



TOWNSHIP OF NORTH BRUNSWICK
710 HERMANN ROAD
NORTH BRUNSWICK, NJ 08902

Tel.: (732) 247-0922 x440
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Website: WWW.NORTHBRUNSWICKNJ.GOV

DEPARTMENT OF COMMUNITY DEVELOPMENT

MEMORANDUM

TO: Rosalind Westlake, Esq.
243 N. Union Street
Suite 205
Lambertville, New Jersey 08530

FROM: Sal Profaci, Zoning Officer

DATE: April 3, 2023

SUBJECT: Block: 140 Lot: 60.01 **Second Review**
Street Address: 901-993 State Route 1 North Brunswick, NJ 08902
Applicant: 901-99 North Brunswick, Land Holdings, LLC

Dear Ms. Westlake:

This review supplements my previous review dated January 19th 2023, and is submitted based upon amended plans revised 3/13/2023 by Apex Design & Engineering Group. The applicant states the site plan was amended to reduce the number of variances.

Project Description

The applicant is requesting a use variance to install an electronic billboard within the area of an existing detention basin. While the sign is not attached to pylons, the fact that it advertises products and services that are not offered on-site makes it a billboard as defined by the Township Zoning Ordinance.

Subject Property

The subject property falls within the area of an existing detention basin. The basin is located on the southbound side of State Highway Route 1 in the C-2 (General Commercial Zone), between Kimco Plaza (PetSmart) and North Village Mall (Staples). The applicant determines schedule of yard area requirements based upon both Kimco and North Village shopping centers. Testimony should be

provided as to why both shopping centers are used and not solely Kimco Plaza when determining calculations.

The total area encompasses 1,616,333 square feet or 37 acres. The area of the detention basin or disturbed area is 27,120 SF (0.623 acres). The C-2 zone permits freestanding signs (ordinance 205-105), but prohibits billboards (ordinance 205-105 (I)). Billboards are only permitted in the I-1 Industrial Zone.



Figure 1: Subject property (aerial view)

The applicant has removed several variances from their original October 21st 2022 submission. The Catalyst Experimental cover letter dated March 28th 2023 states there are (2) two “C” variances and (1) one “D” variance. (See attached letter)

Our office has determined there are (6) six variances as noted below.

D Variances

Township of North Brunswick Article XXV. Signs and Outdoor Advertising

1. Chapter 205-102 A. entitled General Regulations states as follows: Unless otherwise provided for, all signs shall relate to the premises on which they are erected. (*The*

applicant requests a variance to place a billboard advertising off-premises business on the site).

2. Chapter 205-103 D. entitled Prohibited signs states as follows: Signs advertising a product or service not sold on the premises, signs advertising or directing attention to another premises and any other sign not related to the premises on which the sign is erected. *(The applicant requests a variance to place a billboard advertising off-premises business on the site).*
3. Chapter 205-105 I (1). entitled Permitted signs in nonresidential districts states as follows: Billboards are a permitted use only in the I-1 Industrial Zoning District. *(The applicant requests a variance to place a 459 SF billboard in the C-2 Zoning District).*

The applicant should provide testimony to satisfy the Board that the proposed use inherently serves the public good, and the unique characteristics of the site make it particularly appropriate for the proposed use rather than a permitted use, and the requested variances can be granted without substantial detriment to the public good and will not substantially impair the intent and purpose of the zone plan and zoning ordinance as a result of the deviations from the zone requirements.

“C” or Bulk Variances Requested C-2 General Commercial District

4. Chapter 205-68 (A). entitled Development standards in the C-2 General Commercial District states as follows: Minimum front yard setback: 75 feet from U.S. Route 1 and 60 feet from all other streets. *(Applicant proposes to place a billboard within the required 75 feet front yard or 15' feet from the front lot line).*
5. Chapter 205-105 I (2) entitled Permitted signs in nonresidential districts states as follows: Billboards shall not be less than 20' feet from the right-of-way line. *(Applicant proposes a billboard 15' feet from the front lot line).*
6. Chapter 205-105 I (8) entitled Permitted signs in nonresidential districts states as follows: Billboards shall not be located closer than 500' feet from a residential zone line. *(Applicant proposes an electronic billboard approximately 200 feet from the neighboring R-5 (Garden Apartment Residential) zone line).*

The applicant should justify these variance requests and provide testimony to satisfy the C-1 (hardship) and/or C-2 variance criteria.

The Township reserves the right to further comment based upon the testimony at the public hearing.

Miscellaneous

I defer to the Township Engineer regarding the proposed development request to locate the monument display/billboard within the area of an existing detention basin. The applicant proposes that a portion of the basin must be built up in order to create a flat pad for the proposed structure.

Completeness

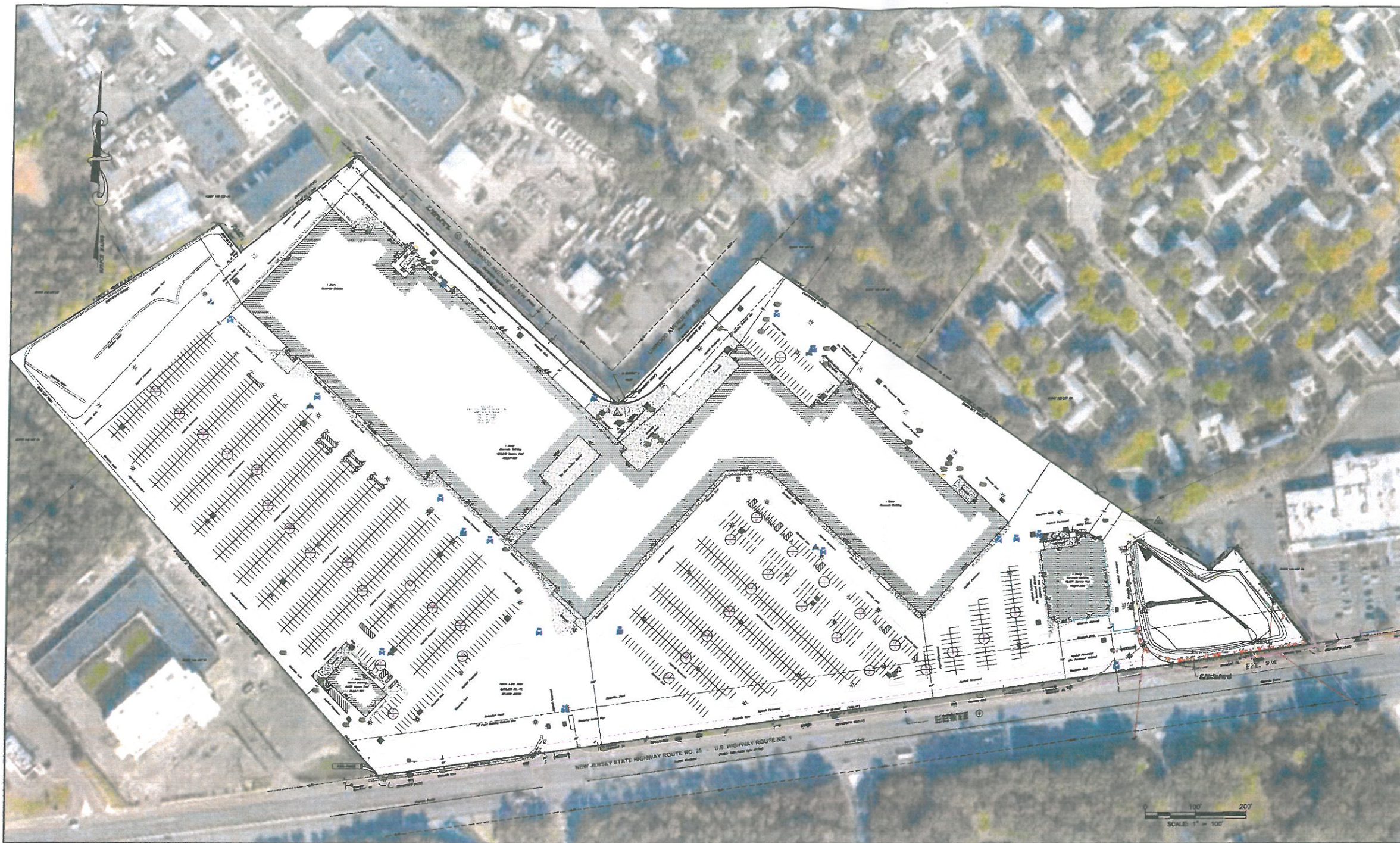
The applicant has previously been deemed complete on February 17th 2023.

