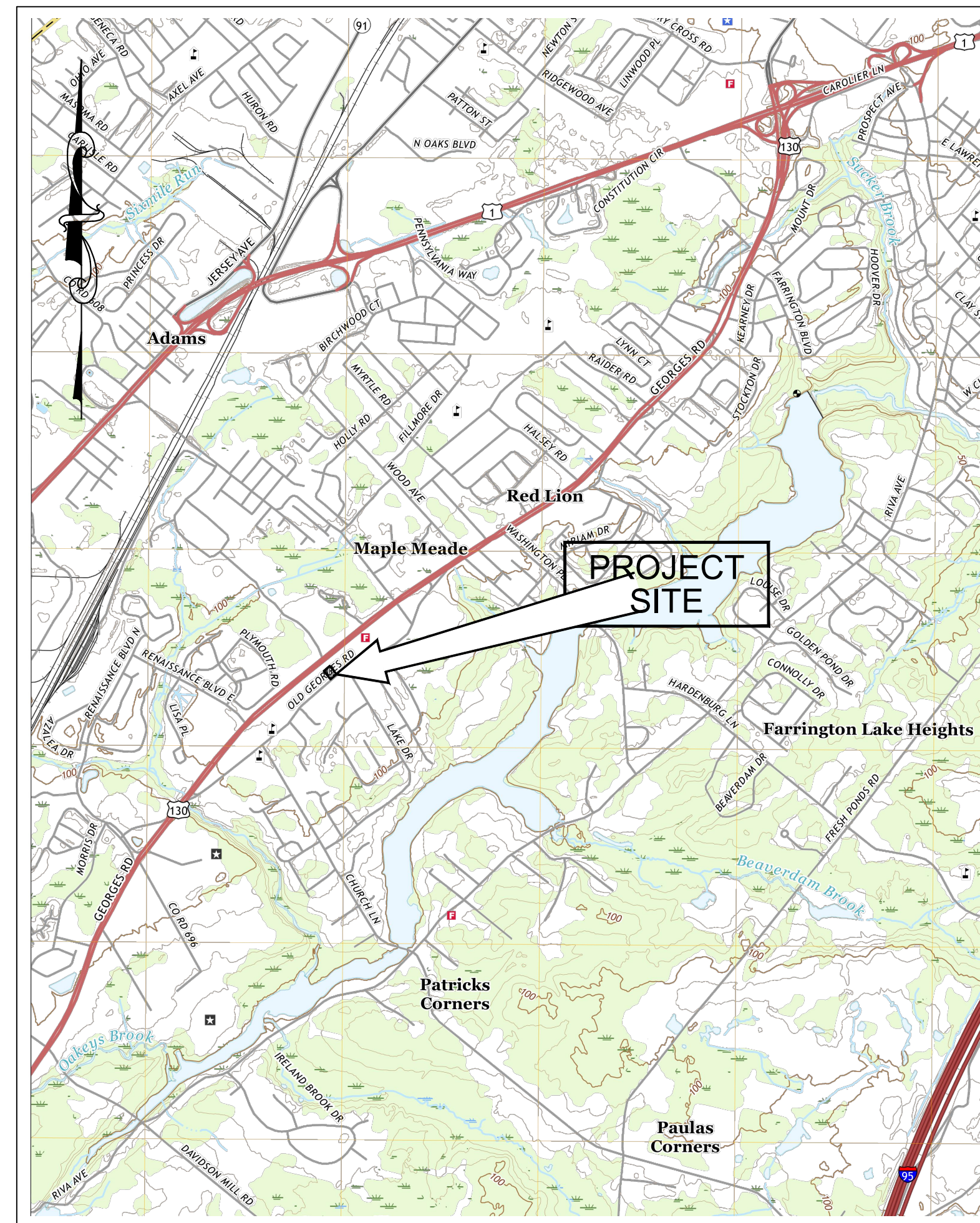


PRELIMINARY AND FINAL SITE PLAN FOR 389 OLD GEORGES ROAD

TOWNSHIP OF NORTH BRUNSWICK
MIDDLESEX COUNTY, NEW JERSEY

INDEX OF SHEETS

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LOCATION MAP
SCALE: 1"= 2,000'

APPLICANT/OWNER:
GRMS HOLDINGS LLC
28 HILLTOP BOULEVARD
EAST BRUNSWICK, NJ 08816

APPROVALS:

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT COMPLIES
WITH ALL APPROVALS GRANTED BY THE APPROVING AUTHORITY .

TOWNSHIP ENGINEER _____ DATE _____

APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF
NORTH BRUNSWICK.

CHAIRMAN _____ DATE _____

 SECRETARY DATE

HEALTH OFFICER	DATE
----------------	------

EXPIRATION OF APPROVAL (PRELIMINARY - 3 YRS; FINAL - 2 YRS)

DATE (WITHOUT EXTENSIONS) _____

BOND/TAXES CERTIFICATION:

VERIFICATION THAT PAYMENT OF MUNICIPAL TAXES OR ASSESSMENTS IS CURRENT.

TAX COLLECTOR _____ DATE _____

I HEREBY CERTIFY THAT A BOND HAS BEEN POSTED FOR ALL THE
REQUIRED IMPROVEMENTS IN COMPLIANCE WITH ALL
APPLICABLE CODES AND ORDINANCES.

TOWNSHIP CLERK _____ DATE _____

OWNERS CERTIFICATION:

I CONSENT TO THE FILING OF THIS SITE PLAN WITH THE PLANNING BOARD OF THE TOWNSHIP OF NORTH BRUNSWICK.

NAME _____ DATE _____

TOWNSHIP OF NORTH BRUNSWICK SITE PLAN CONTROL NUMBER

SEE SHEET 2 OF
THIS SET FOR
GENERAL NOTES
AND REFERENCES.
THESE PLANS ARE
NOT TO BE USED
FOR BID OR
CONSTRUCTION

6			
5			
4			
3	REV OWNER NAME AND CORRECT BOARD INFORMATION	11/16/22	
2	REV PER ZONING OFFICER MEMO DATED 5/20/22	07/01/22	
1	REV SITE PLAN FOR LESS UNITS	02/22/22	
	REVISION	DATE	CHD

PROJ.: 220205
DATE: 04/25/22
CHKD: KO

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ALL RIGHTS RESERVED



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Heard Butler

HEARD BUTLER
KIMBERLY A. BUTLER, N.J. Professional Engineer and Surveyor
Lic. 24G42891

PRELIMINARY AND FINAL MAJOR SITE PLANS FOR
389 OLD GEORGES ROAD
COVER SHEET / LOCATION MAP
TAX MAP BLOCK 226, LOT 19
TOWNSHIP OF NORTH BRUNSWICK, MIDDLESEX COUNTY, NJ

SHEET No. 1 OF 8

Boundary. Information shown herein taken from property survey prepared by Osterkon Engineering Associates.

2. Topographic information shown herein obtained by Omland & Osterkon, Inc. in February 2022. Elevation on assumed datum.

3. The engineer signing this plan is not qualified to make a determination as to the presence or absence of wetlands or other natural resources. The engineer must be satisfied by the fact that no evidence of wetlands or wetland transition areas (buffers) are shown on this plan.

4. Underground utilities shown herein are approximate and based solely upon above ground observations. Mark-outs and/or plans provided by utility companies. The accuracy or completeness of the information shown regarding underground utilities is not guaranteed by the engineer. Connections between structures, and where shown, will not represent actual below ground conditions. Contractor and subcontractors are responsible for ordering mark-outs, coordination with the various utility companies and for making their own connections and to the location and to the depth of underground utilities prior to any construction to assure disturbance and/or disruption of existing utilities is avoided where possible and minimized in all cases. As the exact elevation of existing utilities may be unknown to engineer, contractor is advised that the potential for conflicts with proposed work may exist. Exploratory excavations, contract contingencies or exclusions will not be held by the contractor. The contractor shall be responsible for any damage to existing utilities between the proposed work and existing utilities, the conflict shall be brought to the attention of Omland & Osterkon, Inc. and the Owner prior to any work being performed.

a. The Contractor shall determine the location and depth of the existing utility to which connection is being made before laying any pipe, conduit, etc. Discrepancies shall be reported to Omland & Osterkon, Inc.

b. Any temporary interruption of service to the site and/or adjacent properties shall be pre-approved (written) (email) by the respective utility.

c. Electronic, telephone, cable television and all other utility services shall be installed underground in locations, determined by each respective utility entity, subject to any required municipal approval regardless of whether or not the soil charges are shown on the plans. The Contractor shall coordinate the installation of all utility mains and services with each utility entity and provide what respective support is required for achieving utility service. The Contractor is advised to contact each respective utility company prior to construction to identify and coordinate any scheduling requirements.

c. Should it be required to excavate one or more trenches in existing roadways, backfilling and pavement replacement/repair shall be in accordance with the specifications of the municipality or county, as applicable. Verification of backfill requirements shall be made prior to bid.

5. Contractors and subcontractors are responsible for making their own determinations regarding subsurface conditions, including but not limited to the soil charges as well as depth to bedrock and groundwater. Omland & Osterkon, Inc. and the Owner are not expected to make any such determinations.

6. The proposed buildings shown herein are as taken from plans/CADD files prepared by Kurt J. Ludwig, AIA Architect.

7. The Owner shall provide a copy of all permits and approvals issued for the project to the Contractor. The Contractor shall be responsible for reading and complying with the terms and conditions of all permits, approvals and authorizations issued by the various regulatory authorities for the project. The Owner is also responsible for confirming with the Engineer that the permits and approvals provided by the Contractor is correct.

8. Responsibility for any additional permits required as construction progresses, such as building permits (including building permits for retaining walls) and road opening permits shall be coordinated between the Contractor and Owner.

