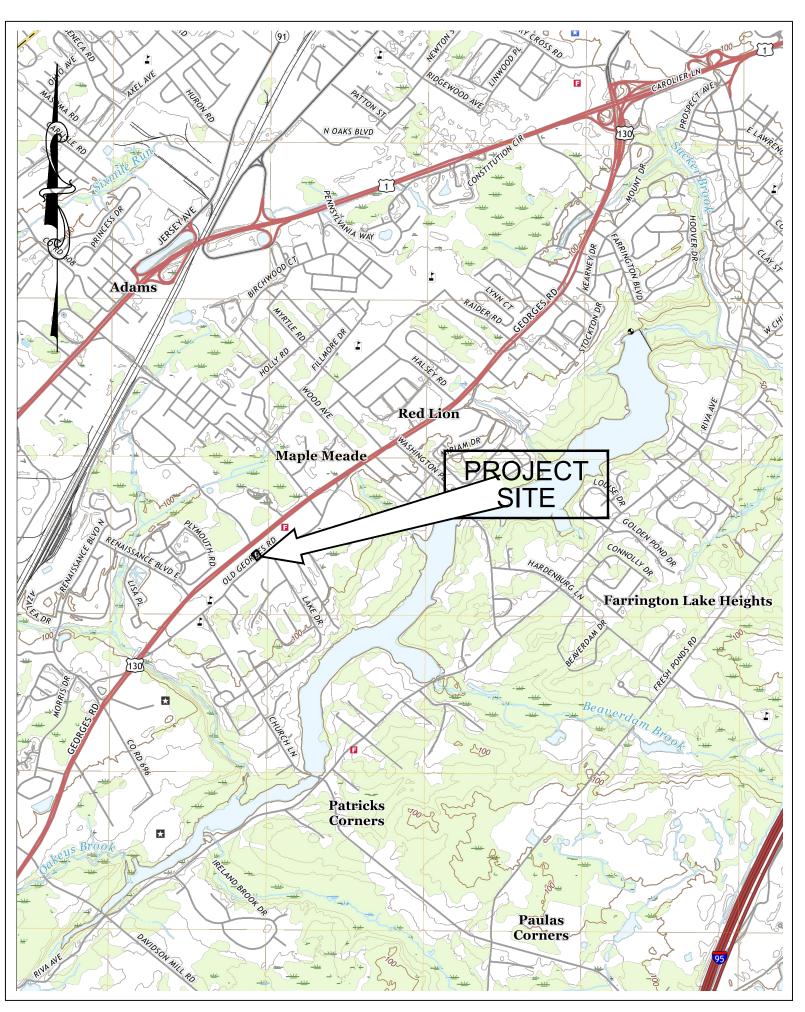
PRELIMINARY AND FINAL SITE PLAN FOR 389 OLD GEORGES ROAD TAX MAP BLOCK 226, LOT 19 - ZONE G-O (GENERAL OFFICE)

	INDEX OF SHEETS			
SHEET	DESCRIPTION			
1	COVER SHEET \ LOCATION MAP			
2	ZONING MAP/GENERAL NOTES			
3	SITE PREPARATION PLAN/ LAYOUT & DIMENSIONING PLAN			
4	GRADING & UTILITY PLAN/ SOIL EROSION & SEDIMENT CONTROL PLAN			
5	LANDSCAPE PLAN			
6	LIGHTING PLAN			
7-8	CONSTRUCTION DETAILS			

TOWNSHIP OF NORTH BRUNSWICK SITE PLAN CONTROL NUMBER

TOWNSHIP OF NORTH BRUNSWICK MIDDLESEX COUNTY, NEW JERSEY



LOCATION MAP SCALE: 1"= 2,000'

APPLICANT/OWNER:

GRMS HOLDINGS LLC 28 HILLTOP BOULEVARD EAST BRUNSWICK, NJ 08816

APPROVALS:

TOWNSHIP ENGINEER

NORTH BRUNSWICK.

CHAIRMAN

SECRETARY

HEALTH OFFICER

EXPIRATION OF APPROVAL (PRELIMINARY - 3 YRS; FINAL - 2 YRS)

DATE (WITHOUT EXTENSIONS)

BOND/TAXES CERTIFICATION:

VERIFICATION THAT PAYMENT OF MUNICIPAL TAXES OR ASSESSMENTS IS CURRENT.

TAX COLLECTOR

I HEREBY CERTIFY THAT A BOND HAS BEEN POSTED FOR ALL THE **REQUIRED IMPROVEMENTS IN COMPLIANCE WITH ALL** APPLICABLE CODES AND ORDINANCES.

TOWNSHIP CLERK

OWNERS CERTIFICATION:

I CONSENT TO THE FILING OF THIS SITE PLAN WITH THE PLANNING BOARD OF THE TOWNSHIP OF NORTH BRUNSWICK.

NAME

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT COMPLIES WITH ALL APPROVALS GRANTED BY THE APPROVING AUTHORITY

DATE

APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF

DATE

DATE

DATE

DATE

DATE

DATE

SEE SHEET 2 OF THIS SET FOR **GENERAL NOTES** AND REFERENCES. THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION

PROJ.: 2202056DATE: 04/25/226CHKD: KO5THIS DRAWING AND ALL INFORMATIONCONTAINED HEREIN IS AUTHORIZED FORCONTAINED HEREIN IS AUTHORIZED FORCONTAINED HEREIN IS AUTHORIZED FORCONTAINED HEREIN IS AUTHORIZED FORCONTAINED HEREIN IS AUTHORIZED FOR	THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS RAWING 3 REV OWNER NAME AND CORRECT BOARD INFORMATION 11/16/22	DISCUENCES NOT THE PURPLY RELATED A RELIED 2 REV PER ZONING OFFICER MEMO DATED 5/20/22 07/01/22 UPON FOR ANY OTHER PURPOSE	WITHOUT THE WRITTEN CONSENT OF MAINE & OSTERKORN, INC. AM AND 8, OSTERKORN, INC.	
			CONSULTING ENGINEERS & SURVEYORS /	
Omland & Osterkorn, Inc. 22 Madison Heights Wyckoff, NJ 07481 www.ooengineers.com E-mail: kosterkorn@o-o-inc.com NJ Certificate of Authorization No. 24GA28293300	ter /	Annally muulo	KIERSTEN OSTERKORN. N.J. Professional Engineer & Professional Land Survevor.	Lic. 24GB42581
PRELIMINARY AND FINAL MAJOR SITE PLANS FOR 389 OLD GEORGES ROAD	COVER SHEET / LOCATION MAP		•	IOWNSHIP OF NORTH BRUNSWICK, MIDDLESEX COUNTY, NJ
SHEET No.		8		

GENERAL NOTES

- 1. Boundary information shown hereon taken from property survey prepared by Osterkorn Engineering
- Associates 2. Topographic information shown hereon obtained by Omland & Osterkorn, Inc. in February 2022. Elevations on assumed datum.
- 3. The engineer signing this plan is not qualified to make a determination as to the presence or absence of wetlands. Therefore, no statement is being made or implied by the fact that no evidence of wetlands or 28. The Contractor shall provide necessary barricades, sufficient lights, signs, and other traffic control measures wetland transition areas (buffers) are shown on this plan.

4. Underground utilities shown hereon are approximate and based solely upon above ground observations, mark-outs and/or plans provided by utility companies. The accuracy or completeness of the information 29. The plan has been designed with the intent to comply with all applicable requirements for barrier free shown regarding underground utilities is not guaranteed by the engineer. Connections between structures, if and where shown, may not represent actual below ground conditions. Contractor and subcontractors are responsible for ordering mark-outs, coordination with the various utility companies and for making their own determination as to the location and depth of all underground utilities prior to any construction to assure disturbance and/or disruption of existing utilities is avoided where possible and minimized in all cases. As the exact elevation of existing utilities may be unknown to engineer, contractor is advised that the potential for conflicts with proposed work may exist. Exploratory excavations, contract contingencies or exclusions with Owner should be made to accommodate such an event. In the event the Contractor identifies a conflict between the proposed work and existing utilities, the conflict shall be brought to the attention of Omland & Osterkorn, Inc. and the Owner prior to any work being performed.

- a. The Contractor shall determine the location and depth of the existing utility to which connection is being made before laying any pipe, conduit, etc. Discrepancies shall be reported to Omland & Osterkorn, Inc. a. Any temporary interruption of service to the site and/or adjacent properties shall be pre-approved in
- writing (email) by the respective utility.

b. Electric, telephone, cable television and all other utility services shall be installed underground at locations determined by each respective utility entity, subject to any required municipal approval, construction of all utility mains and services with each utility entity and provide whatever construction support is required for achieving utility service. The Contractor is advised to contact each respective utility company prior to construction to identify and coordinate any scheduling requirements.