Sincerely,



Sal Profaci, Zoning Officer

- c: Mayor and Council
- Michael Hritz, Director of Community Development
- Tom Vigna, Planner
- Zoning Board of Adjustment



TOWNSHIP OF NORTH BRUNSWICK			
ZONING DISTRICT: C-2 GENERAL COMMERCIAL DISTRICT			
SCHEDULE OF REQUIREMENTS			
	REQUIRED	EXISTING	PROVIDED
MIN. LOT AREA	27,500 SF	6,163.32 SF	6,163.32 SF
MIN. LOT WIDTH	150'	138'	150'
MIN. LOT DEPTH	100'	240'	147'
MIN. FRONT YARD	75'	112.51'	112.51'
PRINCIPAL ADVERTISING STRUCTURE	20'	30'	15'
MIN. SIDE YARD	10'	N/A	4E
PRINCIPAL ACCESSORY	5'	N/A	N/A
MIN. REAR YARD	30'	30'	30'
PRINCIPAL ACCESSORY	5'	N/A	N/A
MAX. PRINCIPAL BUILDING HEIGHT	40'	28.5'	28.5'
MAX. LOT COVERAGE	40.0 STORIES 25.1 STORY	77.8%	77.8%

THE FOLLOWING IS A LIST OF OWNERS WITHIN 200 FEET OF BLOCK 140 LOT 60.01

BLOCK	LOT	OWNERS	PROPERTY ADDRESS
140	44.02	ADAMS BRIGHT LLC 7 SONOMA COURT OLD BRIDGE, NJ 08853	55 FIDELITY PLAZA NORTH BRUNSWICK, NJ 08902
140	55.01	ADDS NORTH VILLAGE LLC 111 VILLAGE DRIVE EAST NORTH BRUNSWICK, NJ 08902	VILLAGE DRIVE EAST NORTH BRUNSWICK, NJ 08902
143.04	64	SOCIETY HILL COND O ASSOCIATION FEANGLIANA WAY NORTH BRUNSWICK, NJ 08999	FEANGLIANA WAY NORTH BRUNSWICK, NJ 08902
140	59.01	ADDS NORTH VILLAGE LLC 111 VILLAGE DRIVE EAST NORTH BRUNSWICK, NJ 08902	880-891 ROUTE 1 NORTH BRUNSWICK, NJ 08902
140	61	JANUS PROPERTIES LLC 160 RIVER ROAD SUMMIT, NJ 07981	909 ROUTE 1 NORTH BRUNSWICK, NJ 08902
140	68	HABER, GEORGE 992 LINWOOD PLACE NORTH BRUNSWICK, NJ 08902	992 LINWOOD PLACE NORTH BRUNSWICK, NJ 08902
143	24.06	NORTH BRUNSWICK BUSINESS PARK, LLC 371 HOES LANE SUITE 201 PISCATAWAY, NJ 08854	100 FIDELITY PLAZA NORTH BRUNSWICK, NJ 08902
140	35.01	BATRA, PDDHAW 14 GREENVIEW DRIVE SCOTCH PLAIN, NJ 07075	1170 DOUGLAS AVENUE NORTH BRUNSWICK, NJ 08902
140	62	ASHI HOLDINGS LLC 80 HERRICK AVENUE 18TH FLOOR EAST MEADOW, NY 11554	1955 ROUTE 1 NORTH BRUNSWICK, NJ 08902
140	46	KIMCO NORTH BRUNSWICK R17 INC ASSD WITH B140 L60.01 XXXXXXXXXXXX 9999	901-993 ROUTE 1 NORTH BRUNSWICK, NJ 08902
143	24.03	NORTH BRUNSWICK BUSINESS PARK, LLC 371 HOES LANE SUITE 201 PISCATAWAY, NJ 08854	ROUTE 1 JUNCTION NORTH BRUNSWICK, NJ 08902
140	54	NORTH BRUNSWICK TOWNSHIP 710 HERMANN ROAD NORTH BRUNSWICK, NJ 08902	SCHERRA ROAD NORTH BRUNSWICK, NJ 08902
140	44.01	KIMCO NORTH BRUNSWICK R17 INC ASSD WITH B140 L60.01 XXXXXXXXXXXX 9999	901-993 ROUTE 1 NORTH BRUNSWICK, NJ 08902
140	47	AKEY, ANTHONY & SADIE 1004 LINWOOD PLACE NORTH BRUNSWICK, NJ 08902	1004 LINWOOD PLACE NORTH BRUNSWICK, NJ 08902
140	48	COSTA, GEORGE 992 LINWOOD PLACE NORTH BRUNSWICK, NJ 08902	992 LINWOOD PLACE NORTH BRUNSWICK, NJ 08902
140	43	CIP ONE LLC E LONG WAY HOPEWELL, NJ 08525	832 RIDGEWOOD AVENUE NORTH BRUNSWICK, NJ 08902
140	35.05	VEDUJA, VIKRATESHWAR & VAWI 1102 DOUGLAS AVENUE NORTH BRUNSWICK, NJ 08902	1102 DOUGLAS AVENUE NORTH BRUNSWICK, NJ 08902
140	45	KIMCO NORTH BRUNSWICK R17 INC ASSD WITH B140 L60.01 XXXXXXXXXXXX 9999	901-993 ROUTE 1 NORTH BRUNSWICK, NJ 08902
140	35.04	TJANNA, SANDHYA & PATEL, HETAL N 1144 DOUGLAS AVENUE NORTH BRUNSWICK, NJ 08902	1144 DOUGLAS AVENUE NORTH BRUNSWICK, NJ 08902
140	35.07	AZCONA, ERNESTO J & TORRES, SONIA 1178 DOUGLAS AVENUE NORTH BRUNSWICK, NJ 08902	1178 DOUGLAS AVENUE NORTH BRUNSWICK, NJ 08902
140	35.03	RANA, PARESH 1180 DOUGLAS AVENUE NORTH BRUNSWICK, NJ 08902	1180 DOUGLAS AVENUE NORTH BRUNSWICK, NJ 08902
140	25.1	BRUNSWICK DEV LLC E PROSPECT STREET SUITE 2A MIDLAND PARK, NJ 07432	850 SHOPPER BOULEVARD NORTH BRUNSWICK, NJ 08902
143	24.02	NORTH BRUNSWICK BUSINESS PARK, LLC 371 HOES LANE SUITE 201 PISCATAWAY, NJ 08854	300 FIDELITY PLAZA NORTH BRUNSWICK, NJ 08902

LEGEND

---	PROPERTY LINE	○ PP	IRON PIN FOUND
---	RIGHT-OF-WAY	○ CWP	CONCRETE MONUMENT FOUND
---	EASEMENT	○ CAS	CONCRETE MONUMENT TO BE SET
---	EXISTING MAJOR CONTOUR	○ CB	CATCH BASIN
---	EXISTING MAJOR CONTOUR	○ ELEC MH	ELECTRIC MANHOLE
---	EXISTING CURB LINE	○ P	POWER POLE
---	EXISTING STORM PIPE	○ 379.8	EXISTING SPOT ELEVATION
---	DIS. MAIN	○ C	CLEWOUT
---	WATER MAIN	○ STM MH	STORM MANHOLE
---	ELECTRIC (UNDERGROUND LINES)	○ WMH	WATER MANHOLE
---	TELEPHONE (UNDERGROUND LINES)	○ W	WATER VALVE
---	ELECTRIC (OVERHEAD LINES)	○ W	WATER VALVE
---	FIBER OPTIC CABLES	○ FH	FIRE HYDRANT
---	SANITARY LINES	○ *	LIGHT
---	FENCE	○ SAM MH	SANITARY MANHOLE
---	DIS. METER	○ WSD	WETLAND FLAG LOCATION
---	DIS. VALVE		

Serial Number: **811**

YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER ITS ON PRIVATE OR PUBLIC LAND.