9. Prior to any construction or site preparation activity, the Contractor shall complete the following:

- Verify the plans contain the raised seal of the engineer and display the latest revision as "Issued for Construction." The use of any other plans is at the Contractor's risk.
- Verify the information shown on these plans is consistent with the information shown on all other plans (architectural, landscaping, etc.) being used for construction of the project. Also, verify the plans are consistent with all conditions and requirements set forth in the permits. Report any discrepancies/inconsistencies to the Owner and Omland & Osterkon, Inc. prior to any construction.
- Determine all applicable specifications, as well as all building requirements for shop drawings, inspections and certifying applicable to project by contacting the local authorities for municipal engineering and each affected utility company (or agency). In the event of a conflict between any specifications and the information shown on these plans, Omland & Osterkon, Inc. and the Owner shall be notified in order to resolve the conflict prior to any construction.
- Contact the local police department relevant to any work to be performed in or near public streets, as well as ingress and egress requirements during construction. Traffic control requirements shall be established between the Contractor and police department at this time.

10. These plans are intended specifically and solely for the construction of the subject project and shall not be used for any other purpose. The copying or modification of these plans or any portion thereof is a violation of copyright law.

11. Contractor shall provide the information provided on the full set of plans for the construction of a project elements. Notes and information provided on one drawing may also be relevant to information or details provided on another drawing.

12. Relevant documentation pertaining to any product proposed by the Contractor on the basis of an "approved equal" shall be submitted to the municipal engineer Omland & Osterkon, Inc. at least two weeks in advance of ordering product. The product must be approved for incorporation into the project by both the municipal engineer and Omland & Osterkon, Inc.

13. All confirmations/verifications between the Contractor, Owner and Engineer shall be via email or other written communication.

14. Contractor to notify the applicable Soil Conservation District in writing at least 72 hours prior to any site preparation or construction activities.

15. Contractor to call the New Jersey One Call System (800-272-1000) to have all underground utilities located prior to any site disturbance.

16. The Contractor shall provide the Owner and Omland & Osterkon, Inc. with a list of all shop drawings, inspections, testing, certifications, as-built plans and similar post-construction approval requirements pertaining to the project. The list shall also identify the specific individual responsible for performing each test and/or providing each certification and/or as-built map. In particular, should NUDEP permits apply to any utility and vertical shall be verified for consistency with the plans by the entity responsible for layout prior to the construction of each project element. In the event of any discrepancies between the layout and dimensions/dimensions shown on the plans, the layout entity shall notify Omland & Osterkon, Inc. for resolution of the discrepancy prior to any construction for the specific element.

17. Information for field layout shall be taken from the plans. Graphical information as may also be provided via electronic files is intended as drawing data only and is not to serve as basis for survey layout. Standard practice is that the layout entity check dimensional data for consistency and to make survey calculations as customary for layout.

18. The location and inverts of all existing storm and sanitary sewers shown herein shall be verified by the Contractor prior to any construction. Any discrepancies shall be reported to Omland & Osterkon, Inc. immediately and no construction shall commence until any such discrepancies are resolved. Storm and sanitary sewer layout and construction shall proceed from downstream to upstream throughout the entire project.

19. The intent of the plans is to provide a smooth transition, maintaining effective positive drainage, at all locations where the proposed construction is to connect to existing infrastructure, such as for curbs, pavement, and sidewalk. The entity responsible for stakeout shall—prior to any construction—verify the intended smooth connections will be achieved. Unless otherwise noted on the plans or directed by the inspecting authority, smooth transitions shall be considered to meet the following minimum criteria:

- No low points or "bird baths" will be created, except at locations where drainage inlets exist or will be constructed.
- All final grades will have a minimum slope of 0.5%.
- Abrupt changes in grade are avoided. Slope changes exceeding 2.0% shall be considered abrupt for the purpose of this requirement.

In the event the entity responsible for layout shall determine a smooth transition cannot be achieved at one or more locations, Omland & Osterkon, Inc. shall be notified for resolution prior to any construction.

20. The Contractor is responsible for their own verification of existing topographic information, should there be any suspected discrepancies with the topography depicted on the plans and actual physical conditions. Any contractual and/or financial liability by the Contractor's verification shall be reported to the Engineer for resolution prior to any site disturbance. Once any site disturbance occurs, the Contractor shall have no claim for extra work based upon suspected or confirmed topographic discrepancies.

- The Contractor is responsible for assuring all construction along barrier free routes complies with all requirements.
31. Prior to the actual pouring of concrete along barrier free routes, the Contractor shall check all formwork to verify compliance with the applicable barrier free requirements and request confirmation of same by the permitting authority.
32. Unless indicated otherwise in the plan, all sidewalk shall be a minimum of four feet wide, except adjacent to the end of parking stalls where sidewalk shall be a minimum of six and a half feet in width.
33. The details shown on these plans for retaining walls have been prepared for the purpose of Preliminary/Final Municipal agency review and approval. Structural designs for all walls must be procured by the Contractor (or Owner) and prepared by an engineer licensed in New Jersey. The wall design must abide by any specifications relevant to type of wall, color and/or texture. A building permit is required for any wall exceeding four feet in height.
34. A building permit is required for all walls four or more feet in height. Contractor (Owner) is responsible for securing said permit(s).
35. Bottom of wall elevations (BW) shown on the plans indicate ground elevation at toe of wall upon completion of construction. Footing elevations to be taken from the structural plans procured by the Contractor (Owner).
36. It is not the intent of these plans to provide structural design for any pre-cast or cast in place concrete structure. All structural design of pre-cast and/or cast-in-place concrete structures shall be prepared by a Professional Engineer retained by the Contractor.
37. Post-construction certification as to the construction of a retaining wall or other structural components to be provided by a professional engineer engaged by the Contractor (Owner).
38. Where shop drawings are specified on the plans or required by an inspecting authority, at least three copies of the drawings shall be provided to Omland & Osterkom, Inc. for approval. Contractor to determine the number of copies required by the inspecting authority. All shop drawings are to be prepared by a New Jersey professional engineer.
39. All construction shall conform to the requirements of any applicable Federal, State or Local law, regulation and/or ordinance.
40. Unless otherwise noted, all materials and workmanship shall conform to the New Jersey Department of Transportation Standard Specifications for Road and Bridge Construction, latest edition.
41. Contractor shall complete all work in a workmanlike manner to the full satisfaction of the Owner.
42. Contractor shall be responsible for site clean-up following completion of construction. All disposal of debris shall be in accordance with applicable local, county, state and federal regulations.
43. Any damage to existing infrastructure, including but not limited to, pavement, sidewalks, curbs, lighting facilities, utilities, or landscaping, due to the actions of the Contractor shall be repaired by the Contractor (at his sole expense) to the satisfaction of the owner of the damaged item.
44. All equipment, materials, etc. shall be confined to the project site. No encroachment onto public right-of-ways or adjacent properties is permitted unless specified on the plans or granted to the Contractor in writing.
45. Any omissions in the standard details or lack of information must be brought to the attention of Omland & Osterkom prior to construction.
46. Existing pavement shall be saw cut in straight lines to the full depth of the existing asphalt (except at the edge of butt joints).
47. The frame and grates of all inlets, manholes and sewer cleanout boxes shall be adjusted as necessary to match proposed grades. All such elevation adjustments shall be performed in accordance with all applicable specifications and regulations.
48. All on-site water main shall have a minimum cover of 4 feet.
49. Sanitary sewer shall be separated from water mains by a distance of at least 10 feet horizontally or 18-inches vertically, if horizontal separation is not possible.
50. All storm and sanitary sewer pipe lengths shown herein are from center of structure to center of structure, unless otherwise indicated.
51. All materials and construction shall conform to the requirements specified in the Residential Site Improvement Standards (NJAC 7-21.5), latest edition.
52. All RCP to be reinforced concrete pipe conforming to ASTM D-76, Class III, Wall B, unless otherwise indicated.
53. All HDPE to be N-12 double walled, (soil tight, water tight) corrugated pipe as manufactured by Advanced Drainage Systems, or approved equal.
54. All PVC sanitary sewer pipe shall be 8-inches. Service connections shall be 6-inches.
55. All water main pipe shall be cement lined ductile iron pipe, Class 52, unless otherwise noted on the plan or required by the water purveyor.
56. All roof leader drains to be 6-inch Schedule 40 PVC, unless otherwise noted on the plans. All leader drains to be installed with two foot minimum cover.
57. All roof drains shall be connected to the northeast underground stormwater system on-site.
58. All pipe shall be installed in accordance to applicable manufacturers' specifications.
59. Fire lanes shall be provided in accordance with fire official's requirements.
60. If stormwater runoff drainage problems occur as a result of this construction, it shall be the responsibility of the occupant of the property to remedy the drainage issue.
61. All excavated material shall be removed from the site unless approved for backfill by the Borough. Any soil disturbance shall be done as set forth by Borough Ordinance.
62. The applicant/contractor is responsible to repair any damage to improvements within the Right-Of-Way, including but not limited to, sidewalk, driveway apron, curb, and asphalt pavement as required by Ordinance.
63. The applicant/contractor shall call to coordinate inspections within the Borough at least 24-hours prior to start of construction as related to grading and drainage improvements on site.