- c. Should it be required to excavate one or more trenches in existing roadways, backfilling and pavement replacement/repair shall be in accordance with the specifications of the municipality or county, as applicable. Verification of backfill requirements shall be made prior to bid.
- 5. Contractors and subcontractors are responsible for making their own determinations regarding subsurface conditions, including but not limited to soil characteristics, as well as depth to rock and groundwater. Omland & Osterkorn, Inc. was not contracted to make any such determinations.
- 6. The proposed buildings shown hereon are as taken from plans/CADD files prepared by Kurt J. Ludwig, AIA, Architect.
- 7. The Owner shall provide a copy of all permits and approvals issued for the project to the Contractor. The 31.Prior to the actual pouring of concrete along barrier free routes, the Contractor shall check all formwork to Contractor shall be responsible for reading and complying with the terms and conditions of all permits, approvals and authorizations issued by the various regulatory authorities for the project. The Contractor is also responsible for confirming with the Engineer that the permits and approvals provided by the Owner is complete.
- 8. Responsibility for any additional permits required as construction progresses, such as building permits (including building permits for retaining walls) and road opening permits shall be coordinated between the Contractor and Owner
- 9. Prior to any construction or site preparation activity, the Contractor shall complete the following: • Verify the plans contain the raised seal of the engineer and display the latest revision as "Issued for Construction." The use of any other plans is at the Contractor's risk.
- Verify the information shown on these plans is consistent with the information shown on all other plans (architectural, landscaping, etc.) being used for construction of the project. Also, verify the plans are 35.Bottom of wall elevations (BW) shown on the plans indicate ground elevation at toe of wall upon completion consistent with all conditions and requirements set forth in the permits. Report any
- discrepancies/inconsistencies to the Owner and Omland & Osterkorn. Inc. prior to any construction. • Determine all applicable specifications, as well as all requirements for shop drawings, inspections and 36.1t is not the intent of these plans to provide structural design for any pre-cast or cast in place concrete testing applicable to project by contacting the local building official, municipal engineer and each affected utility company (or agency). In the event of a conflict between any specifications and the information shown on these plans, Omland & Osterkorn, Inc. and the Owner shall be notified in order to resolve the conflict prior to any construction.
- Contact the local police department relevant to any work to be performed in or near public streets, as well as ingress and egress requirements during construction. Traffic control requirements shall be established between the Contractor and police department at this time.
- 10. These plans are intended specifically and solely for the construction of the subject project and shall not be used for any other purpose. The copying or modification of these plans or any portion thereof is a violation of copyright law.
- 11. Contractor shall consider the information provided on the full set of plans for the construction of all project elements. Notes and information provided on one drawing may also be relevant to information or details provided on another drawing.
- equal" shall be submitted to the municipal engineer and Omland & Osterkorn, Inc. at least two weeks in 42.Contractor shall be responsible for site clean-up following completion of construction. All disposal of debris e of ordering product. The product must be approved for incorporation into the project by both the shall be in accordance with applicable local, county, state and federal regulations. municipal engineer and Omland & Osterkorn, Inc.
- 13. All confirmations/verifications between the Contractor, Owner and/or Engineer shall be via email or other written form(s) of communication
- 14. Contractor to notify the applicable Soil Conservation District in writing at least 72 hours prior to any site preparation or construction activities
- 15. Contractor to call the New Jersey One Call System (800-272-1000) to have all underground utilities located prior to any site disturbance
- 16. The Contractor shall provide the Owner and Omland & Osterkorn, Inc. with a list of all shop drawings, inspections, testing, certifications, as-built plans and similar post-construction approval requirements pertaining to the project. The list shall also identify the specific individual responsible for performing each test and/or providing each certification and/or as-built map. In particular, should NJDEP permits apply to any 47. The frame and grates of all inlets, manholes and sewer cleanout boxes shall be adjusted as necessary to utility construction and should the permit require a certification of the work upon completion, the Contractor shall determine the individual responsible for providing the certification. The Contractor shall then be responsible for coordinating with each individual identified on the list and scheduling his work to assure each individual has sufficient opportunity to conduct the required tests, obtain required measurements and/or 48.All on-site water main shall have a minimum cover of 4 feet. perform any services or work required to prepare the required post-construction approval documents.
- 17. Contractor to coordinate all work with all utility companies and/or public agencies providing utility service, as 18-inches vertically, if horizontal separation is not possible. applicable, and abide by all of their requirements relevant to the performance and inspection of all work 50.All storm and sanitary sewer pipe lengths shown hereon are from center of structure to center of structure, affecting their utilities, including complying with any and all testing requirements. In the event requirements unless otherwise indicated. or specifications of the utility company or public authority conflict with the plans, the municipal requirements 51.All materials and construction shall conform to the requirements specified in the Residential Site shall govern. In such case, the Contractor shall advise the Owner and Engineer prior to proceeding with any work.
- 18. Contractor to coordinate with the Owner relevant to the scheduling of all work and any restrictions thereto, (such as maintaining operations at the site or ingress/egress restrictions, etc.). Any requirements for
- 19.It is the Contractor's responsibility to protect all property markers and monuments from disturbance throughout construction. Notify the Owner immediately should any property markers or monuments be 54. All PVC sanitary sewer pipe shall be 8-inches. Service connections shall be 6-inches. inadvertently disturbed or damaged.
- 20.Prior to any construction, the horizontal limits of the work (Limits of Disturbance LOD) shall be established required by the water purveyor. and delineated on-site. Disturbance beyond these permitted limits exposes the contractor to fines and penalties by regulatory agencies.
- 21. The exact location of all work shall be established from the control points and all stakeout shall be referenced from baselines established from the control points. All dimensions and distances, both horizontal and vertical, shall be verified for consistency with the plans by the entity responsible for layout 58. All pipe shall be installed in accordance to applicable manufacturers' specifications. prior to the construction of each project element. In the event of any discrepancies between the layout and 59. Fire lanes shall be provided in accordance with fire official's requirements. dimensions/distances shown on the plans, the layout entity shall notify Omland & Osterkorn, Inc. for resolution of the discrepancy prior to any construction for the specific element.
- 22.Information for field layout shall be taken from the plans. Graphical information as may also be provided via electronic files is intended as drawing data only and is not to serve as basis for survey layout. Standard practice requires the layout entity check dimensional data for consistency and to make survey calculations as customary for layout.
- 23. The location and inverts of all existing storm and sanitary sewers shown hereon shall be verified by the Contractor prior to any construction. Any discrepancies shall be reported to Omland & Osterkorn. Inc. immediately and no construction shall commence until any such discrepancies are resolved. Storm and sanitary sewer layout and construction shall proceed from downstream to upstream throughout the entire 63. The applicant/contractor shall call to coordinate inspections within the Borough at least 24-hours prior to
- 24. The intent of the plans is to provide a smooth transition, maintaining effective positive drainage, at all locations where the proposed construction is to connect to existing infrastructure, such as for curb, pavement, and sidewalk. The entity responsible for stakeout shall--prior to any construction---verify the intended smooth connections will be achieved. Unless otherwise noted on the plans or directed by the inspecting authority, smooth transitions shall be considered to meet the following minimum criteria: • No low points or "bird baths" will be created, except at locations where drainage inlets exist or will be constructed.
- All final grades will have a minimum slope of 0.5%.
- Abrupt changes in grade are avoided. Slope changes exceeding 2.0% shall be considered abrupt for the purpose of this requirement.
- In the event the entity responsible for layout should determine a smooth transition cannot be achieved at one or more locations, Omland & Osterkorn, Inc. shall be notified for resolution prior to any construction.
- 25.Contractor is responsible for their own verification of existing topographic information, should there be any suspected discrepancies with the topography depicted on the plans and actual physical conditions. Any confirmed discrepancy identified by the Contractor's verification shall be reported to the Engineer for resolution prior to any site disturbance. Once any site disturbance occurs, the Contractor shall have no claim for extra work based upon suspected or confirmed topographic discrepancies.

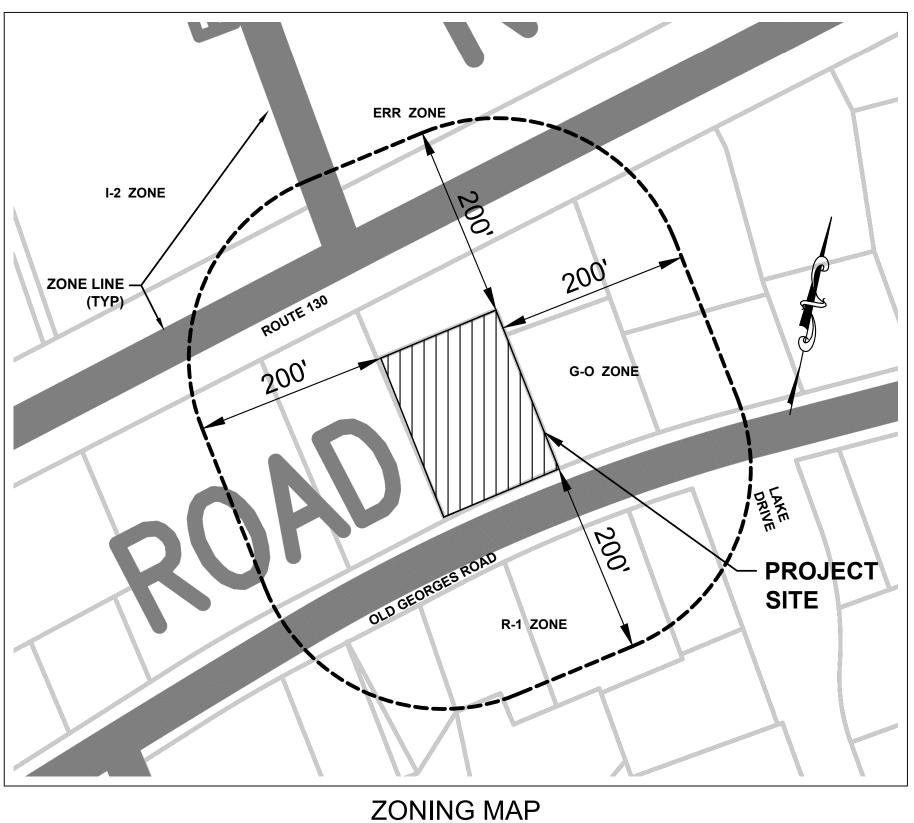
- 26. The Contractor is solely responsible for construction site safety and for determining the means and methods for all construction activities. All safety precautions must be undertaken and maintained as required by local, State and Federal codes.
- 27.Contractor to comply with the traffic control plan, if provided. If a traffic control plan is not provided, the Contractor shall determine and comply with any and all traffic control requirements of the local police department and any public agency hiving jurisdiction relevant to any construction in or near public streets as well as for ingress and egress during construction.
- as may be necessary within the project for the protection and safety of the public. All such traffic control devices shall be maintained in satisfactory condition throughout the construction period.
- access, including the satisfying all requirements of Subchapter 7 of the New Jersey Uniform Construction
- Code for Barrier Free Access (NJAC 5:23-7), as well as the Americans with Disabilities Act (ADA). In general, barrier free access for site construction is to be provided (between all parking spaces designated as ADA and the front door of adjacent buildings). However, prior to construction, the Contractor shall verify the routes required to be barrier free with the local building code official. Should any identified routes conflict with the grading shown on the plans, the Contractor shall notify Omland & Osterkorn, Inc. for resolution prior to any construction.
- 30. The Contractor is responsible for the completed construction along barrier free routes complying with all applicable requirements at NJAC 5:23-7, whether specifically stated on the plans or not. In particular, the
- following requirements are noted a. Slopes within accessible parking spaces and adjacent access aisles shall not exceed two percent
- (2.0%) in any direction. b. Slopes for curb ramps shall not exceed 1:12 (8.3%)
- c. All doorways shall have an exterior landing at least four feet wide and five feet long, sloped for positive drainage at two percent (2.0%), unless otherwise specified on the plans.
- regardless of whether or not the utilities are shown on the plans. The Contractor shall coordinate the d. Each barrier free route shall provide for a minimum four foot unobstructed (car overhangs at curbs must be considered) width with a longitudinal (direction of route) slope no greater than 1:20 (5%). Cross slope shall not exceed two percent (2.0%). In turning areas, cross slope must be less than 2.0 % in all directions. Where shown on the plans and/or where the grading along the path of travel exceeds 5%, a ramp with a maximum slope of 1:12 (8.3%) shall be constructed, having a maximum rise of 30 inches. Hand rails complying with the Subchapter 7 requirements shall be installed for all such ramps, except curb ramps at pavement edges.
 - e. Refer to the detail sheets for landings at curb ramps. All other ramps shall be provided with landings at each end and each landing shall be at least five feet long with a width matching the width of the ramp. Landings shall slope no more than two percent (2.0%) in any direction.
 - The Contractor is responsible for assuring all construction along barrier free routes complies with all requirements
 - verify compliance with the applicable barrier free requirements and request confirmation of same by the inspecting authority.
 - 32.Unless indicated otherwise in the plan, all sidewalk shall be a minimum of four feet wide, except adjacent to the end of parking stalls where sidewalk shall be a minimum of six and a half feet in width.
 - 33. The details shown on these plans for retaining walls have been prepared for the purpose of Preliminary/Final Municipal agency review and approval. Structural designs for all walls must be procured by the Contractor (or Owner) and prepared by an engineer licensed in New Jersey. The wall design must abide by any specifications relevant to type of wall, color and/or texture. A building permit is required for any wall exceeding four feet in height.
 - 34.A building permit is required for all walls four or more feet in height. Contractor (Owner) is responsible for securing said permit(s).
 - of construction. Footing elevations to be taken from the structural plans procured by the Contractor
 - structure. All structural design of pre-cast and/or cast-in-place concrete structures shall be prepared by a Professional Engineer retained by the Contractor.
 - 37.Post-construction certification as to the construction of a retaining wall or other structural components to be provided by a professional engineer engaged by the Contractor (Owner). 38. Where shop drawings are specified on the plans or required by an inspecting authority, at least three copies of the drawings shall be provided to Omland & Osterkorn, Inc. for approval. Contractor to determine the
 - number of copies required by the inspecting authority. All shop drawings are to be prepared by a New Jersey professional engineer. 39. All construction shall conform to the requirements of any applicable Federal, State or Local law, regulation
 - and/or ordinance. 40.Unless otherwise noted, all materials and workmanship shall conform to the New Jersey Department of Transportation Standard Specifications for Road and Bridge Construction, latest edition.
- 12. Relevant documentation pertaining to any product proposed by the Contractor on the basis of an "approved" 41. Contractor shall complete all work in a workmanlike manner to the full satisfaction of the Owner.
 - 43.Any damage to existing infrastructure, including but not limited to, pavement, sidewalks, curb, lighting facilities, utilities, or landscaping, due to the actions of the Contractor shall be repaired by the Contractor (at
 - his sole expense) to the satisfaction of the owner of the damaged item. 44.All equipment, materials, etc. shall be confined to the project site. No encroachment onto public right-of-ways or adjacent properties is permitted unless specified on the plans or granted to the Contractor in
 - writing 45. Any omissions in the standard details or lack of information must be brought to the attention of Omland &
 - Osterkorn prior to construction 46.Existing pavement shall be saw cut in straight lines to the full depth of the existing asphalt (except at the edge of butt joints)
 - match proposed grades. All such elevation adjustments shall be performed in accordance with all applicable specifications and regulations.