New Jersey One Call System, Inc.
1-800-272-1000

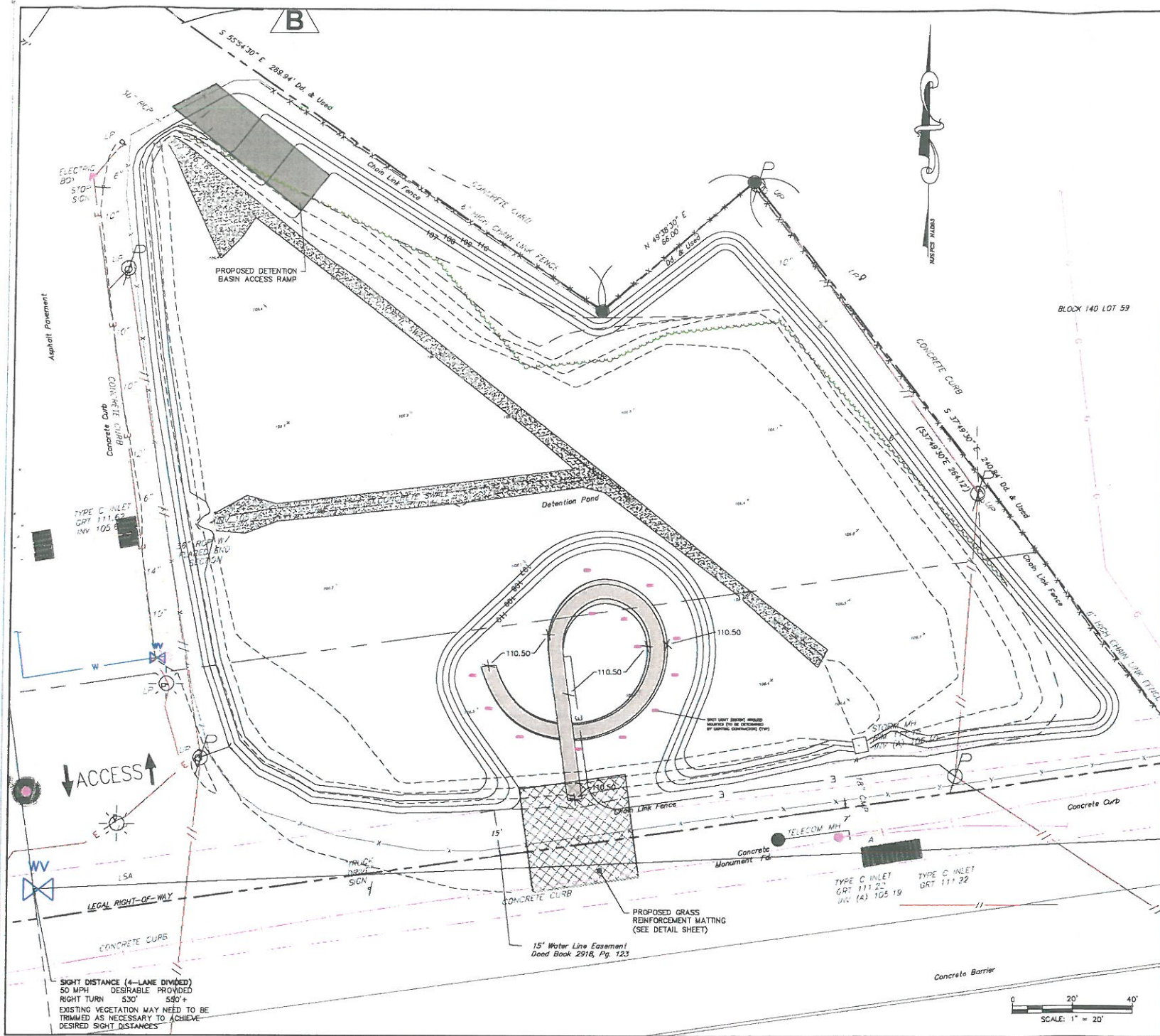
EXISTING CONDITIONS & DEMOLITION PLAN
MONUMENT DISPLAY
901-903 STATE ROUTE 1, BLOCK 140 LOT 60.01

TOWNSHIP OF NORTH BRUNSWICK • MIDDLESEX COUNTY • NEW JERSEY

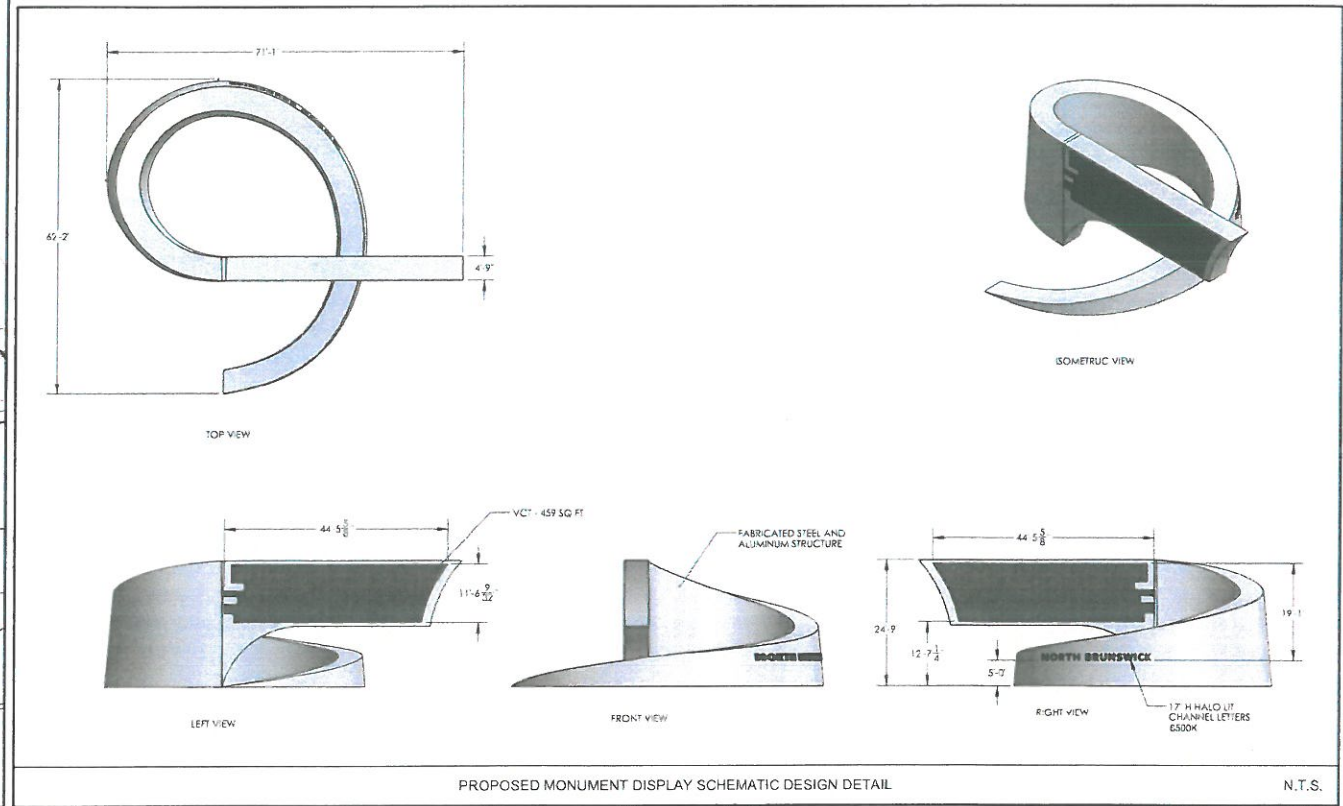
PLANS PREPARED FOR: 201501 NORTH BRUNSWICK, NJ LLC
3401 WEST CHESTER PIKE
NEW TOWN SQUARE, PA 19113
PH: (610) 878-8191

APEX
AN EXCELLENCE IN DESIGN

DATE: 08-09-2022	SCALE: 1" = 100'	FILE NO: 22-140	SHEET NO: 2 OF 6
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- SITE PLAN NOTES:**
- THIS PLAN IS NOT VALID UNLESS ENCLOSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL ENGINEER.
 - ALL DRAWINGS IN THIS PLAN SET ARE MADE PART OF THIS RECORD PLAN AND ALL INFORMATION SHOWN HEREON SHALL BE CONSIDERED APPLICABLE FOR THE COMPLETION OF THE PROJECT. INDIVIDUAL PLANS SHALL NOT BE USED SINCE THEY CONSTITUTE ONLY A PART OF THE COMPLETE SET OF PLANS FOR THIS PROJECT.
 - THE SUBJECT SITE CONSISTS OF BLOCK 140 LOT 59, 56.00' WIDE, 268.94' DEEP, AS SHOWN ON THE TAX MAP OF TOWNSHIP OF NORTH BRUNSWICK, NEW JERSEY, LAST REVISED MAY 2002. THE SITE PROPERTY IS LOCATED IN THE COMMERCIAL DISTRICT ZONE.
 - BOUNDARY AND EXISTING FEATURES INFORMATION SHOWN HEREON IS BASED ON A FIELD SURVEY PERFORMED BY WILKINS & ASSOCIATES, INC. AND SHOWN ON THE DRAWING TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY 091420" DATE 11/11/2010.
 - THE PROJECT VERTICAL DATUM IS BASED UPON NAVD 83.
 - THE SUBJECT SITE IS LOCATED WITHIN THE ZONE X PER FEMA PANEL NO. 34020C028P WITH EFFECTIVE DATE OF JULY 9, 2010.
 - BASED ON THE NATIONAL WETLANDS INVENTORY DATABASE THERE ARE NO WETLANDS LOCATED ON THE SITE.
 - REFER TO ARCHITECTURAL PLANS PREPARED BY OTHERS FOR CONSTRUCTION OF MONUMENT DISPLAY STRUCTURE.
 - ALL DISTURBED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
 - THE RESPONSIBILITY OF OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES SHALL REMAIN WITH THE OWNER OF THE FACILITIES.
 - ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND SHALL BE DESIGNED IN ACCORDANCE WITH THE MUTCD GUIDELINES, LATEST EDITION.
 - ALL DIMENSIONS AND RADIUSES TO THE FACE OF THE CURB UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH THE CONSTRUCTION.
 - CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION TO THE OWNER AND OWNER'S ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. IF ANY SPECIFIC SITEWORK ITEM DEPICTED ON THE PLANS WARRANTS ADDITIONAL INFORMATION REQUIRED FOR CONSTRUCTION AND IS NOT RELATED TO MEANS AND METHODS OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SPECIFIC SITEWORK ITEMS INSTALLED DIFFERENTLY THAN INTENDED AS SHOWN ON THE PLANS IN THE ABSENCE OF SUBMITTING AND ADDRESSING WRITTEN REQUESTS FOR INFORMATION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS INCLUDING BUT NOT LIMITED TO SIDEWALK STREET CLOSING AND DEMOLITION.
 - THE CONTRACTOR SHALL PROVIDE ALL APPLICABLE JURISDICTIONAL AUTHORITIES/ AGENCIES REQUIRED NOTICE BEFORE BEGINNING ANY LAND DISTURBANCES.
 - THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ADHERING TO ALL REGULATIONS RELATED TO HEALTH AND SAFETY AS WELL AS ALL APPLICABLE STATE, FEDERAL AND LOCAL RULES AND REGULATIONS.
 - THE CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIALS REMOVED FROM THE SITE.
 - CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT, ACCURATE OR COMPLETE. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES LOCATED WITHIN THE LIMITS OF IMPROVEMENTS DURING ENTIRE CONSTRUCTION PERIOD. IF NECESSARY, CONTRACTOR SHALL RELOCATE AND/OR MODIFY ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING UTILITIES.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS, SIZE, MATERIAL AND DEPTH OF INSTALLATION OF ALL UTILITY ENTRANCES TO INCLUDE WATER SERVICE AND ELECTRICAL. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCIES AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES. UTILITY SERVICES TO EXISTING USERS AT THE SITE SHALL BE MAINTAINED AT ALL TIMES.
 - CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S ENGINEER.
 - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SUBMITTALS TO OWNER AND OWNER'S ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS SHOWN HEREON.