(E) = EXISTING NON-CONFORMANCE
(V) = VARIANCE REQUESTED

UTILITY COMPANY LIST

Middlesex County Planning Board
County Administration Building
5th Floor
75 Bayard Street
New Brunswick, NJ 08901

Cablevision of Raritan Valley
275 Centennial Avenue
CN 6805
Piscataway, NJ 08855-6805
Attn: Margurite Prenderville

Construction Department Mr. Tim Allen
Texas Eastern Transmission Corp.
501 Coolidge Street
South Plainfield, NJ 07080

North Brunswick Township
710 Hermann Road
North Brunswick, NJ 08902
Attn: Township Clerk

Verizon
N.J. Gen. Tax Administration
Broad Street – Room 305
Newark, NJ 07101

Department of Transportation
State of New Jersey
1035 Parkway
Trenton, NJ 08625

Sunoco Pipeline L.P.
Right of Way
Montello Complex
525 Fritztown Road
Sinking Spring, PA 19608


Township of North Brunswick
710 Hermann Road
North Brunswick, NJ 08902



200' PROPERTY OWNERS LIST

200' Property list for: Block 226 Lot 19

Township of North Brunswick
710 Hermann Road
North Brunswick, NJ 08902


Andrei Alexeev
Administrative Officer

April 21, 2022

Number of Properties: 15

SEE SHEET 2 OF
THIS SET FOR
GENERAL NOTES
AND REFERENCES

THESE PLANS ARE
NOT TO BE USED
FOR BID OR
CONSTRUCTION


6			
5			
4			
3			
2			
1	REV PER ZONING OFFICER MEMO DATED 5/20/22	07/01/22	
	REVISION	DATE	CHKD

PROJ.: 220205
DATE: 04/25/22
CHKD: KO

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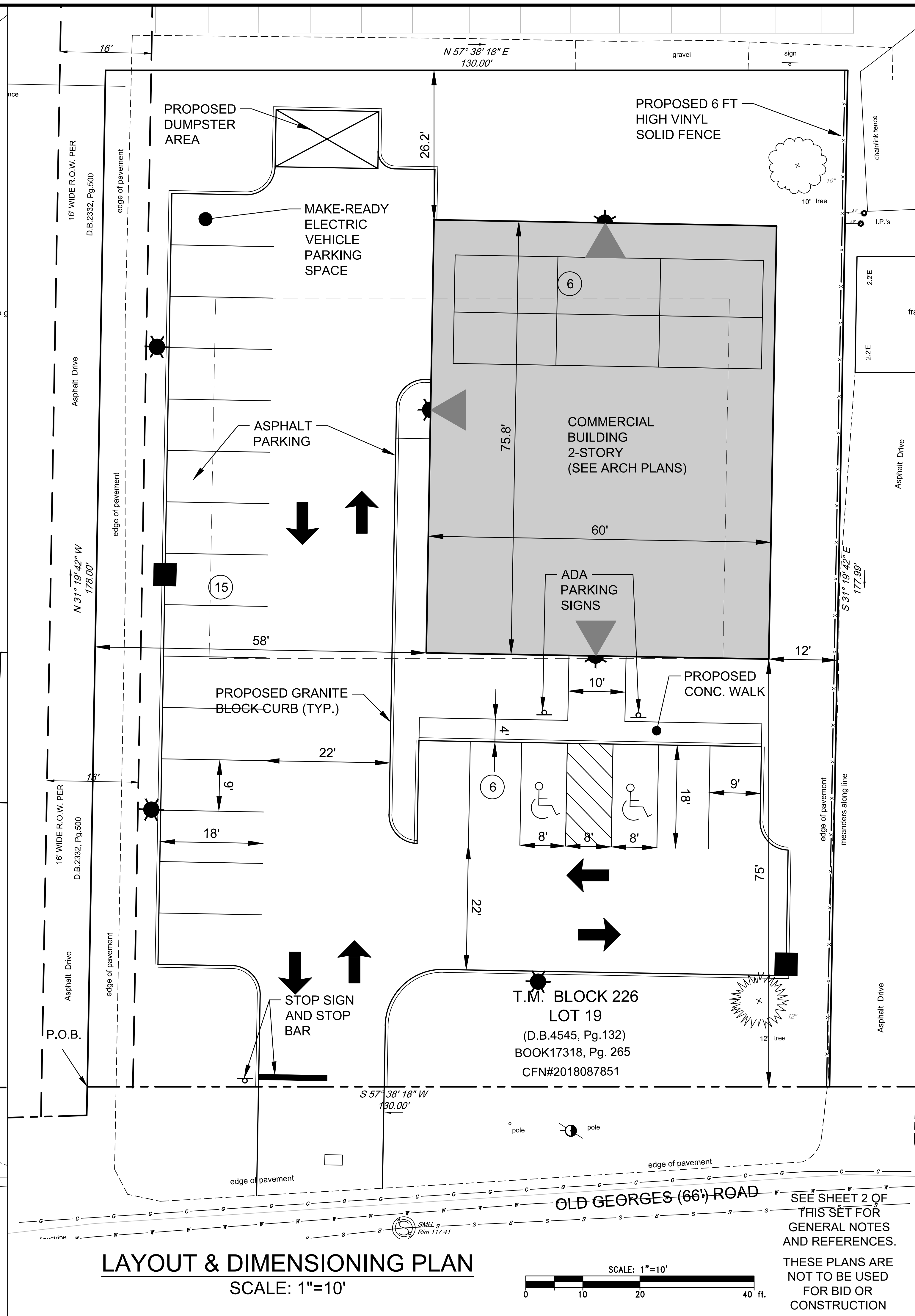
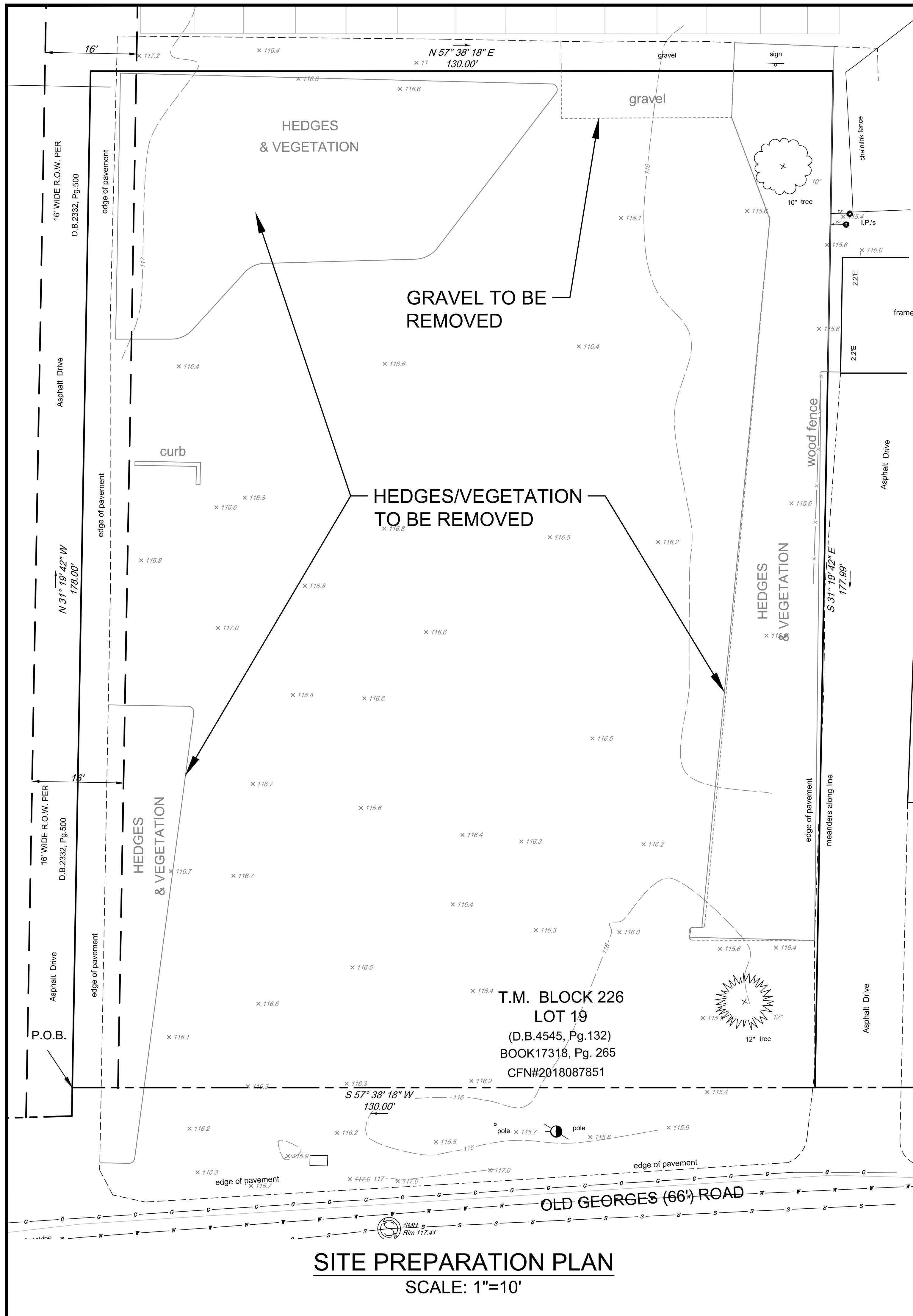