 - 49.Sanitary sewer shall be separated from water mains by a distance of at least 10 feet horizontally or

 - Improvement Standards (NJAC 7:21-5), latest edition. 52.All RCP to be reinforced concrete pipe conforming to ASTM D-76, Class III, Wall B, unless otherwise
- phasing and/or multiple mobilizations shall be identified and resolved prior to commencement of the work. 53.All HDPE to be N-12 double walled, (soil tight, water tight) corrugated pipe as manufactured by Advanced Drainage Systems, or approved equal.

 - 55.All water main pipe shall be cement lined ductile iron pipe, Class 52, unless otherwise noted on the plan or
 - 56.All roof leader drains to be 6-inch Schedule 40 PVC, unless otherwise noted on the plans. All leader drains to be installed with two foot minimum cover.
 - 57.All roof drains shall be connected to the northeast underground stormwater system on-site.

 - 60.If stormwater runoff drainage problems occur as a result of the site improvements that are detrimental to the property and/or neighboring properties as a result of this construction, it shall be the responsibility of the occupant of the property to remedy the drainage issue.
 - 61.All excavated material shall be removed from the site unless approved for backfill by the Borough. Any soil disturbance shall be done as set forth by Borough Ordinance. 62. The applicant/contractor is responsible to repair any damage to improvements within the Right-Of-Way,
 - including but not limited to , sidewalk, driveway apron, curb, and asphalt pavement as required by Ordinance.
 - start of construction as related to grading and drainage improvements on site.



SCALE: 1"= 100"

ZONING TABLE BLOCK 226 LOT 19 TOWNSHIP OF NORTH BRUNSWICK. MIDI ZONE: G-O (GENERAL OFFICE) MIN. LOT AREA MIN. LOT WIDTH MIN. LOT DEPTH MIN. FRONT YARD SETBACK MIN. SIDE YARD SETBACK (ONE/BOTH) MIN. REAR YARD SETBACK MAX. BUILDING HEIGHT MAX. BUILDING COVERAGE MAX. IMPERVIOUS LOT COVERAGE RESIDENTIAL BUFFER DRIVEWAY WIDTH DRIVEWAY AISLE WIDTH PARKING REQUIRED LOADING SPACE REQUIRED

(E) = EXISTING NON-CONFORMANCE (V) = VARIANCE REQUESTED

COVERAGE TABLE BLOCK 226 LOT 19 OWNSHIP OF NORTH BRUNS OTAL LOT AREA LOWABLE BUILDING COVER LLOWABLE IMPERVIOUS CC Description otal Building Coverage Previous Impervious (Removed 2 Total Impervious Coverage

200' PROPERTY OWNERS LIST

200' Property list for: Block 226 Lot 19

Township of North Brunswick 710 Hermann Roa North Brunswick, NJ 0890



BLOCK	LOT	Property Location	Owner Name	Mailing Address	City, State	Zip
148		2051 ROUTE 130	NORTH BRUNSWICK TOWNSHIP	710 HERMANN ROAD	NORTH BRUNSWICK NJ	08902
148		2085 ROUTE 130	BRUNSWICK 2085 LLC	1085 PORTION ROAD	FARMINGVILLE NY	11738
225		2140 ROUTE 130	CLARA PROPERTY LLC	582 GEORGES ROAD	MONMOUTH JUNCTION NJ	08852
225		2086 ROUTE 130	KLT ENTERPRISES LLC	2036 WINDWARD DRIVE	FORT PIERCE FL	34949
225		2050 ROUTE 130	and the second difference of the second s	632 SYCAMORE LANE	NORTH BRUNSWICK NJ	08902
		ROUTE 130	RED & YELLOW REAL ESTATE ASSOCI LLC	632 SYCAMORE LANE	NORTH BRUNSWICK NJ	08902
226 226		379 OLD GEORGES ROAD	OLD GEORGES RD LLC	379 OLD GEORGES ROAD	NORTH BRUNSWICK NJ	08902
		383 OLD GEORGES ROAD	GARRETT JOHN & GARRETT KOREN	383 OLD GEORGES ROAD	NORTH BRUNSWICK NJ	08902
226		9 CASTLE COURT	CHEDID JOSEPH G & LISA M	9 CASTLE COURT	NORTH BRUNSWICK NJ	08902
227.03		396 OLD GEORGES ROAD	PEARL CHARLES	396 OLD GEORGES ROAD	NORTH BRUNSWICK NJ	08902
227.03		396 OLD GEORGES ROAD	PEARL CHARLES	ASSD WITH B227.03 L9	xxxxxxxxxxxxxxxxxxxxxx	99999
227.03			SEITIS KYRIAKOS & ANN	394 OLD GEORGES ROAD	NORTH BRUNSWICK NJ	08902
227.03		394 OLD GEORGES ROAD	PIERSON RICHARD & ELIZABETH	388 OLD GEORGES ROAD	NORTH BRUNSWICK NJ	08902
227.03		388 OLD GEORGES ROAD	ERBA CARLOS A & URSULA M	384 OLD GEORGES ROAD	NORTH BRUNSWICK NJ	08902
227.03		384 OLD GEORGES ROAD	PEARCE WAYNE & CATHERINE	380 OLD GEORGES ROAD	NORTH BRUNSWICK NJ	08902
227.03	13.03	380 OLD GEORGES ROAD	PEARCE WATNE & CATHERINE			<u>, , , , , , , , , , , , , , , , , , , </u>

April 21, 2022

Number of Properties: 15

-0-				
SE	X COUNTY, NEW JERSEY			
	REQUIRED	EXISTING	PROPOSED	ORDINANCE SECTION
	1.5 AC	0.53 AC (E)	0.53 AC (V)	205-4.1, Table 2, G-O Zone
	200 Ft.	130 Ft. (E)	130 Ft. (V)	205-4.1, Table 2, G-O Zone
	250 Ft.	178 Ft. (E)	178 Ft. (V)	205-4.1, Table 2, G-O Zone
	75 Ft.	n/a	75 Ft.	205-4.1, Table 2, G-O Zone
	20 Ft. / 40 Ft.	n/a	12 Ft. (V) / 70 Ft.	205-4.1, Table 2, G-O Zone
	40 Ft.	n/a	26.2 Ft. (V)	205-4.1, Table 2, G-O Zone
	40 Ft. / 3 Stories	n/a	37.2 Ft. / 2.5 Stories	205-4.1, Table 2, G-O Zone
	40% (9,254 S.F.)	n/a	19.7% (4,550 S.F.)	205-4.1, Table 2, G-O Zone
	80% (18,507 S.F.)	17.0% (3,939 S.F.)	60.5% (14,002 S.F.)	205-4.1, Table 2, G-O Zone
	30 Ft.	n/a	12 Ft. (V)	205-70(B)
	25 Ft.	n/a	22 Ft. (V)	205-98 (B)(4)
	25 Ft.	n/a	22 Ft. (V)	205-98 (B)(4)
	1 SP/250 SF	n/a	27 SPACES (V)	205-100 (B)(4)
	7,130 SF/250 = 29 SPACES		6 SP IN GARAGE (V)	205-96 (F)
	1 SP/5,000 GFA REQUIRED	n/a	0 SPACES (V)	205-97(H)
	1 SPACE			

ISWICK, MIDDLESEX	COUNTY, NEW JE	RSEY			
	00.404				
	23,134				
ERAGE (40%)	9,254	SF			
OVERAGE (80%)	18,507	SF			
Existing Coverag	es		Proposed C	overages	
	Area (SF)	Percentage	Description	Area (SF)	Percentage
			Building	4,550	
	0	0.0%	Total Building Coverage	4,550	19.7%
		0.070		1,000	10.7
	246		Asphalt	9,042	
	853		Sidewalk	410	
2018)	2,840				
	3,939	17.0%	Total Impervious Coverage	14,002	60.5%
	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		Increase in Impervious Coverage	10,063	