LEGEND

---	PROPERTY LINE	○ PF	HIGH PIV FOUND
---	RIGHT-OF-WAY	○ CMF	CONCRETE MONUMENT FOUND
---	EASEMENT	○ CMS	CONCRETE MONUMENT TO BE SET
---	EXISTING MAJOR CONDUIT	○ CB	DITCH BASIN
---	EXISTING MAJOR CONDUIT	○ ELEC MH	ELECTRIC MANHOLE
---	EXISTING CURB LINE	○ P	POWER POLE
---	EXISTING STORM PIPE	○ 379.8	EXISTING SPOT ELEVATION
---	GAS MAIN	○ DD	CLEAROUT
---	WATER MAIN	○ STM MH	STORM MH
---	ELECTRIC (UNDERGROUND LINES)	○ WMH	WATER MANHOLE
---	TELEPHONE (UNDERGROUND LINES)	○ WV	WATER VALVE
---	ELECTRIC (OVERHEAD LINES)	○ PH	FIRE HYDRANT
---	FIBER OPTIC CABLES	○ L	LIGHT
---	SEWER LINES	○ SAN MH	SANITARY MANHOLE
---	FENCE	○ WCL	WETLAND FLAG LOCATION
---	GAS METER		
---	GAS VALVE		

PROPOSED LINETYPE LEGEND

---	378	---	PROPOSED GRADING
---	---	---	PROPOSED UNDERGROUND ELECTRIC

Serial Number: **811**

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New Jersey One Call System, Inc. 1-800-272-1000

PROPOSED CONDITIONS & UTILITY PLAN
MONUMENT DISPLAY
901-903 STATE ROUTE 1, BLOCK 140 LOT 60.01
TOWNSHIP OF NORTH BRUNSWICK * MIDDLESEX COUNTY * NEW JERSEY

PLANS PREPARED FOR: 33156 NORTH BRUNSWICK LN LLC
3640 WEST CHESTER PIKE
NORTH TOWN SQUARE, NJ 08910
PH: (870) 875-6380

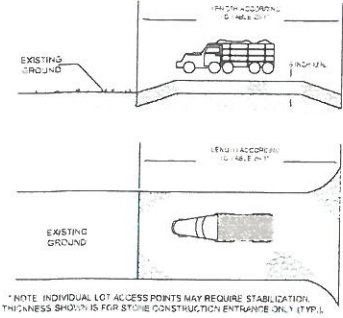
APEX
TRAFFIC ENGINEERS & ARCHITECTS

DATE: 08/13/23	REV: 1	DESCRIPTION: UTILITY CHECK	DESIGNER: MJB	REVIEWER: JCM	DATE: 08-09-2022	SCALE: 1" = 20'	FILE NO: 22-140	SHEET NO: 3 OF 6
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LENGTHS OF CONSTRUCTION EXITS ON SLOPING BEDS

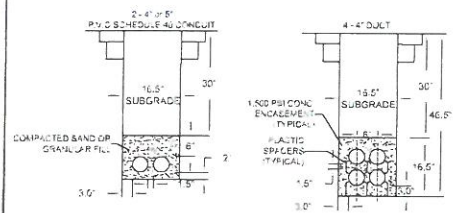
PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOIL	FINE GRAINED SOIL
0 TO 5%	50 FT	100 FT
7 TO 10%	100 FT	200 FT

*AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNMENT AGENCIES.



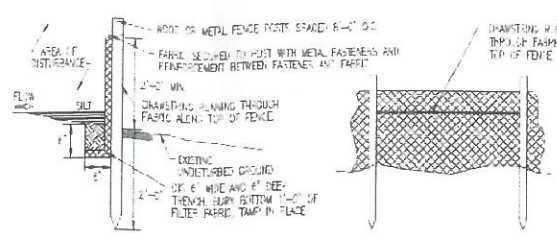
STABILIZED CONSTRUCTION ACCESS

N.T.S.



ELECTRIC TRENCH DETAIL

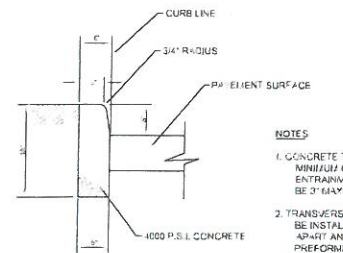
N.T.S.



1. PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
2. THE SLOPE OF THE LAND FOR AT LEAST 30 FEET ADJACENT TO ANY SILT FENCE SHALL NOT EXCEED 5 PERCENT.
3. SILT FENCE SHALL BE INSTALLED SO WATER CANNOT PASSES THE FENCE BEHIND THE SLOPE.
4. EROSION SHALL BE PREVENTED AND TRENCH OF SEDIMENT SHALL BE MAINTAINED AS PROMPTLY AS POSSIBLE.
5. SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE TOWNSHIP ENGINEER OR SOIL CONSERVATION DISTRICT.
6. THE SLOPE SHALL BE REMOVED WHEN THE CONTROLLING CHANNEL AREA HAS BEEN STABILIZED, SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OF CHANNEL.
7. FENCE POSTS SHALL BE SPACED 6 FEET CENTER-TO-CENTER OR CLOSER THEY SHALL EXTEND AT LEAST 3 FEET INTO THE GROUND AND EXTEND AT LEAST 1 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HOLLOWPIPE OR WOOD UNLESS OTHERWISE SPECIFIED.
8. A WOOD POST WITH 3 INCH OF SHAPED ENDINGS MAY BE USED IF IT IS AT LEAST 2 FEET HIGH AND IS STAPLED TO THE FENCE POSTS TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC. WHERE STAPLES FOR OTHER PURPOSES IS LIMITED AND HEAVY WEIGHT LOCKING IS DESIRED.
9. A GEOTEXTILE FABRIC RECOMMENDED FOR SILT USE BY THE MANUFACTURER SHALL BE BURIED AT LEAST 3 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE GROUND. FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND HIGH STRENGTH REINFORCEMENT MATERIAL (WALNUT WEEDERS, CRAMMERS, HOOKERS, ETC.) PLACED BETWEEN THE FENCE AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL NOT TEAR OR PULL FROM THE POSTS. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE FOR ADDED STRENGTH.

SILT FENCE DETAIL

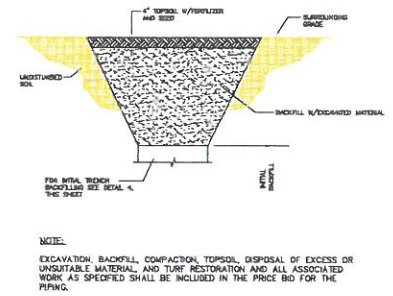
NOT TO SCALE



- NOTES:**
1. CONCRETE TO TEST 4 000 P.S.I. MINIMUM ON 28 DAY TEST. AIR ENTRAINMENT 4% TO 7%, SLUMP TO BE 3\"/>
 - 2. TRANSVERSE JOINTS 1/2\"/>

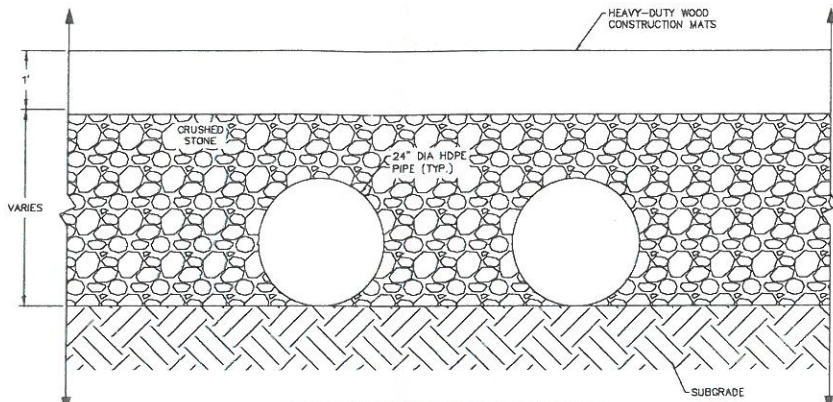
CONCRETE CURB

N.T.S.