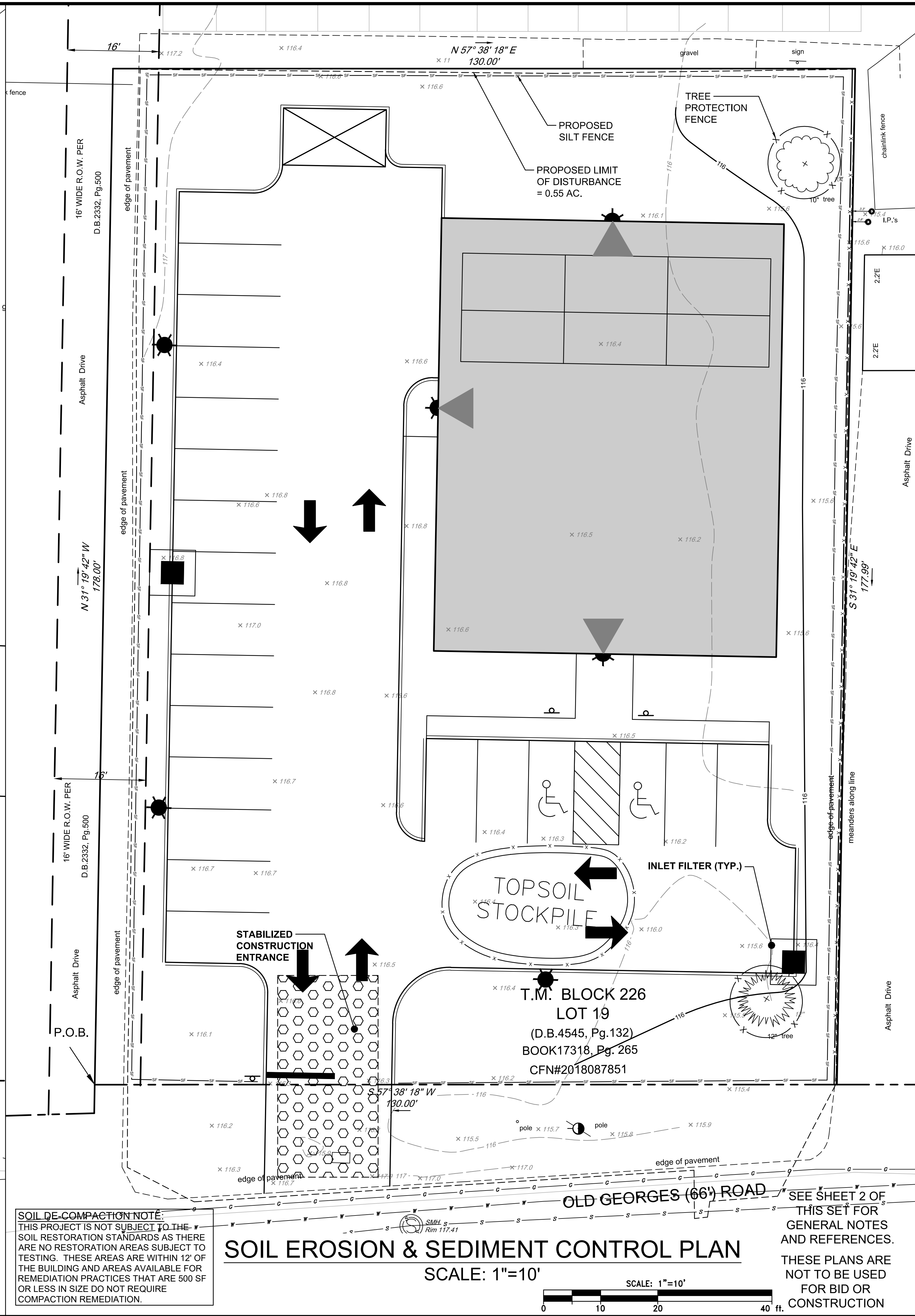
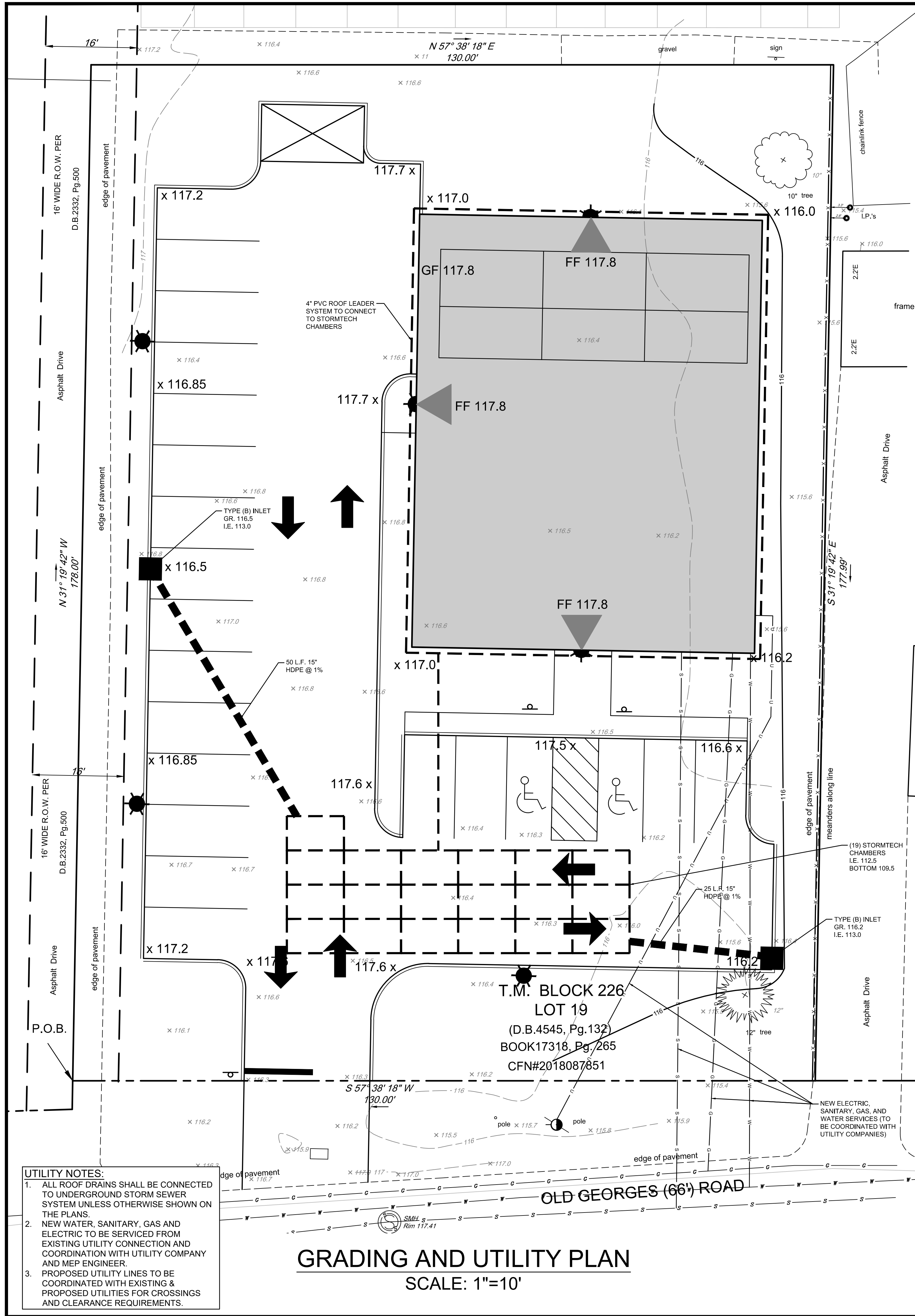
Onland & Osterkom, Inc.
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 Phone: 973-447-7820
 NJ Certificate of Authorization
 No. 24C-02828300


KERSTEN OSTERKOM, N.J. Professional Engineer & Professional Land Surveyor,
 Lic. 24G94281

PRELIMINARY AND FINAL MAJOR SITE PLANS FOR
389 OLD GEORGES ROAD
ZONING MAP / GENERAL NOTES
TAX MAP BLOCK 226, LOT 19
TOWNSHIP OF NORTH BRUNSWICK, MIDDLESEX COUNTY, NJ

SHEET No. 2 OF 8





PROJ: 202005 DATE: 04/25/22 THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR THE WORK WAS CONTRACTED FOR TO THE PROJECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MLAND & STERKORN, INC.		6 5 4 3 2 1
MLAND & STERKORN CONSULTING ENGINEERS & SURVEYORS		REVISION
Onland & Osterkorn, Inc. Phone: 978-447-7820 Westfield, NJ 07091 www.onlandengineers.com Email: kosterkorn@on-c-engine.com		DATE: 07/01/22
Kirsten Osterkorn, N.J. Professional Engineer & Professional Land Surveyor L.E. 245842691		REV PER ZONING OFFICER MEMO DATED 5/20/22
PRELIMINARY AND FINAL MAJOR SITE PLANS FOR 389 OLD GEORGES ROAD GRADING, UTILITY AND SOIL EROSION & SEDIMENT CONTROL PLAN TAX MAP BLOCK 226, LOT 19 TOWNSHIP OF NORTH BRUNSWICK, MIDDLESEX COUNTY, NJ		SHEET NO. 4 OF 8

GENERAL LANDSCAPE NOTES

PLANTING:

1. THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING AND LIGHTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES, STRUCTURES, ETC. AND NOTIFY THE LANDSCAPE ARCHITECT IN REFERENCE TO ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
2. THE CONTRACTOR SHALL ENSURE THAT WORK DOES NOT INTERRUPT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS.
3. IN THE EVENT OF VARIATION BETWEEN WRITTEN QUANTITIES AND QUANTITIES SHOWN ON THE PLAN, THE PLANS SHALL TAKE PRECEDENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER GROWTH OF THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER GROWTH OF THE PLANT MATERIAL.
4. PLANTS SHALL BE LOCATED AS SHOWN ON THE DRAWINGS OR AS DESIGNATED IN THE FIELD.
5. ALL PLANT MATERIAL SHALL CONFORM TO CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANLA). TREES SHALL BE NURSERY-GROWN, FREE OF DISEASE, SUBSTANTIALLY UNIFORM IN SIZE AND SHAPE AND HAVE STRAIGHT TRUNKS.
6. ALL PLANTS (B&B OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHERPROOF LABELS SECURELY ATTACHED THERETO BEFORE DELIVERY TO PROJECT SITE. LABELS SHALL IDENTIFY PLANTS BY SPECIES AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL THE FINAL INSPECTION BY THE LANDSCAPE ARCHITECT OR ENGINEER.
7. ANY MATERIAL AND/OR WORK MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER IF IT DOES NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
8. PLANT SUBSTITUTIONS SHALL BE WITH WRITTEN CONSENT OF THE OWNER OR LANDSCAPE ARCHITECT RELATIVE TO SIZE, SPECIES AND VARIETY. ALL PLANT MATERIAL SHALL BE TRUE SPECIES, VARIETY, AND SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. WRITTEN PROOF OF UNAVAILABLE PLANT MATERIAL, MUST BE DOCUMENTED.
9. ALL PROPOSED TREES TO BE INSTALLED ENTIRELY IN OR ENTIRELY OUT OF PLANTING BEDS. PLANTING BED LINES ARE NOT TO BE OBSTRUCTED. ALL SHRUBS AND GROUND COVER AREAS SHALL BE PLANTED IN CONTINUOUS PREPARED BED AND TOP DRESSED WITH A 3 INCH LAYER OF SHREDDED HARDWOOD MULCH. MULCH SHALL HAVE BEEN SHREDDED WITHIN THE LAST SIX MONTHS.
10. TRANSPLANTING:
 - A. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
 - B. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
 - C. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
 - D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
 - E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
 - F. IF TRANSPLANTS DIE, SHRUBS LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND.
11. BULBS SHALL BE PLANTED IN ACCORDANCE WITH SECTION 11 OF THE ANLA STANDARDS.
12. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND CONDITIONS OF ALL TREES AND SHRUBS AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS. STAKING OF ALL TREES SHALL BE DONE AS INDICATED ON THE DOCUMENTS.
13. ALL TREE STAKES AND WIRES WILL BE REMOVED BY THE APPLICANT AFTER ONE (1) YEAR FROM THE DATE OF INSTALLATION.
14. VEGETATION PROPOSED TO BE PLANTED TO AVOID DAMAGE TO THE EXISTING VEGETATION.
15. ALL STREET TREES AND SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 7' ABOVE GRADE.
16. MAINTAIN POSITIVE DRAINAGE OUT OF PLANTING BEDS AT A MINIMUM 2% SLOPE. ALL GRADES, DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, ENGINEER, OR OWNER.
17. ALL PLANTING BEDS SHALL RECEIVE 3 INCHES OF SHREDDED HARDWOOD MULCH WITH WEED INHIBITING FABRIC BENEATH.
18. PLANT MATERIALS SHALL NOT BE INSTALLED UNTIL FINISHED GRADING HAS BEEN COMPLETED.
19. UPON COMPLETION OF ALL LANDSCAPING, AN ACCEPTANCE MEETING OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR ENGINEER OR OWNER FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
20. ALL TREES SHALL BE GUARANTEED FOR 24 MONTHS FROM TO DATE OF ACCEPTANCE. ALL SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR 24 MONTHS FROM THE DATE OF ACCEPTANCE. REPLACEMENT PLANTS USED SHALL BE GUARANTEED FOR AN ADDITIONAL 90 DAYS.
21. PLANTING DATES:

FALL	SPRING	
AUGUST 15 - DECEMBER 15	MARCH 1 - MAY 15	
EVERGREEN TREES	ALL PLANTS	
OCTOBER 15 - DECEMBER 15	DECIDUOUS TREES	

LAWN:

22. ALL DISTURBED AREA OF THE SITE NOT PLANTED WITH SHRUBS OR GROUND COVER SHALL BE FINE GRADED AND SEEDED OR SODDED.
23. ALL SOD SHALL BE OBTAINED FROM AREAS HAVING GROWING CONDITIONS FAMILAR TO AREAS TO BE COVERED. AREAS TO BE SODDED SHALL BE RAKED OF STONES AND DEBRIS. DEBRIS AND STONES OVER 1 INCH IN DIAMETER SHALL BE REMOVED FROM THE SITE. ALL DAMAGED SOD WILL BE REJECTED. ALL SOD MUST BE PLACED WITH STAGGERED JOINTS, BUTTED WITH NO UNEQUALITIES IN GRADE. PLACE ALL SOD IN ROWS AT RIGHT ANGLES TO SLOPES (WHERE APPLICABLE).
24. ALL PLANTING BEDS ADJACENT TO LAWN AREAS (SOD OR SEEDED) SHALL BE SPADE EDGED.

SOILS:

25. PLANT BACKFILL MIXTURE: BACKFILL PLANT PITS WITH A MIXTURE OF TOPSOIL AND SOIL AMENDMENTS. AMENDMENTS SHALL BE ADDED AS RECOMMENDED BY CERTIFIED SOIL TEST.
26. PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. IF WET SOIL CONDITIONS EXIST THEN PLANT PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND THE ADDITIONAL AREA FILLED WITH SAND.
27. IMPORTED AND ON-SITE TOPSOIL MAY BE USED TO REFILL THE EXCAVATED AREA. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. CONTRACTOR TO MODIFY THE SOIL AS NEEDED TO MEET REQUIRED PH AND NUTRIENT LEVELS.
28. LAWN/LANDSCAPE RESTORATION AREAS: CONTRACTOR TO COMPLETELY REMOVE ALL UNDERLYING CONSTRUCTION MATERIALS AND SCARIFY/RIP REMAINING SOIL TO A DEPTH OF 24". INCLUDING A MINIMUM OF 6" THICK TOPSOIL.
29. ALL AREAS, WHICH ARE TO BE SEEDED, SHALL RECEIVE 3" OF TOPSOIL PRIOR TO SEEDING. PRIOR TO TOPSOIL PLACEMENT THE EXISTING SOIL SHALL BE RAKED CLEAN OF WEEDS, VEGETATION AND EXTRANEUS MATERIALS SUCH AS WOOD, STONES, ROCKS, CONSTRUCTION DEBRIS, ETC. LARGER THAN TWO (2) INCHES IN ANY DIMENSION. TOPSOIL SHALL BE SANDY LOAM FREE FROM SUBSOIL, STONES LARGER THAN 1", OR ANY UNDESIRABLE MATERIAL. CONTAIN 5% ORGANIC MATTER, 5.0 TO 6.5 PH. TOPSOIL SHALL NOT BE WORKED IN MUDDY OR WET CONDITIONS.
30. TOPSOIL AND SEED ALL AREAS DISTURBED AS A RESULT OF ANY AND ALL CONSTRUCTION DISTURBANCES AND STORAGE OF EQUIPMENT, WHETHER SUCH AREAS ARE SHOWN ON THE PLANS OR NOT. CONTRACTOR TO FIELD VERIFY AREAS OF SEED AND SOD PRIOR TO SUBMITTING A BID.
31. THE CONTRACTOR IS RESPONSIBLE FOR TESTING PROJECT SOILS. THE CONTRACTOR IS TO PROVIDE A CERTIFIED SOILS REPORT TO THE OWNER. THE CONTRACTOR SHALL VERIFY THAT THE SOILS ON SITE ARE ACCEPTABLE FOR THE PROPER GROWTH OF THE PROPOSED PLANT MATERIAL. SHOULD THE CONTRACTOR FIND POOR SOIL CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE SOIL AMENDMENTS AS NECESSARY. THE AMENDMENTS SHALL INCLUDE, BUT NOT BE LIMITED TO, FERTILIZERS, LIME, AND TOPSOIL. PROPER PLANTING SOILS MUST BE VERIFIED PRIOR TO PLANTING OF MATERIALS.
32. ALL PLANTING AREAS WITHIN EXISTING ASPHALT PAVEMENT AREAS SHALL BE DECOMPACTED A MINIMUM DEPTH OF 24 INCHES. CONTRACTOR TO REMOVE ASPHALT/BASE MATERIALS AND SCARIFY/RIP REMAINING SOIL TO A DEPTH OF 24". TAKE CARE TO NOT RIP SOIL WITHIN THE DRIP LINE OF EXISTING TREES.

COORDINATION:

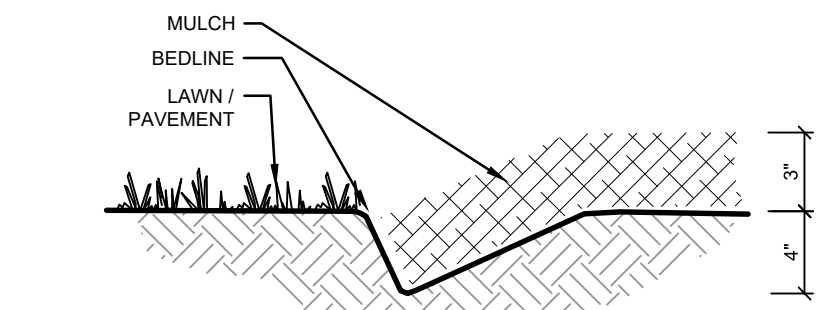
33. THE CONTRACTOR SHALL COORDINATE WITH LIGHTING CONTRACTOR (WHEN / WHERE APPLICABLE) REGARDING TIMING OF INSTALLATION OF PLANT MATERIAL.
34. THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF UNDERGROUND UTILITIES ON THE SITE THREE (3) DAYS PRIOR TO ANY EXCAVATION. THEIR EXACT LOCATION SHALL BE VERIFIED IN THE FIELD WITH THE OWNER OR GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS. IN THE EVENT UTILITIES ARE UNCOVERED, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE TO THE UTILITIES AND SUCH DAMAGE SHALL NOT RESULT IN ANY ADDITIONAL EXPENSES TO THE OWNER. ANY DAMAGE OF UNREPORTED LINES SHALL NOT BE THE RESPONSIBILITY OF THE CONTRACTOR.
35. IF UTILITY LINES ARE ENCOUNTERED IN EXCAVATION OF TREE PITS, OTHER LOCATIONS FOR TREES SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION. NO CHANGES OF LOCATION SHALL BE MADE WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT OR ENGINEER.