UTILITY COMPANY LIST

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THE FOLLOWING OTHER AGENCIES MUST ALSO BE NOTIFIED :

Middlesex County Planning Board County Administration Building 5th Floor 75 Bayard Street New Brunswick, NJ 08901

Public Service Electric & Gas Co. Manager – Corporate Properties 80 Park Place, T6B Newark, NJ 07102

Cablevision of Raritan Valley 275 Centennial Avenue CN 6805 Piscataway, NJ 08855-6805 Attn: Margurite Prenderville

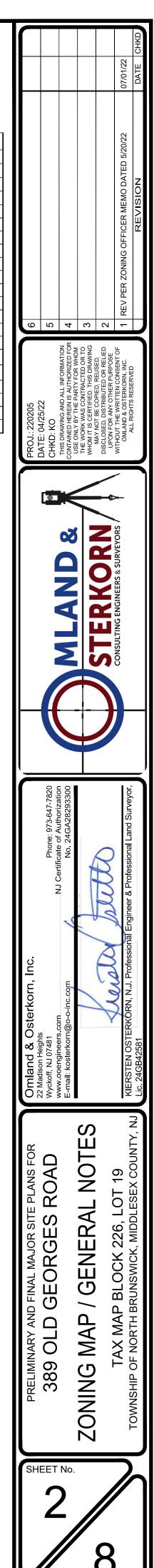
Construction Department Mr. Tim Allen Texas Eastern Transmission Corp. 501 Coolidge Street South Plainfield, NJ 07080

North Brunswick Township 710 Hermann Road North Brunswick, NJ 08902 Attn: Township Clerk

Verizon N.J Gen. Tax Administration Broad Street – Room 305 Newark, NJ 07101

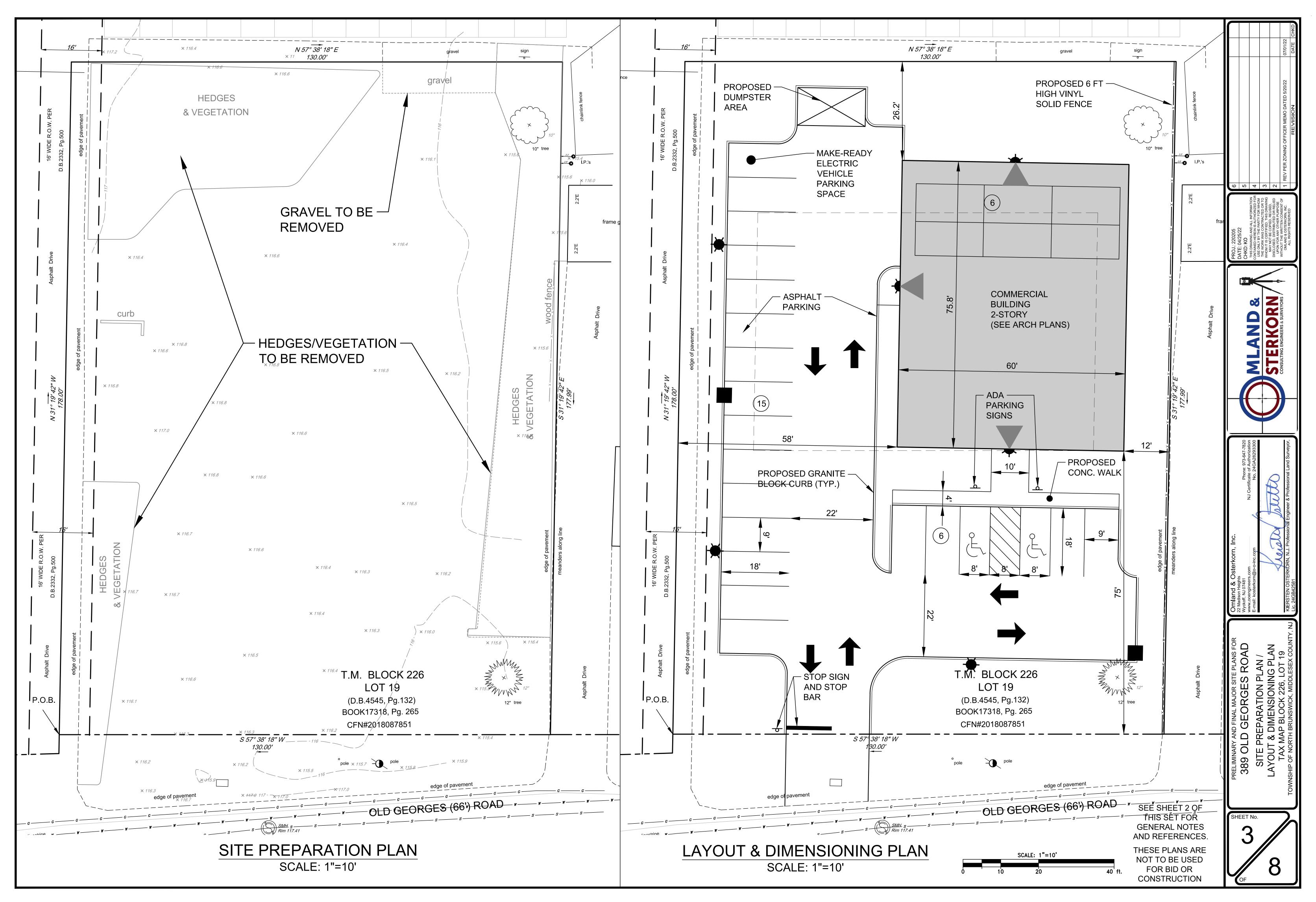
Department of Transportation State of New Jersey 1035 Parkway Trenton, NJ 08625

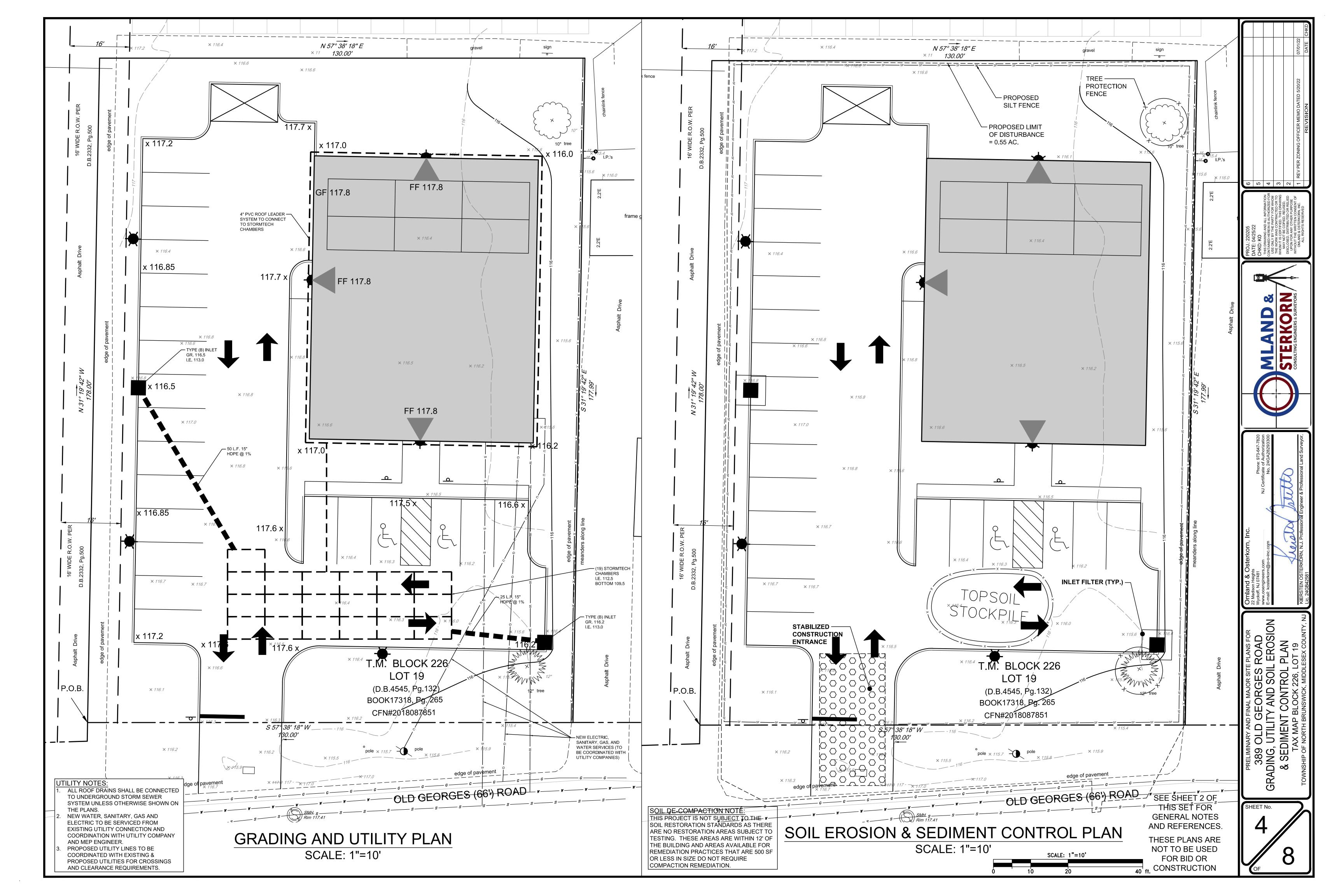
Sunoco Pipeline L.P. Right of Way Montello Complex 525 Fritztown Road Sinking Spring, PA 19608