FINAL TRENCH BACKFILLING WITH TURF RESTORATION

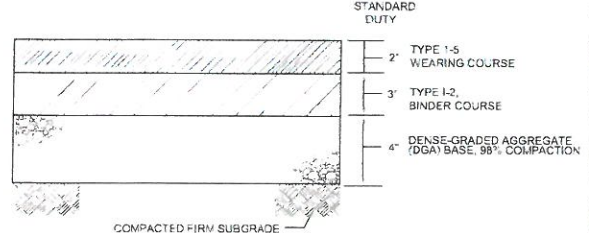
N.T.S.



TEMPORARY CONSTRUCTION ACCESS TO PROPOSED MONUMENT DISPLAY PAD DETAIL

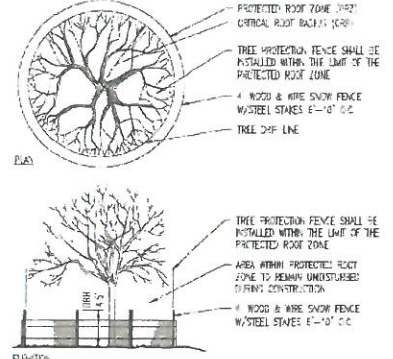
NOT TO SCALE

NOTE:
CONTRACTOR MUST MATCH EXISTING PAVEMENT SECTION. THE PAVEMENT PROFILE SHOWN ON THIS DETAIL IS FOR INFORMATIONAL PURPOSES ONLY.



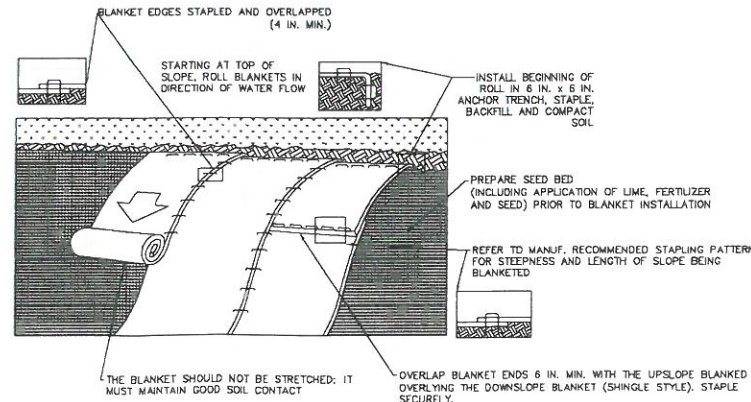
TOWNSHIP OF NORTH BRUNSWICK BITUMINOUS CONC. PARKING LOT PAVEMENT SECTION

N.T.S.



TREE PROTECTION DURING SITE CONSTRUCTION DETAIL

NOT TO SCALE



- NOTES:**
- SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.
 - PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.
 - SLOPE SURFACE SHALL BE FREE OF ROCKS, CLDS, STICKS, AND GRASS.
 - BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.
 - THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 - BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

STANDARD CONSTRUCTION DETAIL #11-1 EROSION CONTROL BLANKET INSTALLATION

NOT TO SCALE

GEOBLOCK 5150 MATERIAL SPECIFICATION

MATERIAL	UP TO 10% RECYCLED POLYETHYLENE
COLOR	RANGE DARK GRAY TO BLACK
CHEMICAL RESISTANCE	SUPERIOR
CARBON BLACK FOR STABILIZATION	3 TO 3.5%
UNIT MIN. CRUSH STRENGTH - EMPTY @ 70° F (21°C)	430 PSI (2,900 KPA)
UNIT MIN. CRUSH STRENGTH - SAND FILLED @ 70° F (21°C)	7,000 PSI (48,734 KPA)
GENERAL MODULUS @ 70° F (21°C)	33,000 PSI (2,275 MPa)
NOMINAL DIMENSIONS - WIDTH X LENGTH	35.7 40 IN. (913 X 1,016 MM)
NOMINAL UNIT DEPTH	2.39 IN. (60.7 MM)
NOMINAL AREA	5.3 SQ FT (0.5 SQ MTR)
CELLS PER UNIT	72
CELL SIZE	5.1 X 3.3 IN. (129 X 81 MM)
TOP OPEN AREA PER UNIT	0.7%
BOTTOM OPEN AREA PER UNIT	4.1%
INTERLOCKING UPPER BEARING TRANSMISSION PANE	12 TABS PER 40 IN. (PER 1 W)
NOMINAL WEIGHT PER UNIT	9.0 LBS (4.1 KG)
BLUSHY COEFFICIENT @ 2.3 IN/IN (64 MM) RAIN	0.13
UNITS PER PALLET	50

TYPICAL LAYOUT - BRICKLAYER PATTERN

TYPICAL LAYOUT - HERRINGBONE PATTERN

GEOBLOCK 5150 COMPONENTS

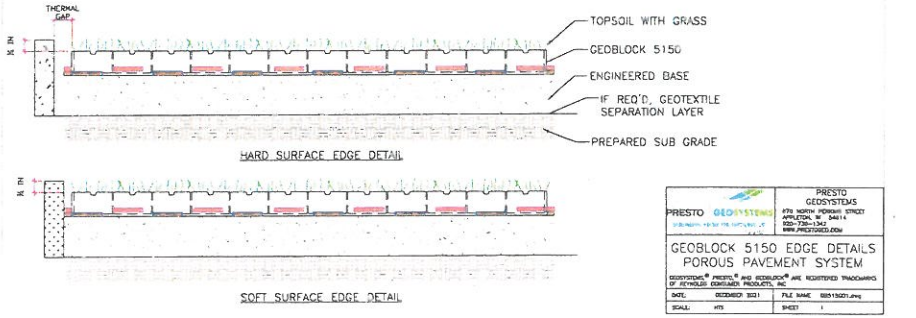
DESIGN GUIDELINES - BASE DEPTH

DESIGN DESCRIPTION	DESIGN 1	DESIGN 2	DESIGN 3	DESIGN 4
Heavy Fire Truck Access & H/RSSS Loading, Typical 110 psi (7,580 kPa) tire pressure. Single axle loadings of 40,000 lbs (18,144 kg). Gross vehicle weight of 80,000 lbs (36,287 kg).	Design 1 - 4\"/>			
Heavy Fire Truck Access & H/RSSS Loading, Typical 110 psi (7,580 kPa) tire pressure. Single axle loadings of 32,000 lbs (14,515 kg). Gross vehicle weight of 64,000 lbs (29,031 kg).	Design 1 - 4\"/>			
Light Fire Truck Access & H/RSSS Loading, Typical 60 psi (4,140 kPa) tire pressure. Single axle loadings of 24,000 lbs (10,886 kg). Gross vehicle weight of 48,000 lbs (21,772 kg).	Design 2 - 4\"/>			
Light Fire Truck Access & H/RSSS Loading, Typical 60 psi (4,140 kPa) tire pressure. Single axle loadings of 16,000 lbs (7,257 kg). Gross vehicle weight of 32,000 lbs (14,515 kg).	Design 3 - 4\"/>			
Core & Pick-up Truck Access, Typical 45 psi (3,100 kPa) tire pressure. Single axle loadings of 4,000 lbs (1,814 kg). Gross vehicle weight of 8,000 lbs (3,630 kg).	Design 4 - No Base	Design 4 - No Base	Design 4 - No Base	Design 4 - No Base

NOTE:

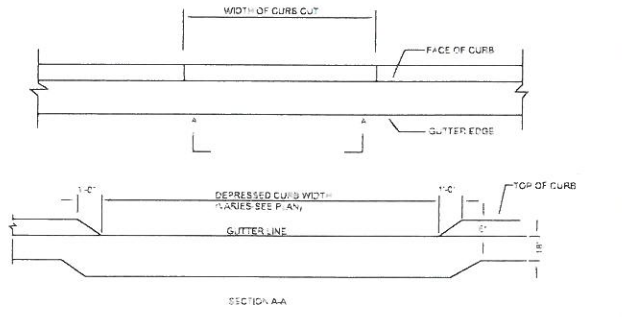
- This information is based on the use of GEOBLOCK 5150 manufactured by Reynolds Presto Products, Inc. All rights reserved. Any use of this information for any rigid porous paver product other than that manufactured by Reynolds Presto Products, Inc. is strictly prohibited and makes this information invalid.
- Engineered base is a homogeneous mixture consisting of open graded crushed aggregate having an AASHTO # 5 or similar designation blended with pulverized topsoil and a void component generally containing air and/or water. This homogeneous mixture will promote vegetation growth and provide required structural support. The aggregate portion shall have a particle range from 9.5 mm to 25 mm (0.375 to 1.0 in) with a 100% at 19 mm (0.75 in). The percentage void-space of the aggregate portion when compacted shall be at least 30%. The pulverized topsoil portion shall equal 33% +/- of the total volume and be added and blended to produce a homogeneous mixture prior to placement.
- If required, provide a non-woven geotextile separation layer and install in accordance with Manufacturer recommendations including overlaps based on sub grade CBR.
- Connect GEOBLOCK 5150 panels with the interlocking offset tab so that adjacent sections have horizontal level profiles.
- Refer to the GEOBLOCK 5150 Design and Construction Overview for a complete description of the design and construction methods.