INSTALLATION:

36. ALL EQUIPMENT AND TOOLS SHALL BE PLACED SO AS NOT TO INTERFERE OR HINDER THE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW.
37. DURING PLANTING OPERATIONS EXCESS WASTE MATERIALS SHALL BE PROMPTLY AND FREQUENTLY REMOVED FROM THE SITE.
38. EVERY POSSIBLE CARE SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT, AND FURNISHING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS NEGLIGENCE IN THE EXECUTION OF THE WORK.

MAINTENANCE:

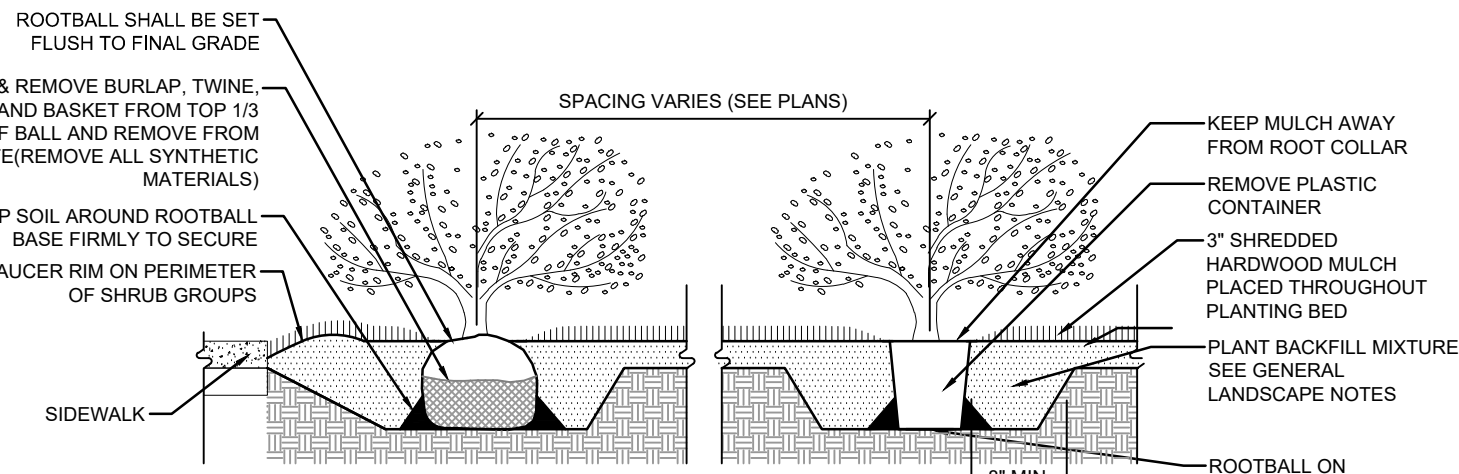
39. MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL 90 DAYS AFTER FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER REPRESENTATIVE. MAINTENANCE INCLUDES: WATERING, PRUNING, FERTILIZING, WEEDING, MULCHING, REPLACEMENT OF DISEASED OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT MATERIAL. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUED MAINTENANCE IF REQUESTED BY THE OWNER. NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF PLANTS.



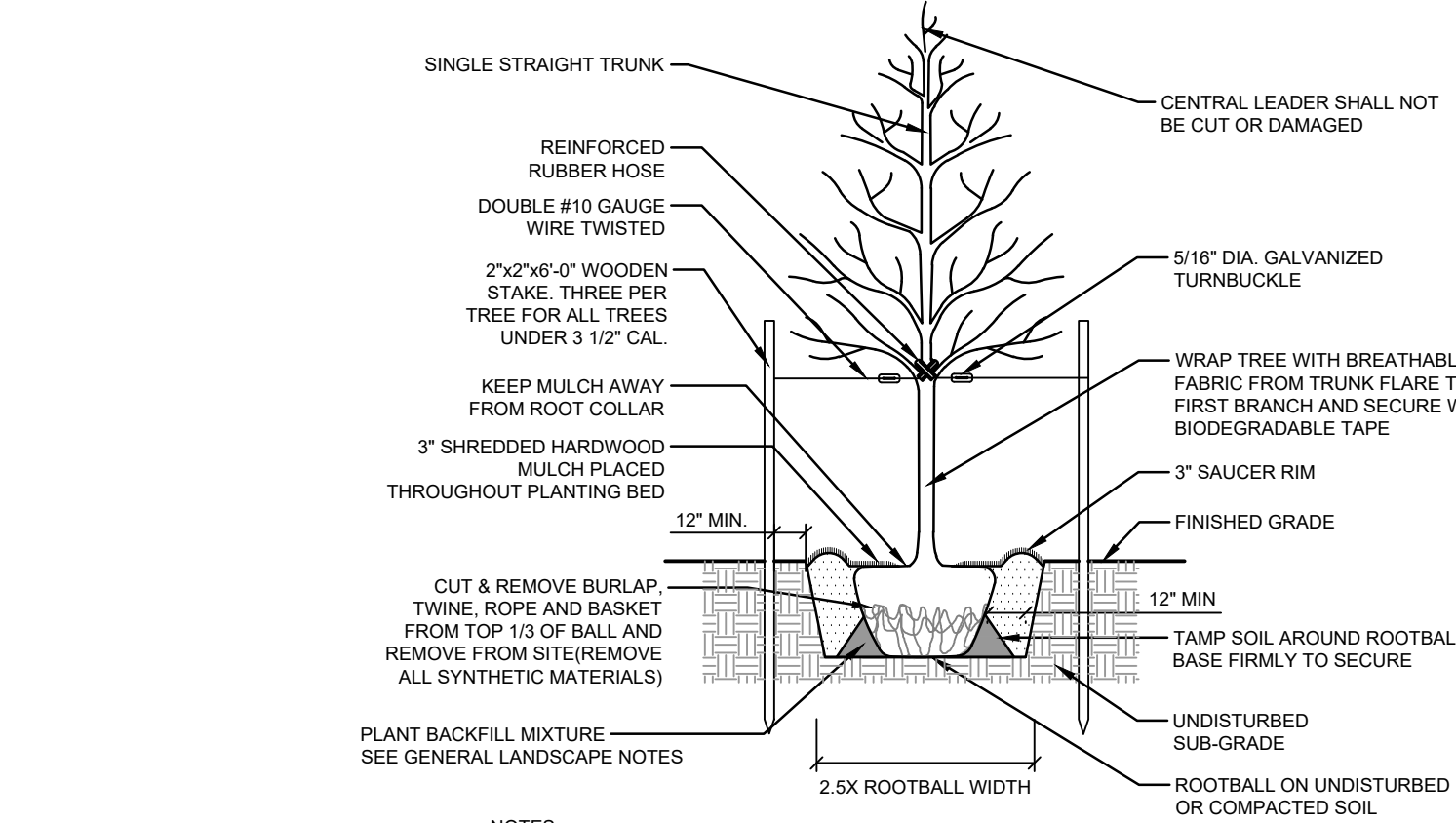
BEDLINE
N.T.S.

LAWN
N.T.S.

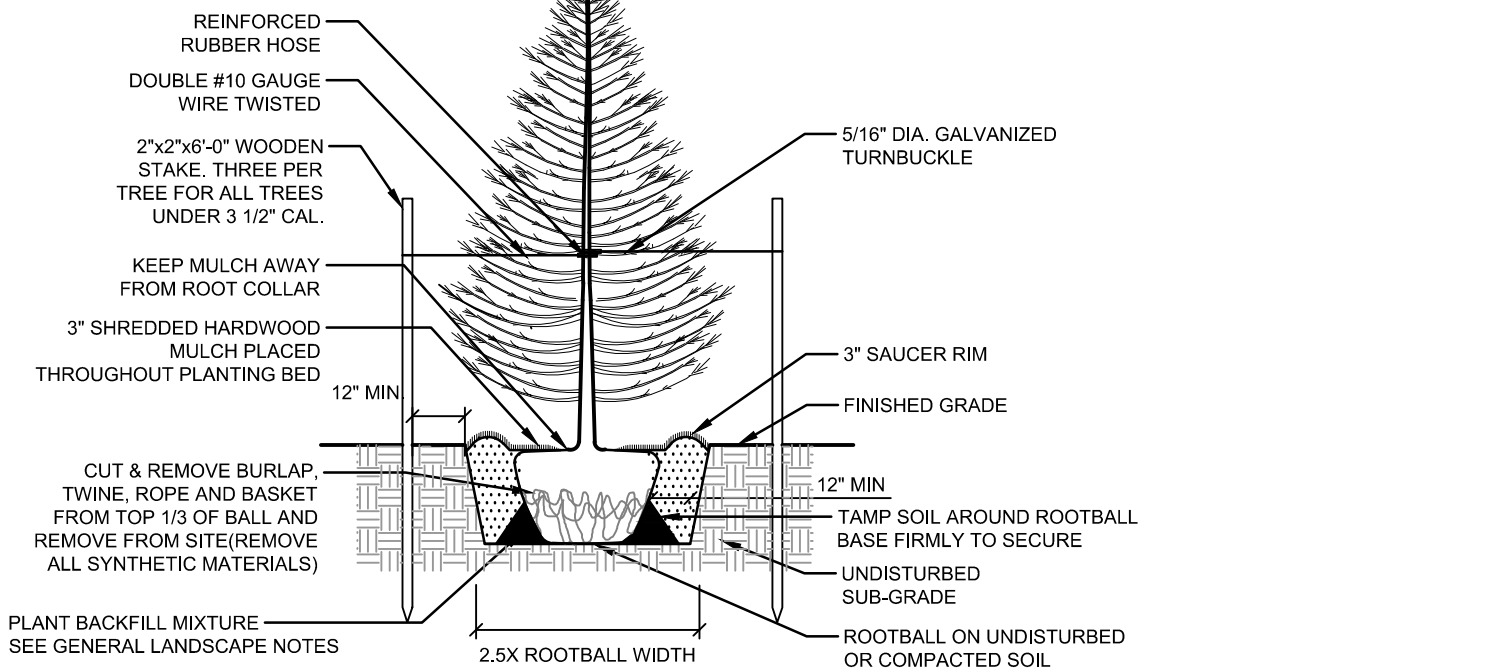
PLANT SCHEDULE						
Key	Qty	Scientific Name	Common Name	Caliper	Height	Root
Shade Trees						
AC	2	Acer rubrum 'Armstrong'	Armstrong Maple	2-2.5"	-	B&B
AR	5	Acer rubrum	Red Maple	2-2.5"	-	B&B
Evergreen Trees						
TO	9	Thuja plicata 'Green Giant'	Green Giant Arborvitae	-	6-8'	B&B
Shrubs						
IC	5	Ilex crenata 'Chesapeake'	Chesapeake Japanese Holly	-	24-36"	#3 Cont
ICC	10	Ilex crenata 'Compacta'	Compact Japanese Holly	-	18-24"	#2 Cont
SJ	10	Spiraea japonica 'Goldflame'	Goldflame Spirea	-	12-18"	#1 Cont
SP	5	Spiraea nipponica 'Snowmound'	Snowmound Spirea	-	24-30"	#3 Cont
VD	12	Viburnum dentatum	Arrowwood Viburnum	-	24-36"	B&B
VT	6	Viburnum tomentosum 'Mariesii'	Mariesii Viburnum	-	24-36"	#3 Cont
Ornamental Grasses & Groundcovers						
CA	14	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	-	-	#1 Cont
JC	7	Juniperus horizontalis 'Bar Harbor'	Bar Harbor Creeping Juniper	-	-	#1 Cont
PA	14	Pennisetum alopecuroides	Chinese Fountain Grass	-	-	#1 Cont



