

# PRELIMINARY AND FINAL SITE PLAN APPLICATION

## KING ARTHUR COURT WAREHOUSE TOWNSHIP OF NORTH BRUNSWICK, MIDDLESEX COUNTY, NEW JERSEY BLOCK 252, LOT 5.03

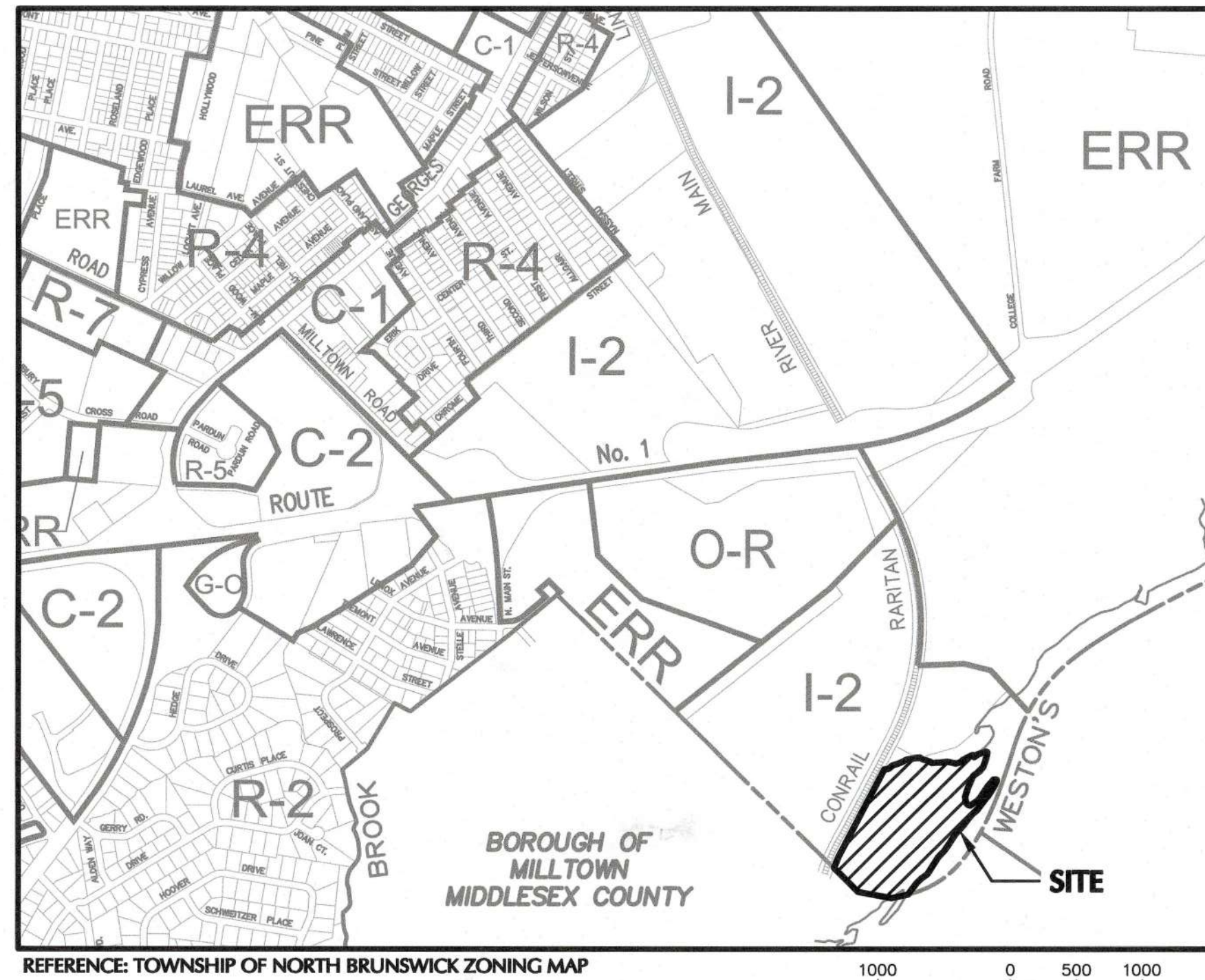