- Notes:**
- This information is based on the use of GEOBLOCK 5150 manufactured by Reynolds Presto Products, Inc. All rights reserved. Any use of this information for any rigid porous paver product other than that manufactured by Reynolds Presto Products, Inc. is strictly prohibited and makes this information invalid.
 - Against hard surfaces (concrete, asphalt, paver block, etc.):
 - Place the top of the Geoblock5150 panels 1/8\"/>
 - Provide a thermal gap between the hard surface and the edge of the GEOBLOCK 5150 panels. Thermal gap shall be 1 inch for every 20 linear feet of GEOBLOCK 5150 pavement.
 - Against soft surfaces (topsoil, sod, landscape elements, etc.):
 - Place the top of the Geoblock5150 panels 1/8\"/>
 - No thermal gap between the soft surface and the edge of the GEOBLOCK 5150 panels is required. Align the GEOBLOCK 5150 panels to the soft surface.
 - Refer to the GEOBLOCK 5150 Design and Construction Overview for a complete description of the design and construction methods.



HARD SURFACE EDGE DETAIL

SOFT SURFACE EDGE DETAIL



DEPRESSED CURB

N.T.S.

CONSTRUCTION DETAILS & NOTES

MONUMENT DISPLAY

901-903 STATE ROUTE 1, BLOCK 140 LOT 60.01

TOWNSHIP OF NORTH BRUNSWICK * MIDDLESEX COUNTY * NEW JERSEY

PLANS PREPARED FOR:
501-661 NORTH BRUNSWICK LLC
540 WEST CHESTER PIKE
NEWTOWN SQUARE PA 18973
PH: (610) 575-9390

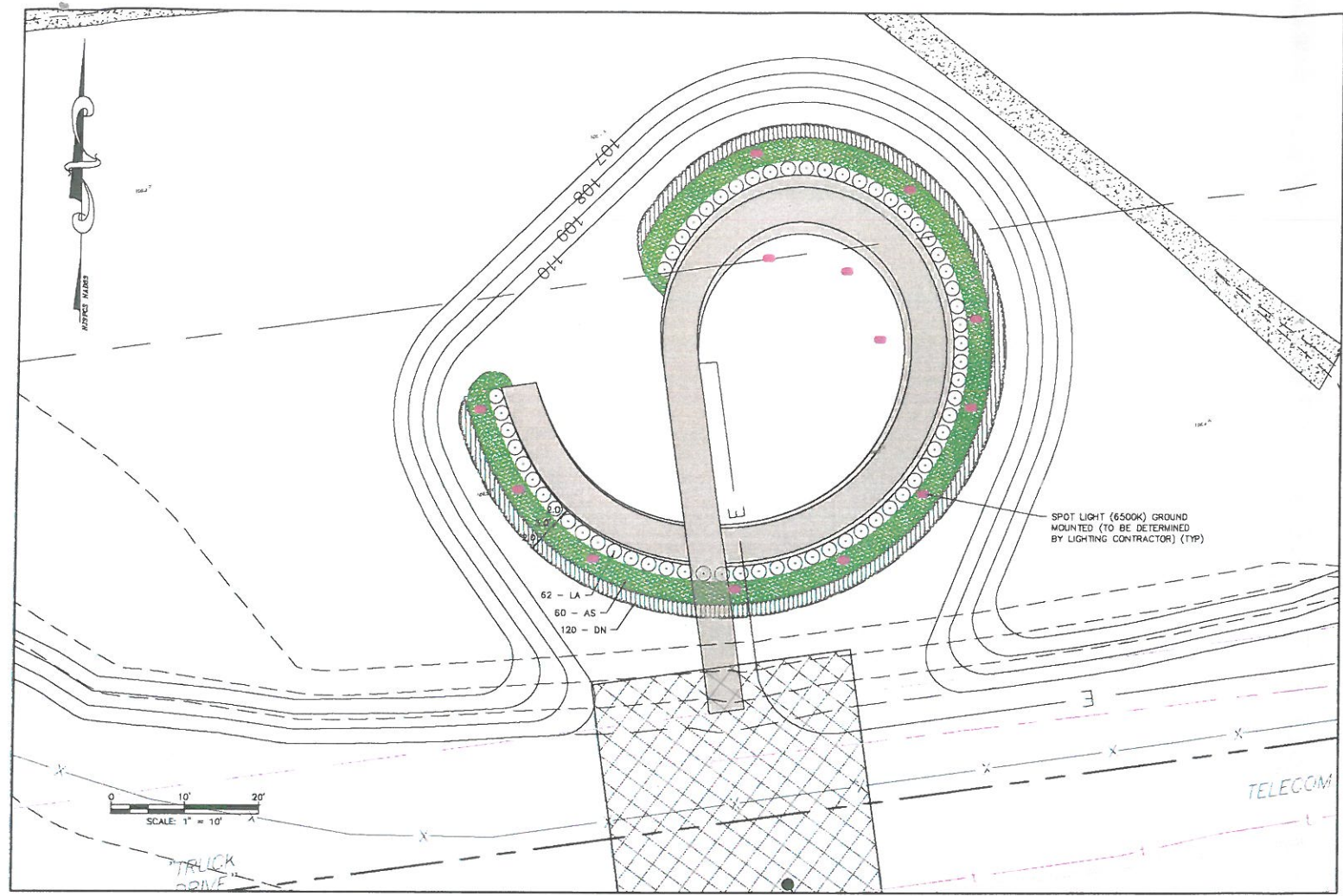
DATE: 08-09-2022

SCALE: AS NOTED

FILE NO: 22-140

SHEET NO: 5 OF 6

APEX
TOTAL SOLUTIONS GROUP



PLANTING SPECIFICATIONS

- SCOPE OF WORK**
 - THIS WORK SHALL CONSIST OF PERFORMING CLEARING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ALL OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
- MATERIALS**
 - GENERAL: ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS LISTED IN THE NEW JERSEY STATE DEPARTMENT OF TRANSPORTATION (DOT) MANUAL OF ROADWAY AND BRIDGE CONSTRUCTION (LATEST EDITION) OR APPROVED EQUAL.
 - PLANTS: ALL PLANTS SHALL BE HEALTHY OR NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS.
 - TOPSOIL: TOPSOIL SHALL BE HAVING AN ORGANIC CONTENT OF NOT LESS THAN 5%, PHOSPHORUS BETWEEN 4.5 - 7.5, FREE OF DEBRIS, ROCKS LARGER THAN TWO INCHES (50.8 MM), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
 - MULCH: FOUR (4) INCHES DOUBLE SHIPPED HARDWOOD BARK MULCH.
 - FERTILIZER AND SOIL CONDITIONER: PLANTED AREAS.
 - ORGANIC FERTILIZER: SHALL BE PROCESSED SEWER SLUDGE WITH MINIMAL CONTENT OF 1% NITROGEN AND 2% PHOSPHORUS, EQUAL TO NITROGEN.
 - ORGANIC FERTILIZER AND SOIL CONDITIONER: SHALL BE GROUND POWDER AND ORGANIC BASE MATERIALS COMPOSED OF DECOMPOSED ANIMAL AND VEGETABLE MATTER AND COMPOSTED TO SUPPORT BACTERIAL CULTURES CONTAINING NO POLYTRICHLORINATED BIPHENYL (PCB) GUARANTEED ANALYSIS (5-3-3) NITROGEN 5%, PHOSPHATE 3%, POTASH 1%, 50% HUMUS AND 15% HUMIC ACIDS.
- GENERAL WORK PROCEDURES**
 - LANDSCAPE WORK SHALL COMMENCE AS SOON AS PORTIONS OF THE SITE ARE AVAILABLE. CONTRACTOR TO UTILIZE MODERATELY STANDARD IN PERFORMANCE LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH DAY'S WORK. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STOCKPILED OR DISPOSED OF. ALL PAVED SURFACES SHALL BE SWEEPED CLEAN AT THE END OF EACH DAY'S WORK.
 - WEEDING: BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DIGG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
 - TOPSOILING: CONTRACTOR TO PROVIDE A 4" THICK TOPSOIL LAYER IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO PRODUCE A UNSETTLED THICKNESS. TOPSOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AND ADJUST SOIL ON SITE TOPSOIL UTILIZED IN ALL PLANTING AREAS. ADJUST AND NUTRIENT LEVELS AS REQUIRED TO ENSURE ACCEPTABLE GROWING MEDIUM.
 - SOIL CONDITIONING:
 - CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 8". ALL DEBRIS EXPOSED FROM EXCAVATION AND CUT WATERS SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE. SPREAD EVENLY IN ALL PLANTING AREAS AND TIE (2 DIRECTIONS) INTO TOP 4" WITH THE FOLLOWING PER 1,000 SQ. FT.:
 - 20 POUNDS GROUND-POWER
 - 200 POUNDS AGRICULTURAL GYPSUM
 - 20 POUNDS NITROGEN (COURSE) 38-0-0 BLUE CHIP
 - SOIL MODIFICATIONS:
 - THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. USE COMPOSTED BARK, RECYCLED YARD WASTE OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
 - MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO RAISE THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DR. DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- PLANTING**
 - POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
 - PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF THE ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED WITH THE FOLLOWING PREPARED SOIL MIXED THROUGHLY:
 - PART PEAT MOSS BY VOLUME
 - PART COMPOSTURE BY VOLUME
 - PART TOPSOIL BY VOLUME
 - GRAMM AGRIFORM PLANTING TABLETS AS FOLLOWS:
 - 7 TABLETS PER 1 GALLON PLANT
 - 3 TABLETS PER 5 GALLON PLANT
 - 4 TABLETS PER 1 GALLON PLANT
 - LARGER PLANTS (2) TABLETS PER 1" DIAMETER OF TRUNK CAL PER.
 - PREPARED SOIL SHALL BE TAMPOD FIRMLY AT THE BOTTOM OF THE PIT. FILL PREPARED SOIL AROUND BALL OF PLANT (1" WAY) AND INSERT TABLETS COMPLETELY AND WATER THOROUGHLY.
 - ALL PLANTS SHALL BE SET SO THAT THEY BEAR THE SAME RELATION TO THE REQUIRED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE BEING TRANSPORTED.
 - PREPARE RAISED EARTH BASIN AS WIDE AS PLANTING HOLE OF EACH TREE.
 - WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH A MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
 - PRUNE ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS TO A MINIMUM OF 75% BRANCHING HEIGHT.
- GROUND COVER**
 - ALL GROUND COVER AREAS SHALL RECEIVE A 2" LAYER OF MULCH BAKED TO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING GROUND COVER.
 - SPACING AND VARIETY OF GROUND COVER SHALL BE AS SHOWN ON THE DRAWINGS.
 - IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER GROUND COVER.
 - ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLYING THE PRE-EMERGENT. PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION.
- FINISH GRADING**
 - ALL AREAS WILL BE RECEIVED BY THE CONTRACTOR AT SUBSTANTIALLY PLUS/MINUS 0.1 FOOT OF FINISH GRADE.
 - ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE IN SURFACE UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. SOIL AREAS ADJACENT TO THE BUILDING SHALL BE SLOPED AWAY.
 - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
- GUARANTEE**
 - CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM ACCEPTANCE OF JOB. OWNER TO SIGN A MAINTENANCE BOND FROM THE CONTRACTOR FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE COMMENCEMENT OF THE GUARANTEE PERIOD AND PASSES A FINAL INSPECTION BY THE OWNER OR OWNER'S REPRESENTATIVE.