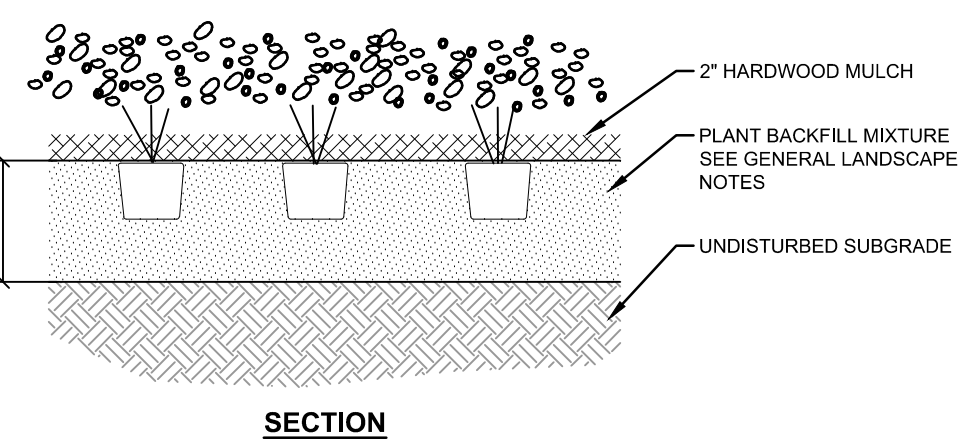
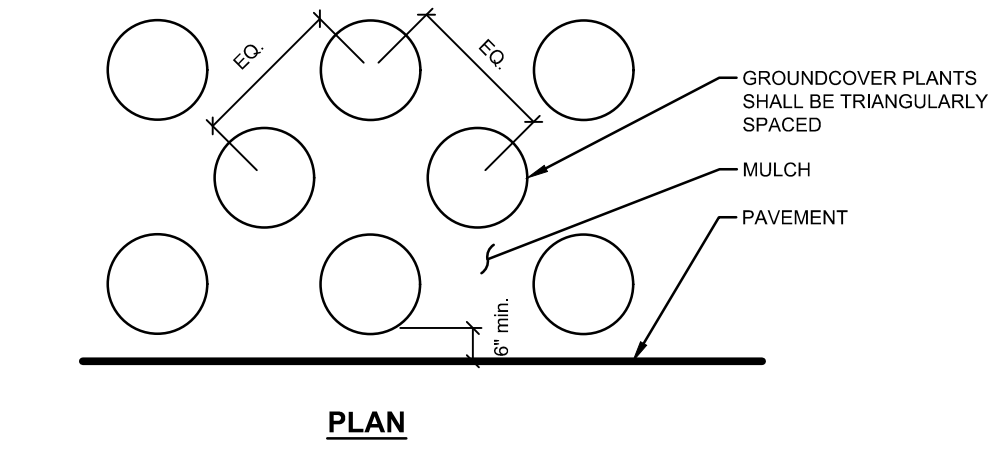
SHRUB PLANTING
N.T.S.



DECIDUOUS TREE PLANTING
N.T.S.

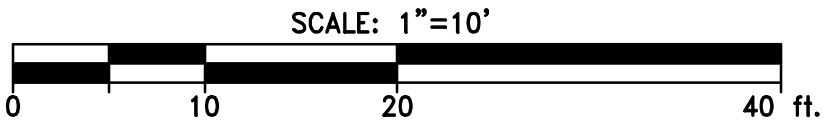
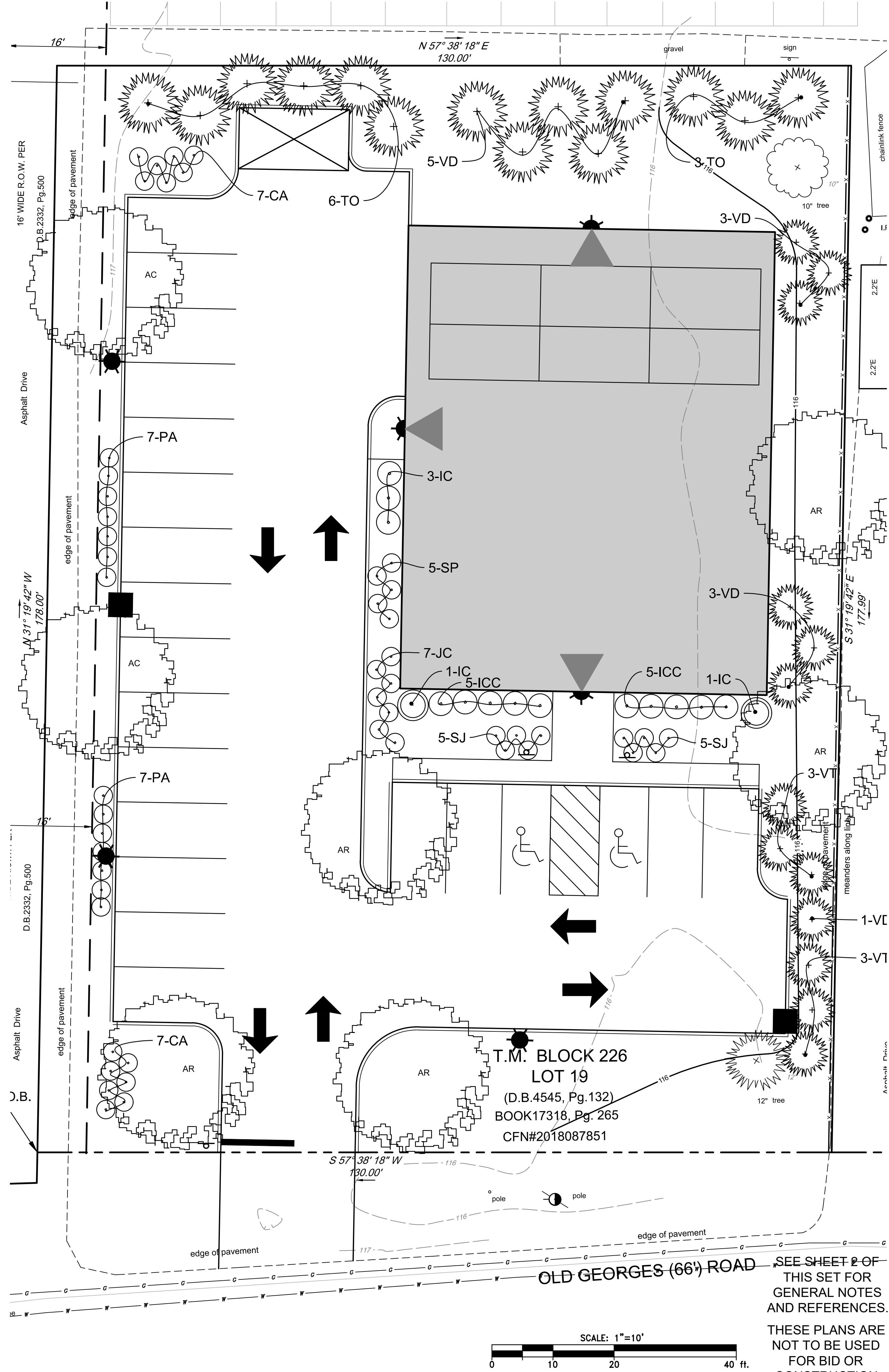


EVERGREEN TREE PLANTING
N.T.S.



- NOTE:
1. LAYER OF MULCH SHALL BE PLACED DOWN BEFORE PLANTING.

PERENNIAL/GROUNDCOVER PLANTING
N.T.S.