SEE SHEET 2 OF THIS SET FOR **GENERAL NOTES** AND REFERENCES. THESE PLANS ARE NOT TO BE USED FOR BID OR

CONSTRUCTION





GEN	IERAI	LANDSCAPE NOTES			RO	OTBALL SHALL BE SET –
	PLAN SHALL	BE USED FOR LANDSCAPE PLANTING AND LIGHTING P SPECIFIC LOCATIONS OF UTILITIES, STRUCTURES, ETC			CUT & REN ROPE AND E	LUSH TO FINAL GRADE MOVE BURLAP, TWINE, BASKET FROM TOP 1/3
DISCI 2. THE (3. IN TH	REPANCIES C CONTRACTOR IE EVENT OF	OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALL R SHALL ENSURE THAT WORK DOES NOT INTERRUPT E VARIATION BETWEEN WRITTEN QUANTITIES AND QUAN	ATION. STABLISHED OR PROJECTED DRAINAGE PATTEF ITITIES SHOWN ON THE PLAN, THE PLANS SHALL	RNS. . TAKE PRECEDENCE. THE	SITE(RE	L AND REMOVE FROM MOVE ALL SYNTHETIC MATERIALS)
TAKE ENGI	E-OFFS ARE T NEER FOR CL	RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES HE RESPONSIBILITY OF THE CONTRACTOR. ALL DISCE ARIFICATION PRIOR TO BIDDING. THE CONTRACTOR S LOCATED AS SHOWN ON THE DRAWINGS OR AS DESIC	REPANCIES SHALL BE REPORTED TO THE LANDS HALL FURNISH PLANT MATERIAL IN SIZES AS SP	CAPE ARCHITECT OR	BAS	R RIM ON PERIMETER
ASSC	DCIATION (AN NKS.	RIAL SHALL CONFORM TO CURRENT "AMERICAN STAND LA). TREES SHALL BE NURSERY-GROWN, FREE OF DIS OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY V	EASE, SUBSTANTIALLY UNIFORM IN SIZE AND SH	HAPE AND HAVE STRAIGHT		
INSPE 7. ANY I	ECTION BY TH MATERIAL AN	JECT SITE. LABELS SHALL IDENTIFY PLANTS BY SPEC HE LANDSCAPE ARCHITECT OR ENGINEER. ID/OR WORK MAY BE REJECTED BY THE LANDSCAPE A ALL REJECTED MATERIALS SHALL BE REMOVED FROM	RCHITECT OR ENGINEER IF IT DOES NOT MEET T		S	SIDEWALK
8. PLAN SPEC WRIT	IT SUBSTITUT CIES AND VAR TEN PROOF (TONS SHALL BE PERMITTED ONLY WITH WRITTEN CON RIETY. ALL PLANT MATERIAL SHALL BE TO TRUE SPECI OF UNAVAILABLE PLANT MATERIAL MUST BE DOCUME	SENT OF THE OWNER OR LANDSCAPE ARCHITEC ES, VARIETY, AND SIZE AND BE CERTIFIED DISEA NTED.	ASE AND INSECT FREE.		NOTES: 1. WATER TH 2. TOP OF R
OBST	TRUCTED. ALL	REES TO BE INSTALLED EITHER ENTIRELY IN OR ENTIR _ SHRUBS AND GROUND COVER AREAS SHALL BE PLAP DED HARDWOOD MULCH. MULCH SHALL HAVE BEEN S	NTED IN CONTINUOUS PREPARED BED AND TOP			AT TOP O 3. IF SHRUB RECOMME
B. C.	ALL TRANSPI	LL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL LANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPA RE TO BE STOCKPLIED BEFORE REPLANTING, THEY SH	BLE OF SUSTAINING THE PLANT.	JATELY WATERED AND		
D. E.	UPON REPLA TRANSPLANT	PROM EXTREME HEAT, SUN AND WIND. INTING, BACKFILL SOIL SHALL BE AMENDED WITH FERT IS SHALL BE GUARANTEED FOR THE LENGTH OF THE (INTS DIE, SHRUBS LESS THAN SIX INCHES (6") DBH SHA	GUARANTEE PERIOD SPECIFIED HEREIN.			
12. THE C FOR A	CONTRACTO	PLANTED IN ACCORDANCE WITH SECTION 11 OF THE A R SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND CAUSED BY INSTABILITY OF ANY PLANT MATERIALS.	CONDITIONS OF ALL TREES AND SHRUBS AND			SINGLE STRAIGHT TRUNK —
13. ALL T 14. VEGE	TREE STAKES	AND WIRES WILL BE REMOVED BY THE APPLICANT AF POSED AMONG EXISTING VEGETATION IS TO BE PLAN S AND SHADE TREES PLANTED NEAR PEDESTRIAN OR	TED TO AVOID DAMAGE TO THE EXISTING VEGET	ATION.		REINFORCED —
VERI	TAIN POSITIV	E DRAINAGE OUT OF PLANTING BEDS AT A MINIMUM 2' CONTRACTOR ON SITE BEFORE CONSTRUCTION BEGII IITECT, ENGINEER, OR OWNER.				RUBBER HOSE DOUBLE #10 GAUGE — WIRE TWISTED
17. ALL F 18. PLAN 19. UPON	PLANTING BEI IT MATERIALS N COMPLETIC	DS SHALL RECEIVE 3 INCHES OF SHREDDED HARDWOO S SHALL NOT BE INSTALLED UNTIL FINISHED GRADING I IN OF ALL LANDSCAPING, AN ACCEPTANCE MEETING O	HAS BEEN COMPLETED. F THE WORK SHALL BE HELD. THE CONTRACTO	R SHALL NOTIFY THE		2"x2"x6'-0" WOODEN — STAKE. THREE PER TREE FOR ALL TREES
INSPE 20. ALL T	ECTION DATE	ITECT OR ENGINEER OR OWNER FOR SCHEDULING TH BE GUARANTEED FOR 24 MONTHS FROM TO DATE OF ROM THE DATE OF ACCEPTANCE. REPLACEMENT PLA	ACCEPTANCE. ALL SHRUBS AND GROUND COVE	RS SHALL BE GUARANTEED		UNDER 3 1/2" CAL. KEEP MULCH AWAY — FROM ROOT COLLAR
<u>FA</u> AU	ITING DATES: <u>ALL</u> JGUST 15 - DE	ECEMBER 15: EVERGREEN TREES				3" SHREDDED HARDWOOD — MULCH PLACED THROUGHOUT PLANTING BED
SF	PRING ARCH 1 - MAY	DECEMBER 15: DECIDUOUS TREES				 CUT & REMOVE BURLAP,
23. ALL S	SOD SHALL BE	REA OF THE SITE NOT PLANTED WITH SHRUBS OR GRO E OBTAINED FROM AREAS HAVING GROWING CONDITION	ONS FAMILIAR TO AREAS TO BE COVERED. AREA	AS TO BE SODDED SHALL BE		TWINE, ROPE AND BASKET FROM TOP 1/3 OF BALL AND REMOVE FROM SITE(REMOVE ALL SYNTHETIC MATERIALS)
BE RE RIGH	EJECTED. AL	S AND DEBRIS. DEBRIS AND STONES OVER 1 INCH IN E LL SOD MUST BE PLACED WITH STAGGERED JOINTS, BI SLOPES (WHERE APPLICABLE). DS ADJACENT TO LAWN AREAS (SOD OR SEEDED) SHA	UTTED WITH NO INEQUALITIES IN GRADE. PLACE			ALL SYNTHETIC MATERIALS) PLANT BACKFILL MIXTURE SEE GENERAL LANDSCAPE NOTES
			TOPSOIL AND SOIL AMENDMENTS. AMENDMENTS	S SHALL BE ADDED AS		NOTES: 1. AT PLANTING, PF
26. PROV ADDI	VIDE PLANTIN TIONAL 12" AI	Y CERTIFIED SOIL TEST. G PITS AS INDICATED ON PLANTING DETAILS. IF WET S ND THE ADDITIONAL AREA FILLED WITH SAND. -SITE TOPSOIL MAY BE USED TO REFILL THE EXCAVATI				DEAD BRANCHES 2. WATER THOROU 3. TOP OF ROOTBA
ANAL MEET	YSIS OF BOT	VED, STORED AND PROTECTED PRIOR TO CONSTRUCT H IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN PH AND NUTRIENT LEVELS. E RESTORATION AREAS: CONTRACTOR TO COMPLETE	ALL PLANTING AREAS. CONTRACTOR TO MODIF	THE SOIL AS NEEDED TO		AT TOP OF ROOT
SCAF 29. ALL A SHAL	RIFY/RIP REM. AREAS, WHICI LL BE RAKED	AINING SOIL TO A DEPTH OF 24", INCLUDING A MINIMUN H ARE TO BE SEEDED, SHALL RECEIVE 5" OF TOPSOIL I CLEAN OF WEEDS, VEGETATION AND EXTRANEOUS MA	/I OF 6" THICK TOPSOIL. PRIOR TO SEEDING. PRIOR TO TOPSOIL PLACEM ATERIALS SUCH AS WOOD, STONES, ROCKS, COM	IENT THE EXISTING SOIL NSTRUCTION DEBRIS, ETC.		<u> </u>
UNDE 30. TOPS WHE	ESIRABLE MA SOIL AND SEE	O (2) INCHES IN ANY DIMENSION. TOPSOIL SHALL BE S TERIAL: CONTAIN 5% ORGANIC MATTER, 6.0 TO 6.5 PH. D ALL AREAS DISTURBED AS A RESULT OF ANY AND AI REAS ARE SHOWN ON THE PLANS OR NOT. CONTRAC	TOPSOIL SHALL NOT BE WORKED IN MUDDY OR LL CONSTRUCTION DISTURBANCES AND STORAG	R WET CONDITIONS. GE OF EQUIPMENT,	REINFORCED -	
OWN	ER. THE CON	R IS RESPONSIBLE FOR TESTING PROJECT SOILS. THE TRACTOR SHALL VERIFY THAT THE SOILS ON SITE ARE LD THE CONTRACTOR FIND POOR SOIL CONDITIONS, T	ACCEPTABLE FOR THE PROPER GROWTH OF T	HE PROPOSED PLANT	RUBBER HOSE DOUBLE #10 GAUGE – WIRE TWISTED	
VERII 32. ALL F	FIED PRIOR T	AMENDMENTS SHALL INCLUDE, BUT NOT BE LIMITED T O PLANTING OF MATERIALS. EAS WITHIN EXISTING ASPHALT PAVEMENT AREAS SH/ 7/BASE MATERIALS AND SCARIFY/RIP REMAINING SOIL	ALL BE DECOMPACTED A MINIMUM DEPTH OF 24	INCHES. CONTRACTOR TO	2"x2"x6'-0" WOODEN – STAKE. THREE PER TREE FOR ALL TREES UNDER 3 1/2" CAL	
COORD	TING TREES.				KEEP MULCH AWAY – FROM ROOT COLLAR	
PLAN 34. THE (IT MATERIAL. CONTRACTOR	R SHALL COORDINATE WITH LIGHTING CONTRACTOR (\ R SHALL VERIFY THE EXISTENCE OF UNDERGROUND U SHALL BE VERIFIED IN THE FIELD WITH THE OWNER OI	TILITIES ON THE SITE THREE (3) DAYS PRIOR TO	ANY EXCAVATION. THEIR	3" SHREDDED HARDWOOD — MULCH PLACED THROUGHOUT PLANTING BED 1	2" MIN
UTILI NOT I	TIES AND SUG BE THE RESP	ONS. IN THE EVENT UTILITIES ARE UNCOVERED, THE C CH DAMAGE SHALL NOT RESULT IN ANY ADDITIONAL EX ONSIBILITY OF THE CONTRACTOR. RE ENCOUNTERED IN EXCAVATION OF TREE PITS, OTH	XPENSES TO THE OWNER. ANY DAMAGE OF UNF	REPORTED LINES SHALL	 CUT & REMOVE BURLAP,	
WITH ENGI	IOUT ADDITIC NEER.	NAL COMPENSATION. NO CHANGES OF LOCATION SH			TWINE, ROPE AND BASKET FROM TOP 1/3 OF BALL AND REMOVE FROM SITE(REMOVE ALL SYNTHETIC MATERIALS)	
37. DURI	EQUIPMENT A	ND TOOLS SHALL BE PLACED SO AS NOT TO INTERFER OPERATIONS EXCESS WASTE MATERIALS SHALL BE F SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING	PROMPTLY AND FREQUENTLY REMOVED FROM T	THE SITE.	PLANT BACKFILL MIXTURE	2.5X ROOTBALL WIDTH
RESP OF TH	PONSIBLE FOI HE WORK.	R ANY DAMAGE OR INJURY TO PERSON OR PROPERTY			NOTES: 1. WATER THOROU	IGHLY TWICE WITHIN THE FIRST 48 HO
LAND	TENANCE SH	ALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED / ITECT OR OWNER REPRESENTATIVE. MAINTENANCE I DISEASED OR DEAD PLANTS, AND ANY OTHER CARE I	NCLUDES: WATERING. PRUNING, FERTILIZING, W	VEEDING, MULCHING,		ALL SHALL BE SET FLUSH TO GRADE. T TBALL. DO NOT COVER TOP OF ROOT F
BE W		ST BE ABLE TO PROVIDE CONTINUED MAINTENANCE IF THE TIME OF INSTALLATION. REGULAR WATERING SHA NTS.			EVE	RGREEN TREE
	MUL	Сн —				N.T.S.
	BEDLII LAWI PAVEMEI				SEEDED/SC	
			in the standard and a standard a standa		OR MEADO TOPSOIL 5" FOR LAW	
					8" LAYER F	
		BEDLINE	Ι	LAWN	Ι	
		N.T.S.		N.T.S.		
Кеу	Qty	PLAN Scientific Name	Common Name	Caliper Height F	Root	ං දි ඉති ඉති ඉති ඉති ඉති
Shade Tre	2	Acer rubrum 'Armstrong'	Armstrong Maple		3&B	z Z
AR <u>Evergreer</u> TO	5 n Trees 9	Acer rubrum Thuja plicata 'Green Giant'	Red Maple Green Giant Arborvitae		3&B 3&B	12" MIN.
Shrubs	5	Ilex crenata 'Chesapeake'	Chesapeake Japanese Holly		Cont	
ICC SJ	10 10	Ilex crenata 'Compacta' Spirea japonica 'Goldflame'	Compact Japanese Holly Goldflame Spirea	- 18-24" #2 - 12-18" #1	Cont	
SP	5	Spirea nipponica 'Snowmound'	Snowmound Spirea	- 24-30" #3	Cont	NOTE: 1. LA