### PROJECT CONTACTS

**OWNER/APPLICANT:**  
NORTH BRUNSWICK II, LLC  
195 MORRISTOWN ROAD  
BASKING RIDGE, NJ 07920

**ARCHITECT:**  
WARE MALCOMB  
10 EDELMAN  
IRVINE, CA 92618  
(949) 660-9128

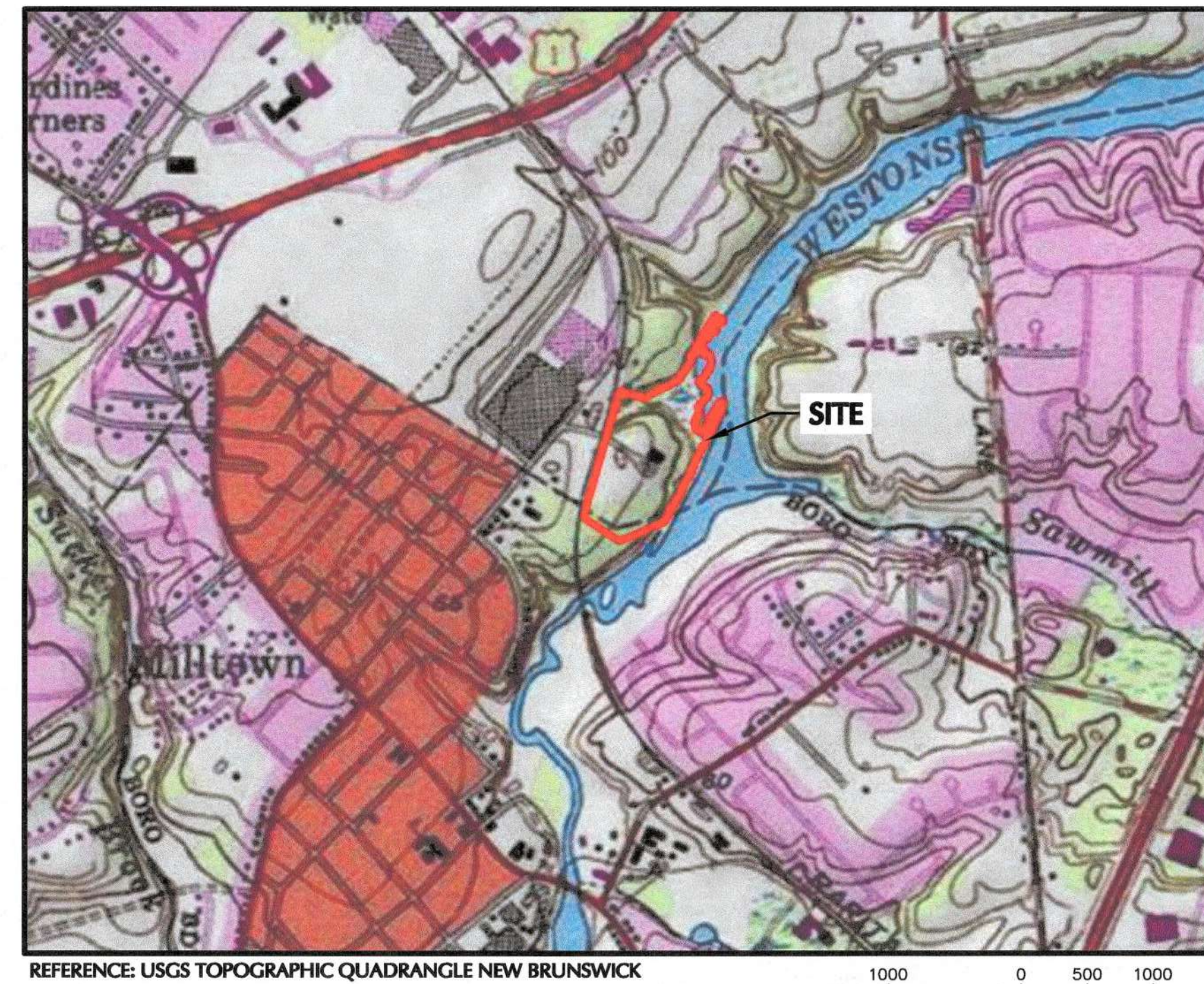