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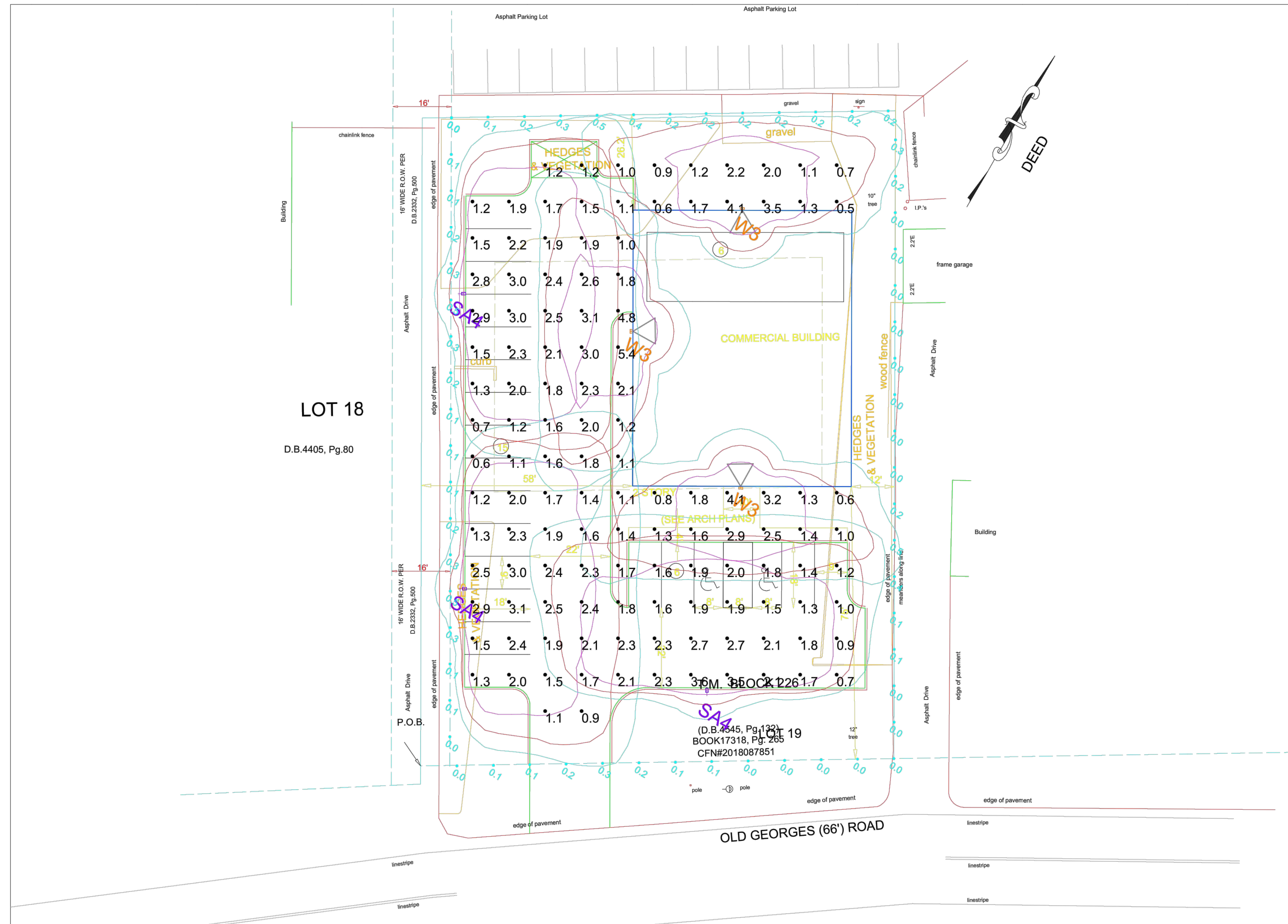
DATE	REVISION
07/01/22	1 REV PER ZONING OFFICER MEMO DATED 5/20/22

PROJ: 202005
DATE: 04/25/22
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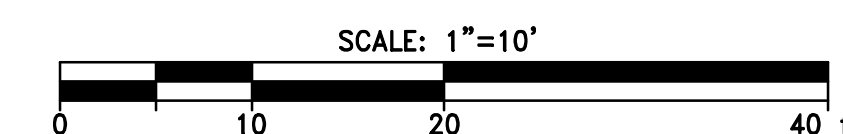
PRELIMINARY AND FINAL MAJOR SITE PLANS FOR
389 OLD GEORGES ROAD
LANDSCAPE PLAN
TAX MAP BLOCK 226, LOT 19
TOWNSHIP OF NORTH BRUNSWICK, MIDDLESEX COUNTY, NJ



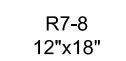
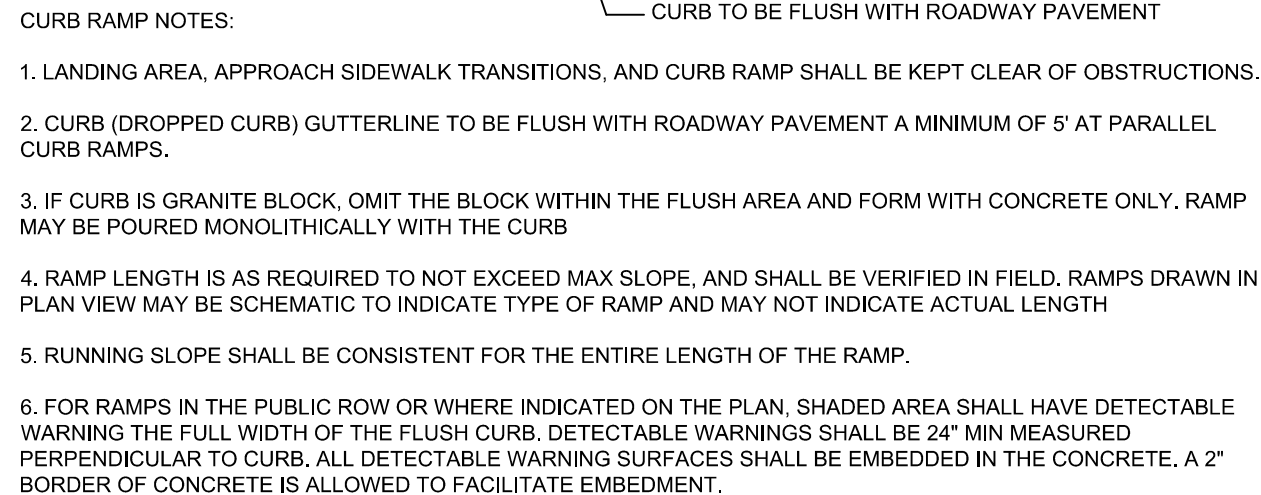
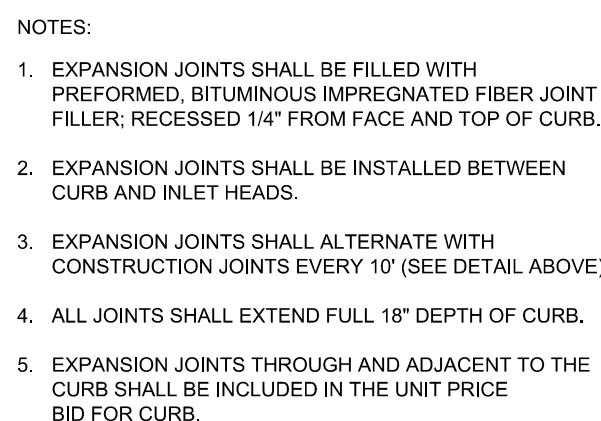
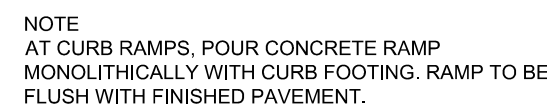
Scale: 1 inch= 15 Ft.

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description	[MANUFAC]	Filename
	3	W3	Single	3793	29	0.850	NV-W-T3-16L-53-40K, Wall Mounted 12ft	NLS Lighting LLC	NV-W-T3-16L-53-40K.IES
	3	SA4	Single	6864	104	0.850	NV-1-T4-48L-7-40K-UNV-HSS, 18ft Pole	NLS Lighting	NV-1-T4-48L-7-40K-HSS.IES

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
PL	Illuminance	Fc	0.15	0.5	0.0	N.A.	N.A.	10ft Spacing
Site	Illuminance	Fc	1.90	5.4	0.5	3.80	10.80	10ft Grid



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- NOTES:
1. 4" CLEAN STONE SUBBASE SHALL BE COMPACTED TO A FIRM AND EVEN SURFACE TO THE SATISFACTION OF THE ENGINEER.
2. ALL CONCRETE SHALL BE AIR-ENTRAINED AND CONTAIN AN AIR CONTENT OF 6% ±1.5%.
3. CONCRETE SHALL BE STRUCK OFF WITH A TRANSVERSE TEMPLATE AND FINISHED WITH FLOATS AND STRAIGHTENEDGES UNTIL A SMOOTH SURFACE HAS BEEN OBTAINED.
4. THE SURFACE SHALL BE FINISHED WITH A WOODEN FLOAT AND BRUSHED PERPENDICULAR TO PATH WITH A WET, SOFT-HAIRED BRUSH.
5. ALL EDGES SHALL BE FINISHED AND ROUNDED WITH AN EDGING TOOL HAVING A RADIUS OF 1/4 INCH.
6. PREFORMED EXPANSION JOINT FILLER, 1/4" INCH THICK, SHALL BE FORMED AROUND ALL APPURTENANCES, SUCH AS MANHOLES AND UTILITY POLES, EXTENDING INTO OR THROUGH THE CONCRETE.
7. THE SURFACE OF THE CONCRETE SHALL BE SO FINISHED AS TO DRAIN COMPLETELY AT ALL TIMES.

N.T.S.

NV-1 TYPE
AREA LIGHTING

Notes:

- ① .120 Wall Thickness only available in Poles 16' or shorter.
Pole Dimension of 6" not available with .120 Wall Thickness

HIGH PERFORMANCE FULL CUT OFF WALL PACK

DATE: 04/23/22

CHKD: KO

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NJ Certificate of Authorization
No. 24GA28293300

[Signature]

& Professional Land Surveyor,

LOT 19

7

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