14 Pennisetum alopecuroides

12 Viburnum dentatum

Ornamental Grasses & Groundcovers

7

VD

VT

CA

6 Viburnum tomentosum 'Mariesii'

14 Calamagrostis acutiflora 'Karl Foerster'

Juniperus horizintalis 'Bar Harbor'

Mariesii Viburnum

Arrowwood Viburnum

Karl Foerster Feather Reed Grass

Bar Harbor Creeping Juniper

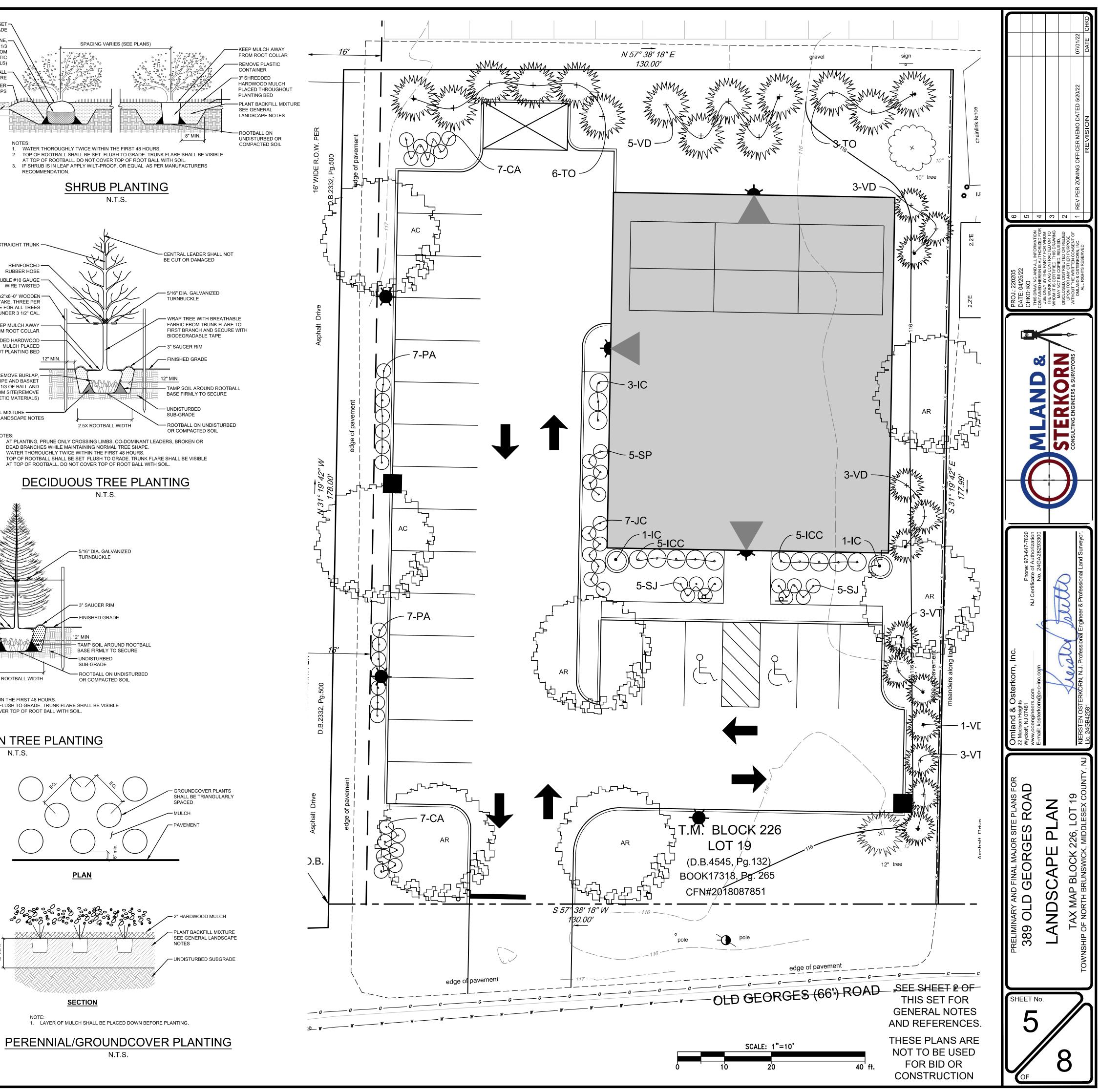
Chinese Fountain Grass

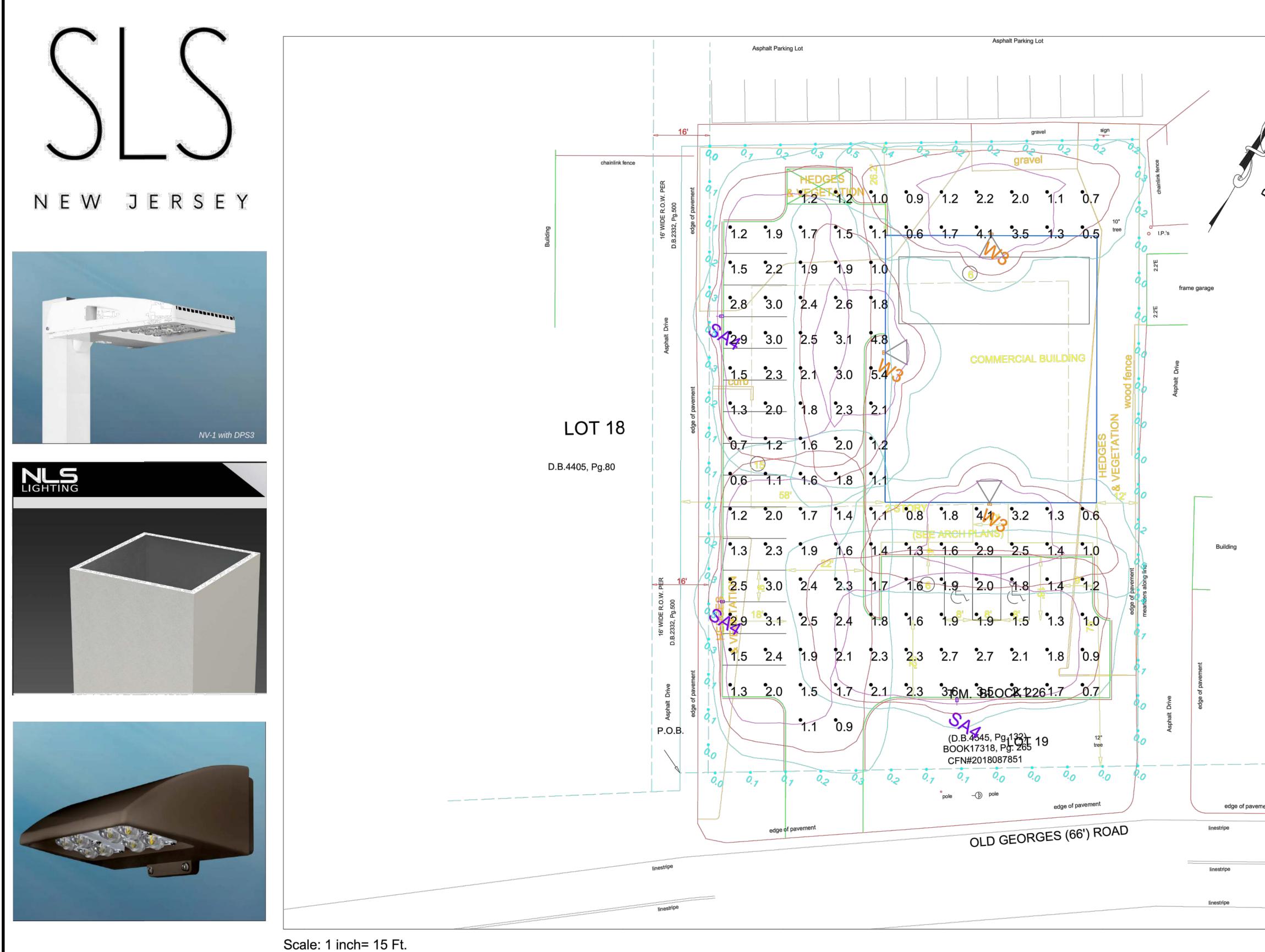
· 24-36" B&B

- #1 Cont

- #1 Cont - #1 Cont

- 24-36" #3 Cont