**CIVIL ENGINEER/SURVEYOR:**

**LANGAN**  
300 KIMBALL DRIVE  
PARLISSEY, NJ 07054  
(973) 560-4900  
NJ Certificate of Authorization No. 24CA27996400



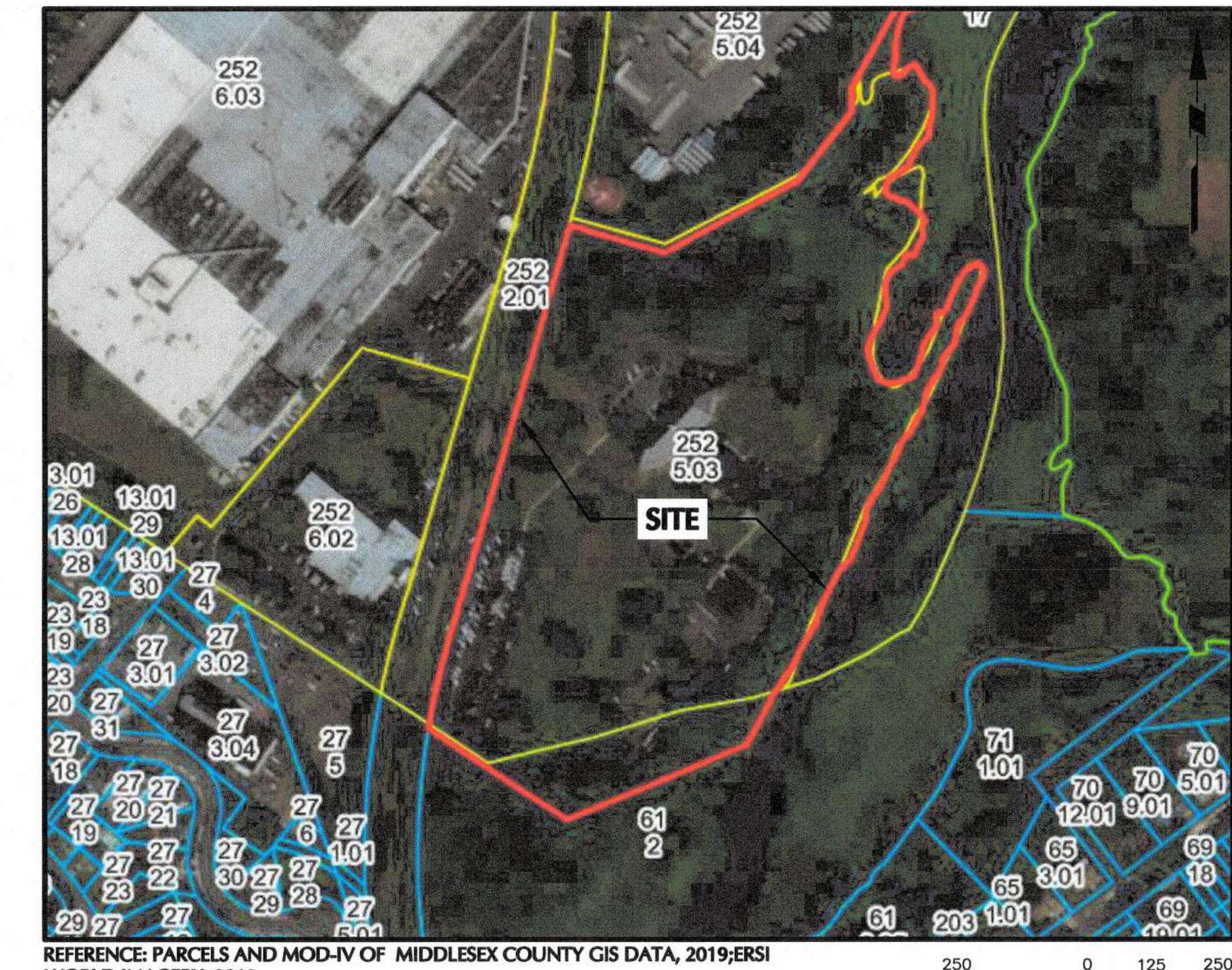
**ZONING MAP**

SCALE: 1"=1000'