- CLEANUP**
 - UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.
 - MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SALLERS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY WITH HERBICIDE AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
 - MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERICED OR BARE AREAS.

PLANTING NOTES:

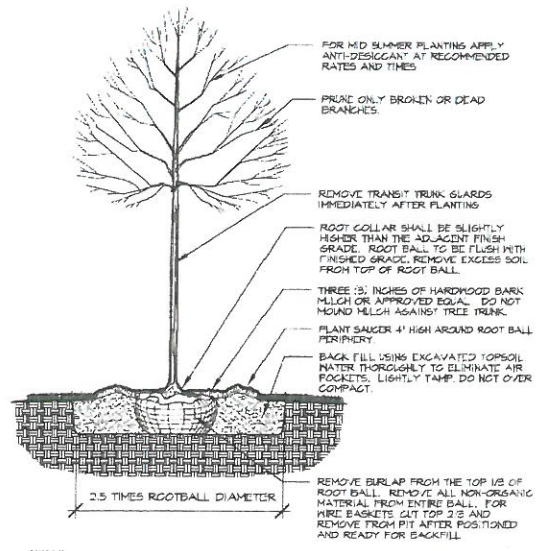
- THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS SHOWN ON THE DRAWINGS AS SPECIFIED AND IN QUANTITIES INDICATED ON THE PLANT LIST.
- ALL PLANTS SHALL BE NURSERY GROWN AND FRESHLY DUG.
- ALL PLANTS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK. LATEST EDITION. TRUNK CALIBER SHALL MEASUREMENTS SHALL BE TAKEN ON THE THIN SIDE OF THE PLANT.
- ALL PLANTS SHALL BE HARDY UNDER CLIVATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
- FALL DISEASE HAZARD: ANY SPECIES LISTED BELOW, IF INCLUDED ON THE PLANT LIST, MUST NOT BE DUG IN THE FALL (OCTOBER THROUGH DECEMBER) BECAUSE OF RISK TO THE TREE'S SURVIVAL. SPECIAL EXCEPTIONS MAY BE GRANTED IF THE OWNER IS NOTIFIED IN WRITING AND AN EXTENDED WARRANTY ON THESE PLANTS IS AGREED UPON PRIOR TO DIGGING. THE FOLLOWING VARIETIES SHOULD NOT BE DUG IN FALL: BITULA GARNIERI, CULTRA, CERCOPHYLLUM, CRATAEGUS, CRYPTOMERIA, FAGUS, FALSA, ILEX (TREE FORM VARIETIES), LIQUIDAMBAR, LIRODENDRON, NYSSA, OSTRYA, PRUNUS, PYRUS, QUERCUS (EXCEPT QUERCUS ALASTRIS), SALIX (KEEPING VARIETIES), AND TILIA TOMENTOSA. DIGGING FOR MALUS AND ZELKOVIA VARIETIES SHOULD BE AVOIDED IN FALL ONLY WHEN IN LEAF.
- ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OR GROWTH. THEY SHALL BE SOUND, HEALTHY AND VIGOROUS. WELL BRANCHED AND DEFENSEL FOLIATED WHEN IN LEAF. THEY SHALL BE CERTIFIED BY APPROPRIATE STATE AND FEDERAL AUTHORITIES TO BE FREE OF DISEASE AND INSECT PESTS, EGGS OR LARVAE. THEY SHALL HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS.
- TREES WITH CENTRAL LEADER BROKEN OR LEAD SHALL BE REJECTED.
- TREES THAT DO NOT DISPLAY TYPICAL CHARACTERISTICS FOR THEIR SPECIES SHALL BE REJECTED.
- SUBSTITUTIONS: WHEN PLANTS OF A SPECIES AND OR SIZE ARE NOT AVAILABLE WITH A REASONABLE DISTANCE, SUBSTITUTIONS MAY BE MADE UPON REQUEST BY THE CONTRACTOR, IF APPROVED BY THE OWNER AND/OR MUNICIPAL AUTHORITY.
- MEASUREMENT: DIMENSIONS OF TREES AND SHRUBS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
- SIZE: ALL PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED ON THE PLANT LIST, UNLESS AUTHORIZED IN WRITING BY THE TOWNSHIP ARBORIST AND THE OWNER.
- BALLES AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM NATURAL BALLS OF EARTH OF SUFFICIENT AND DEPTH TO INCLUDE MOST OF THE FIBROUS ROOTS. CONTAINER GROWN STOCK SHALL HAVE BEEN GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER FIRM AND WHOLE. NO PLANTS SHALL BE LOOSE IN THE CONTAINER. PLANTS WITH POOR QUALITY ROOT BALLS OR ROOT BALLS THAT HAVE BEEN CRACKED OR DAMAGED SHALL BE REJECTED.
- ROOT BALLS OF ALL PLANTS SHALL BE ADEQUATELY PROTECTED AT ALL TIMES FROM SUN AND DRYING WINDS OR FROST.
- CONDITIONS DETRIMENTAL TO PLANTS: THE CONTRACTOR SHALL NOTIFY THE PROJECT REPRESENTATIVE IN WRITING OF ALL SOIL OR DRAINAGE CONDITIONS WHICH THE CONTRACTOR CONSIDERS DETRIMENTAL TO THE GROWTH OF PLANTS. THE CONTRACTOR SHALL STATE THE CONDITIONS AND SUBMIT A PROPOSAL FOR CORRECTING THE CONDITIONS, INCLUDING ANY CHANGE IN COSTS. FOR REVIEW AND ACCEPTANCE BY THE PROJECT REPRESENTATIVE.
- THE OWNER OR THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO BEGINNING PLANTING OPERATIONS.
- ALL PLANTING SHALL BE AT THE LOCATIONS INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT THE CORRECT GRADES, ALIGNMENT, AND TO THE INDICATED LAYOUT OF THE PLANTING BEDS.
- LAYOUT OF PLANTING: THE CONTRACTOR SHALL LAY OUT WITH IDENTIFIABLE STAKES THE LOCATION OF ALL PLANTING BEDS AS INDICATED ON DRAWING. THE LAYOUT OF PLANTING SHALL BE APPROVED BY THE PROJECT REPRESENTATIVE PRIOR TO ANY EXCAVATION OF PLANT PITS OR PLANT BEDS.
- MINOR ADJUSTMENTS TO TREE LOCATIONS MAY BE NECESSARY DUE TO FIELD CONDITIONS AND FINAL GRADING. THE CONTRACTOR SHALL NOTIFY THE OWNER IF MAJOR ADJUSTMENTS ARE REQUIRED.
- PLANTING SOIL SHALL BE EXCAVATED AT THE SOIL FROM THE PLANTING PIT. PLANTING SOIL SHALL BE THOROUGHLY MIXED WITH ALL ROCKS, CLODS AND ROOTS REMOVED.
- PLANTS WITH BROKEN ROOT BALLS OR EXCESSIVE DAMAGE TO THE CROWN SHALL BE REPLACED PRIOR TO PLANTING.
- ALL TREES SHALL BE STAKED AND GUYED ACCORDING TO ACCEPTED INDUSTRY PRACTICE, AND AS NOTED ON THE PLANTING DETAILS.
- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION STANDARDS TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND ALL BROKEN OR INJURED BRANCHES SHALL BE REMOVED.
- MULCH: IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED, ALL TREES AND SHRUB PLANTING PITS SHALL BE COVERED WITH A 3" (THREE INCH) LAYER OF DOUBLE SHIPPED HARDWOOD BARK MULCH, OR OTHER MATERIAL APPROVED BY THE OWNER OR THE OWNER'S REPRESENTATIVE. A GRANULAR PRE-EMERGENT WEED CONTROL SHALL BE SPREAD PRIOR TO MULCHING. THE LIMIT OF THIS MULCH FOR DECIDUOUS TREES AND SINGLE EVERGREEN TREES SHALL BE THE AREA OF THE PIT. FOR SHRUBS AND PERENNIAL BEDS AND FOR EVERGREEN TREE CLUSTERS, A CONTINUOUS MULCHED BED SHALL BE CREATED.
- TREES IN LEAF, INCLUDING EVERGREENS, WHEN PLANTED SHALL BE TREATED WITH ANTI-DESICCANT SUCH AS WILT-PROOFER IF PLANTED DURING THE MONTHS OF JUNE THROUGH SEPTEMBER, NOVEMBER AND DECEMBER.
- WEED CONTROL: ALL PLANTING AREAS SHALL BE FREE FROM WEEDS PRIOR TO THE BEGINNING OF PLANTING OPERATIONS. CONTACT HERBICIDE SPRAYS SHOULD ONLY BE USED AS REQUIRED AND ALL MANUFACTURER'S SPECIFICATIONS FOLLOWED.
- GUARANTEE: ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR FOR TWELVE (12) MONTHS FROM THE DATE OF INSTALLATION. THE OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE UNLESS OTHERWISE AGREED WITH CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MONITOR THE PROJECT DURING THE GUARANTEE PERIOD AND NOTIFY THE OWNER IF PROBLEMS DEVELOP WITH THE PLANT MATERIAL. ANY MATERIAL THAT IS DEAD OR MORE SHALL BE CONSIDERED DEAD AND MUST BE REPLACED AT NO CHARGE. A TREE SHALL BE CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK OR THERE IS 25% OF THE CROWN DEAD.
- ALL DEBRIS RESULTING FROM LANDSCAPE CONTRACTING OPERATIONS SHALL BE CLEANED UP AND REMOVED FROM THE SITE ON A WEEKLY BASIS.
- WEEDING: LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR WEEDING SUFFICIENTLY AT THE TIME OF PLANTING AND UNTIL THE JOB IS COMPLETED, ACCEPTED AND TURNED OVER TO THE OWNER.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING PRACTICES STATED IN CHAPTER 5 OF PROBONTS TREE MAINTENANCE BY HARSHMAN, T. PROBON AND M. SALL (SEVENTH OR MOST RECENT EDITION).