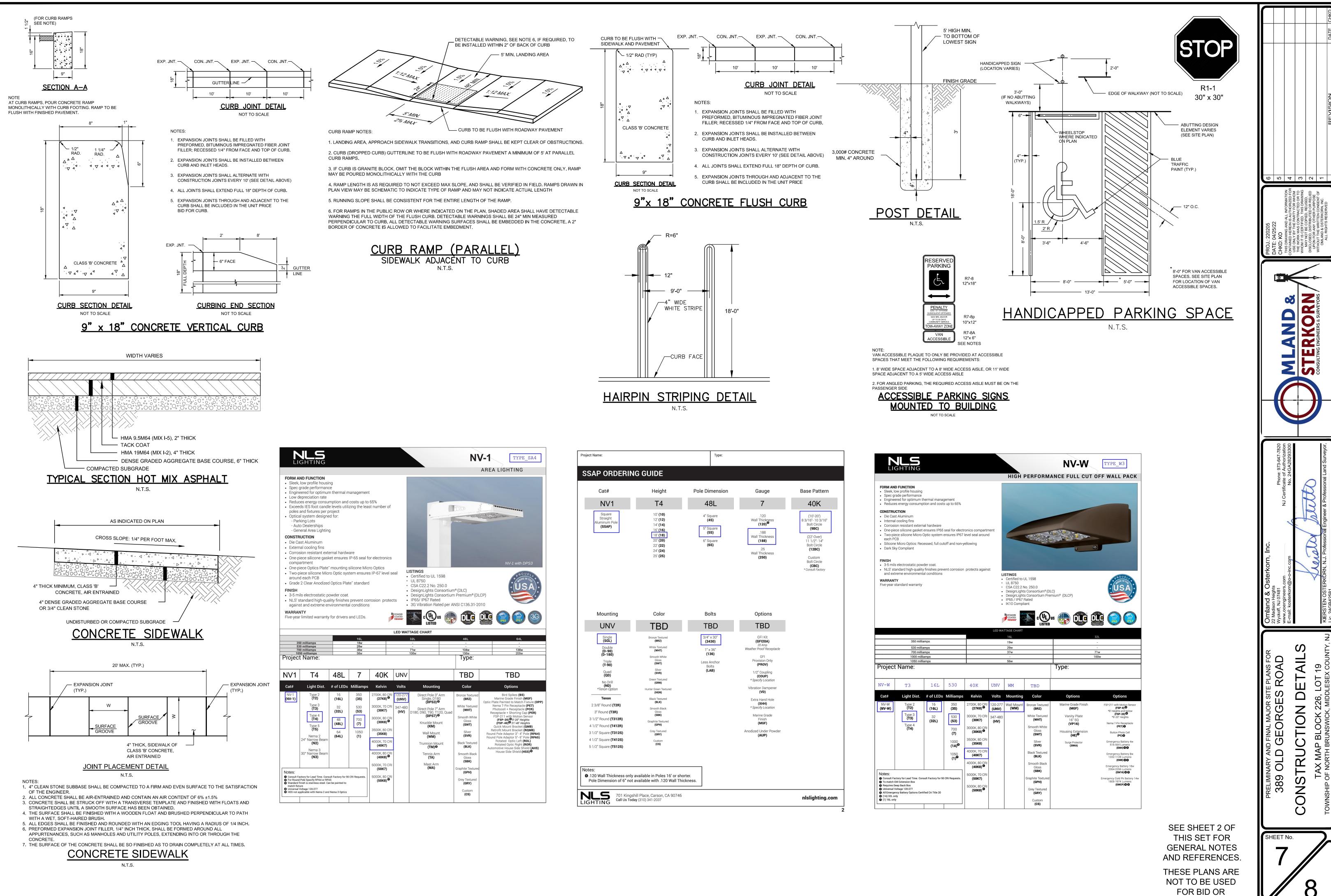




Luminaire	Schedule							
Symbol	Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description	[MAI
>	3	W3	Single	3793	29	0.850	NV-W-T3-16L-53-40K, Wall Mounted 12ft	NLS
	→ 3	SA4	Single	6864	104	0.850	NV-1-T4-48L-7-40K-UNV-HSS, 18ft Pole	NLS

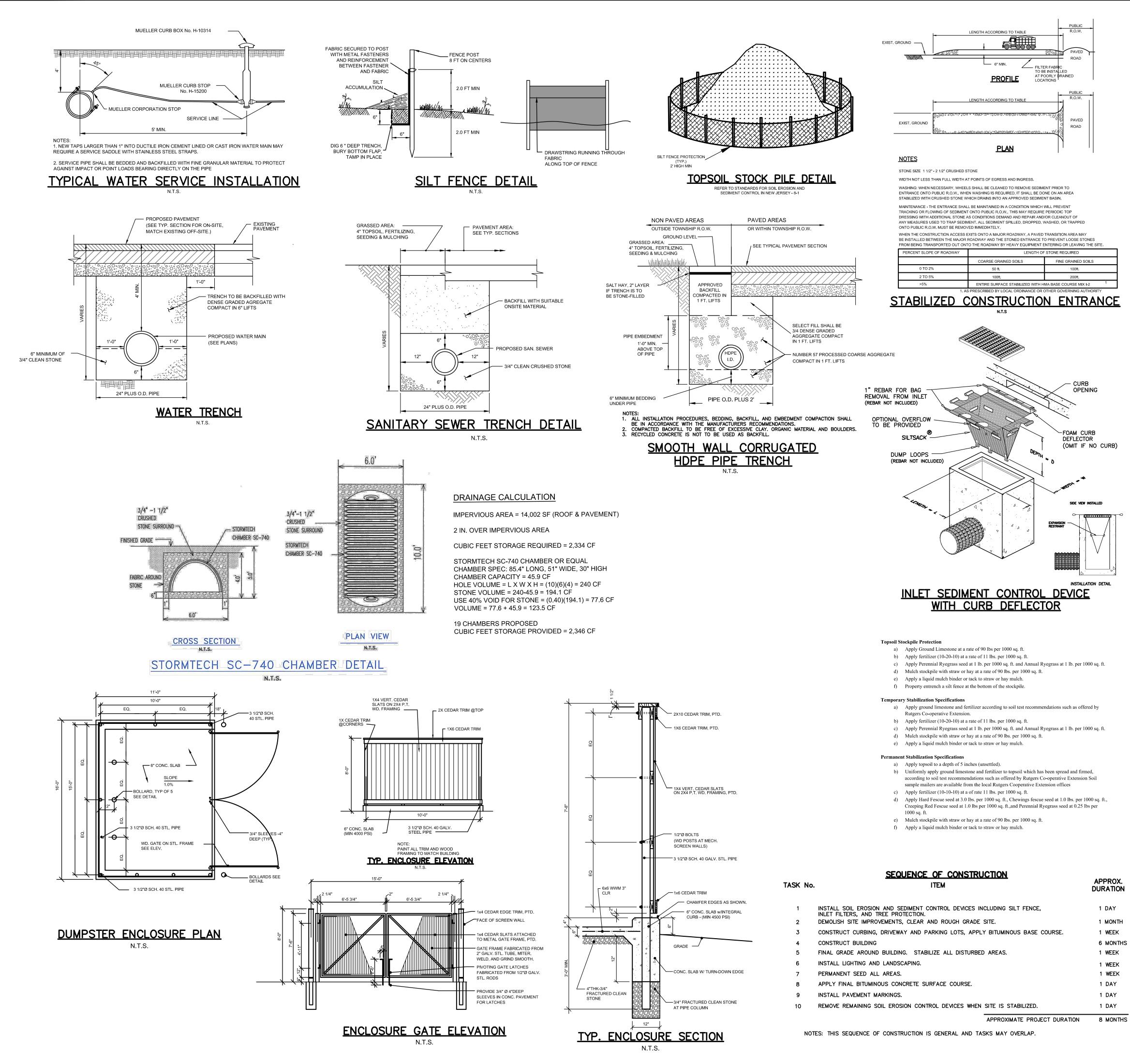
Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	
PL	Illuminance	Fc	0.15	0.5	0.0	N.A.	N.A.	10ft Spacing	
Site	Illuminance	Fc	1.90	5.4	0.5	3.80	10.80	10ft Grid	

			07/01/22 DATE CHKD
) 5/20/22
P			REV PER ZONING OFFICER MEMO DATED 5/20/22 REVISION
DEFD			ZZONING OFFICE
•			- 10 3 4 2 Q
			PROJ.: 220205 DATE: 04/25/22 CHKD: KO THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN SUTHORNEZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM THS CERTIFIED THIS DRAWING MAY NOT BE CONED, REUSED, DISCLOSED, DISTRIBUTED OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF OMLAND & OSTERKORN, INC. ALL RIGHTS RESERVED
			PROJ.: 220205 DATE: 04/25/22 CHKD: KO THIS DRAWING AND CONTAINED HEREIN USE ONLY BY THEI MAY NOT BE CC DISCLOSED. DISTR UPON FOR ANY C WILAND & CR MLAND & ONLAND & ONLAND & MLAND & ONLAND & ONLAND & MLAND & ONLAND & ONLAND & MLAND & ONLAND & ONLAND & ONLAND & ONLAND & ONLAND & ONLA
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			MLAND & STERKORN CONSULTING ENGINEERS & SURVEYORS
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			Phone: 973-647-7820 icate of Authorization No. 24GA28293300 No. 24GA28293300
			Omland & Osterkorn, Inc. 22 Madison Heights Ayckoff, NJ 07481 Aww.ooengineers.com E-mail: kosterkorn@o-o-inc.com Mo. 2 NJ Certificate on NJ
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			Omland & Osterkorn, Inc. 22 Madison Heights Wyckoff, NJ 07481 www.ooengineers.com E-mail: kosterkorn@o-o-inc.com E-mail: kosterkorn@o-o-inc.com KIERSTEN OSTERKORN, N.J. Profe
ement			Omland & Osterkorn, 22 Madison Heights Wyckoff, NJ 07481 www.ooengineers.com E-mail: kosterkorn@o-o-inc.com KIERSTEN OSTERKORN, N.J. Lic. 24GB42581
			MAJOR SITE PLANS FOR RGES ROAD B PLAN CK 226, LOT 19 VICK, MIDDLESEX COUNT
			D FINAL MAJOR SITE PL GEORGES R(FING PLAN P BLOCK 226, LOT BRUNSWICK, MIDDLESE
IANUFAC]	Filename		PRELIMINARY AND FINAL 389 OLD GEC LIGHTINC TAX MAP BLO VSHIP OF NORTH BRUNSV
LS Lighting LLC LS Lighting	NV-W-T3-16L-53-40K.IES NV-1-T4-48L-7-40K-HSS		PRE 3.
		SEE SHEET 2 OF THIS SET FOR GENERAL NOTES	SHEET No.
	SCALE: 1"=10'	AND REFERENCES. THESE PLANS ARE	6
0		NOT TO BE USED FOR BID OR CONSTRUCTION	0 _Γ 8



Cat#	Height	Pole Dimension	Gauge	Base Pattern
NV1	T4	48L	7	40K
Square Straight Aluminum Pole (SSAP)	10' (10) 12' (12) 14' (14) 16' (16) 18' (18) 20' (20) 22' (22) 24' (24) 25' (25)	4" Square (4S) 5" Square (5S) 6" Square (6S)	.120 Wall Thickness (120) .188 Wall Thickness (188) .25 Wall Thickness (250)	(10'-20) 8 3/16"- 10 3/16" Bolt Circle (9BC) (22'-Over) 11 1/2"- 14" Bolt Circle (12BC) Custom Bolt Circle (CBC) * Consult Factory
Mounting UNV	Color TBD	Bolts TBD	Options TBD	
	Bronze Textured (BRZ) White Textured (WHT) Smooth White Gloss (SWT) Silver (SVR) Green Textured (GRN) Hunter Green Textured (GRN) Black Textured (BLK) Smooth Black Gloss (SBK) Graphite Textured (GPH) Grey Textured (GPH) Custom (CS)		GFI Kit (GFI2OA) 20 Amp Weather Proof Receptacle GFI Provision Only (PROV) 1/2" Coupling (COUP) * Specify Location Vibration Dampener (VD) Extra Hand Hole (XHH) * Specify Location Marine Grade Finish (MGF)	

CONSTRUCTION



SOIL EROSION AND SEDIMENT CONTROL NOTES

- 1. The Freehold Soil Conservation District shall be notified seventy-two (72) hours in advance of any land disturbing
- 2. All work is to be done in accordance with the State Standards for Soil Erosion and Sediment Control of New Jersey.
- 3. All Soil Erosion and Sediment Control practices are to be installed prior to any major soil disturbance, or in their proper sequence, and maintained until permanent protection is established
- 4. Any changes to the Certified Soil Erosion and Sediment Control Plans will require the submission of revised Soil Erosion and Sediment Control Plans to the District for re-certification. The revised plans must meet all current State Soil Erosion and Sediment Control Standards.
- 5. In that, N.J.S.A. 4:24-39 et. Seq. requires that no Certificates of Occupancy be issued before the provisions of the Certified Plan for Erosion Control have been complied with for permanent measures. All site work and all work around individual lots in subdivisions, will have to be completed prior to the District issuing a Report of Compliance for the issuance of a Certificate of Occupancy by the Municipality.
- 6. Any disturbed areas that will be left exposed more than thirty (30) days, and not subject to construction traffic, will immediately receive a temporary seeding. If the season prevents the establishment of temporary cover, the disturbed areas will be mulched with straw, or equivalent material, at a rate of 2 to 2 ½ tons per acre, according to State Standard for Stabilization with Mulch Only.
- 7. Immediately following initial disturbance or rough grading, all critical areas subject to erosion (i.e., steep slopes and roadway embankments) will receive temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of 1 ½ to 2 tons per acre, according to State Standards.
- 8. A sub-base course will be applied immediately following rough grading and installation of improvements to stabilize streets, roads, driveways, and parking areas. In areas where no utilities are present, the sub-base shall be installed within fifteen (15) days of the preliminary grading.
- 9. Any steep slopes receiving pipeline installation will be backfilled and stabilized daily, as the installation continues (i.e. slopes greater than 3:1).
- 10. The Standard for Stabilized Construction Access requires the installation of a pad of clean crushed stone at points where traffic will be accessing the construction site. After interior roadways are paved, individual lots require a stabilized construction entrance consisting of one inch to two inch (1" - 2") stone for a minimum length of ten feet (10') equal to the lot entrance width. All other access points shall be blocked off.
- 11. All soil washed, dropped, spilled or tracked outside the limit of disturbance or onto public rights of way will be removed immediately.
- 12. Permanent vegetation is to be seeded or sodded on all exposed areas within ten (10) days after final grading.
- 13. At the time that site preparation for permanent vegetative stabilization is going to be accomplished, any soil that will not provide a suitable environment to support adequate vegetative ground cover shall be removed or treated in such a way that it will permanently adjust the soil conditions and render it suitable for vegetative ground cover. If the removal or treatment of the soil will not provide suitable conditions, non-vegetative means of permanent ground removal or treatment of the soil will not provide suitable conditions, non-vegetative means of permanent ground stabilization will have to be employed.
- 14. In accordance with the Standard for Management of High Acid Producing Soils, any soil having a pH of 4 or less or containing iron sulfides shall be covered with a minimum of twelve (12) inches of soil having a pH of 5 or more prior to seed bed preparation. Areas where trees or shrubs are to be planted shall be covered with a minimum of twenty-four (24) inches of soil having a pH of 5 or more.
- 15. Conduit Outlet Protection must be installed at all required outfalls prior to the drainage system becoming operational.
- 16. Unfiltered dewatering is not permitted. Necessary precautions must be taken during all dewatering operations to minimize sediment transfer. Any dewatering methods used must be in accordance with the Standard for Dewatering.
- 17. Should the control of dust at the site be necessary, the site will be sprinkled until the surface is wet, temporary vegetative cover shall be established or mulch shall be applied as required by the Standard for Dust Control.
- 18. Stockpile and staging locations established in the field shall be placed within the limit of disturbance according to the certified plan. Staging and stockpiles not located within the limit of disturbance will require certification of a revised Soil Erosion and Sediment Control Plan. Certification of a new Soil Erosion and Sediment Control Plan may be required for these activities if an area greater than 5,000 square feet is disturbed.
- 19. All soil stockpiles are to be temporarily stabilized in accordance with Soil Erosion and Sediment Control note #6.
- 20. The property owner shall be responsible for any erosion or sedimentation that may occur below stormwater outfalls or offsite as a result of construction of the project.

STANDARD FOR DUST CONTROL (Per Standards... Dust Control 16-1, May 2012)

DEFINITION-The control of dust on construction sites and roads. PURPOSE- To prevent blowing and movement of dust from exposed soil surfaces,

Consult with local municipal ordinances on any restrictions.

CONDITION WHERE PRACTICE APPLIES - This practice is applicable to areas subject to dust blowing and movement where on- and off-site damage is likely without treatment.

reduce on and off-site damage and health hazards, and improve traffic safety.

- WATER QUALITY ENHANCEMENT-Sediments deposited as "dust" are often fine colloidal material which is extremely difficult to remove from water once it becomes suspended. Use of this standard will help to control the generation of dust from construction sites and subsequent blowing and deposition into local surface water resources.
- PLANNING CRITERIA- The following methods should be considered for controlling dust:
- Mulches-See Standards for Stabilization with mulches Only (p. 5-1)
- Vegetative Cover-See Standards for Temporary Vegetative Cover (p. 7-1), Permanent Vegetative Cover for Soil Stabilization (p. 4-1)

and Permanent Stabilization with Sod (p. 6-1) Spray-on Adhesives-On mineral soils (not effective on muck soils). Keep traffic off these areas.

Table 16-1: Dust Control Materials:

 Water Dilution
 Type of Nozzle
 Gal./Acre

 nulsion
 7:1
 Coarse Spray
 1,20
 Anionic asphalt emulsion Coarse Spray 1,200 12.5:1 Fine Spray 235 Latex Emulsion Resin in Water 4:1 Fine Spray 300 Polyacrylamide (PAM) - spray on Apply according to manufacturer's instructions. May also Polyacrylamide (PAM) - dry spray be used as an additive to sediment basins to flocculate and precipitate suspended colloids. See Sediment Basin standard (pg 26-1). Acidulated Soy Bean Soap Stick None Coarse Spray 1,200

 $\underline{\text{Tillage:}}$ To roughen surface and bring clods to the surface. This is a temporary emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12 inches apart, and spring-toothed harrows are examples of equipment which may produce the desired effect.

Sprinkling: Site is sprinkled until the surface is wet.

Barriers: Solid board fences, snow fences, burlap fences, crate walls, bales of hay, and similar material can be used to control air currents and soil blowing.

Calcium Chloride: Shall be in the form of loose, dry granules of flakes fine enough to feed through commonly used spreaders at a rate that will keep surface moist but not cause pollution or plant damage. If used on steeper slopes, then use other practices to prevent washing into streams or accumulation around plants.

Stone: Cover surface with crushed stone or coarse gravel.

SEE SHEET 2 OF THIS SET FOR **GENERAL NOTES** AND REFERENCES. THESE PLANS ARE NOT TO BE USED

FOR BID OR CONSTRUCTION

6 5 4 3 3 2 1 1 7 8 1 1 7 7 7 7 7 7 7 7 7 7 7 7 7 7
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Omland & Osterkorn, Inc. 22 Madison Heights Wyckoff, NJ 07481 Www.ooengineers.com E-mail: kosterkorn@o-o-inc.com Mo. 24GA28293300 No. 24GA28293300 No. 24GA28293300 No. 24GA28293300 Lic. 24GB42581
PRELIMINARY AND FINAL MAJOR SITE PLANS FOR 389 OLD GEORGES ROAD CONSTRUCTION DETAILS TAX MAP BLOCK 226, LOT 19 TOWNSHIP OF NORTH BRUNSWICK, MIDDLESEX COUNTY, NJ
SHEET NO.