LANDSCAPE NOTES

- BASE INFORMATION INCLUDING TOPOGRAPHY, GRADING, UTILITIES, BUILDING AND EXISTING TREE LOCATIONS PREPARED BY WILKINSON & ASSOCIATES, INC. DATED 09/22/2022.
- THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.
- THE LANDSCAPE ARCHITECT'S SEAL APPLIES ONLY TO THE LANDSCAPE PORTION OF THIS PLAN.
- ALL PLANT MATERIAL IS TO BE FIELD ADJUSTED AS NECESSARY TO ADDRESS EXISTING SITE CONDITIONS, PROPOSED UNIT LANDSCAPING, AND TO ENSURE THAT CLEAR SIGHT TRIANGLES AND CLEAR SIGHT LINES ARE MAINTAINED.
- PROPOSED SHADY TREES SHALL NOT BE PLANTED OVER THE TOP OF ANY SEWER OR WATER LATERALS, MAINS, OR SERVICES. SEWER AND WATER LATERALS, MAINS AND SERVICES ARE SHOWN ON LANDSCAPE PLANS FOR REFERENCE ONLY. SEE ENGINEER'S PLANS FOR LOCATION OF ALL UTILITIES.
- UTILITIES ARE SHOWN ON LANDSCAPE PLANS FOR REFERENCE ONLY. SEE ENGINEER'S PLANS FOR LOCATION OF ALL UTILITIES.
- ALL PLANTINGS SHALL BE PERMANENTLY MAINTAINED.
- ALL TREES SHALL BE PRUNED AS NECESSARY TO MAINTAIN REQUIRED LIGHT LEVELS.

TREE REPLACEMENT

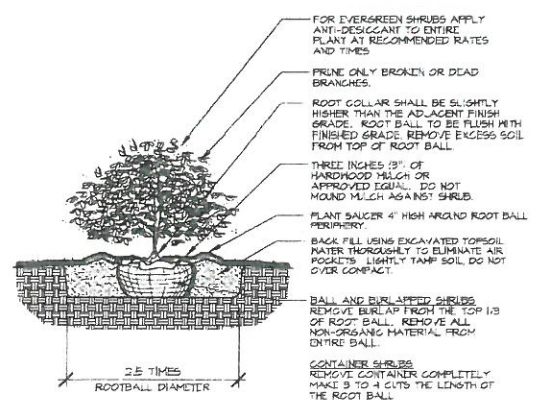
APPLICANT TO PREPARE FEE IN LIEU OF REQUIRED TREE REPLACEMENT



- NOTES**
- Trees with poor quality root balls or root balls that have been crushed or damaged shall be rejected.
 - Trees with central leader break or dead leader shall be rejected.
 - Trees that are not in the correct alignment shall be rejected.
 - Final quantities will be determined by the contractor.
 - Trees shall not be planted in areas where there shall be responsibility for temporary and permanent maintenance of 12 months. If a tree is not planted in a suitable location, it shall be provided in accordance with minimum standards, period of 12 months, and removal of tree at the end of the guarantee.

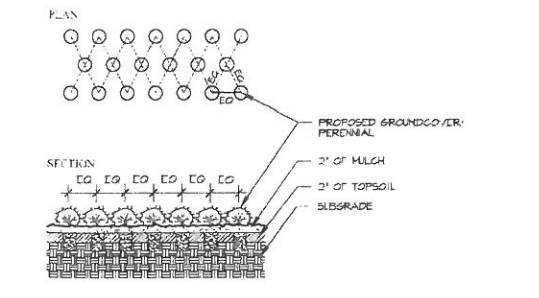
2 SHRUB DETAIL

NOTES: SEE GENERAL NOTES FOR MORE INFORMATION ON PLANTING



3 PLANTING DETAIL

NOTES: SEE GENERAL NOTES FOR MORE INFORMATION ON PLANTING



- NOTES**
- Plants must be planted in holes that are 100% full.
 - See planting list for ground cover species, size and spacing directions.

LANDSCAPE SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	MIN. SIZE	ROOT	QTY	COMMENTS
LA	Lavandula angustifolia	English Lavender	23 in.	PT	87	SPACING 30" O.C.
AS	Asplenium adnigrum	Silver Moss	No. 2	PT	60	SPACING 30" O.C.
DN	Dianthus 'Eastern Park'	Eastern Park Dianthus	No. 1	CONT.	120	SPACING 10" O.C.



LANDSCAPE & LIGHTING PLAN
MONUMENT DISPLAY
901-903 STATE ROUTE 1, BLOCK 52 LOT 140
TOWNSHIP OF NORTH BRUNSWICK, MIDDLESEX COUNTY, NEW JERSEY

DATE	10/27/23	REVISION	1
DATE	08-09-2022	REVISION	1

DATE	08-09-2022	SCALE	1" = 10'	FILE NO.	22-140	SHEET NO.	6 OF 6
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