**KEY MAP**

SCALE: 1"=1000'



**TAX MAP**

SCALE: 1"=500'

### GENERAL NOTES

- BOUNDARY, TOPOGRAPHIC AND UTILITY INFORMATION SHOWN HEREON ARE BASED ON "BOUNDARY AND TOPOGRAPHIC SURVEY", PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES INC., DATED 15 DECEMBER 2022.
- THE OWNER AND CONTRACTOR ARE HEREBY NOTIFIED THAT THIS INFORMATION IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL REVIEW ALL INFORMATION TO HIS SATISFACTION PRIOR TO THE EXECUTION OF CONTRACTS OR COMMENCING WORK. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER OF RECORD.
- THE HORIZONTAL DATUM SHOWN IS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83) NEW JERSEY STATE PLANE, U.S. FOOT.
- ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, INC. WETLAND SCIENTISTS DELINEATED WETLANDS AND THE TOP OF BANK ONSITE ON 03/30/2020 AND 03/24/2021.
- ALL PROPOSED CONSTRUCTION WORK SHALL NOT DISTURB THE TOP OF BANK WITHIN 25 FEET OF THE RIPARIAN ZONE.
- CONTRACTOR SHALL CONTRACT OUT SOIL WASTE DISPOSAL WITH PRIVATE CONTRACTOR.
- ALL CONSTRUCTION AND MATERIALS SHOWN HEREON SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE TOWN OF NORTH BRUNSWICK EXCEPT WHERE NOTED.
- EXISTING UTILITIES:
  - OWNER AND CONTRACTOR ARE HEREBY NOTIFIED THAT EXISTING UTILITIES ARE PRESENT IN THE VICINITY OF THE PROJECT. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION.
  - THE CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITIES ALONG THE LINE OF THE PROPOSED WORK THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION. CONTRACTORS SHALL NOT PROCEED WITH WORK IN STREETS WHERE UTILITIES HAVE NOT BEEN LOCATED.
  - WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING DEPTHS, MATERIALS AND SIZES, SUCH THAT CONFLICTS MAY BE AVOIDED. THESE TEST PITS SHALL BE EXCAVATED AT THE START OF CONSTRUCTION, PRIOR TO THE CONSTRUCTION OF ANY UTILITIES. THE CONTRACTOR WILL NOTIFY LANGAN 48 HOURS PRIOR TO THE TEST PIT EXCAVATION AND WILL PROVIDE LANGAN WITH THE RESULTS OF THESE EXPLORATIONS WITHIN 24 HOURS OF THEIR COMPLETION.
- LOCATION AND SIZE OF WATER, ELECTRIC, AND TELEPHONE SERVICES INTO BUILDING ARE APPROXIMATE AND MUST BE COORDINATED WITH RESPECTIVE UTILITY COMPANIES.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS, AND THE REQUIREMENTS AND STANDARDS OF APPLICABLE GOVERNING AUTHORITIES.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION.
- THESE PLANS REPRESENT THE OVERALL SITEWORK IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS. CORRELATE CONDITIONS WITH THE DRAWINGS, AND, RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS AS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE RFI SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR DEPICED ON THE PLANS.
- INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRADE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL THOROUGHLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
- THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW, AND ADHERE TO ALL THESE DOCUMENTS.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.
- CONTRACTOR SHALL BACKFILL OR PLACE STEEL PLATES ON ANY OPEN TRENCH AT THE END OF EACH WORKDAY.

### ZONING STATISTICS NORTH BRUNSWICK, NJ INDUSTRIAL DISTRICT (I-2) ZONE

	REQUIRED <sup>1</sup>	EXISTING	PROPOSED	COMPLIES
<b>BULK REGULATIONS</b>				
MIN. LOT AREA	3 AC	15.56 AC	15.56 AC	YES
MIN. LOT WIDTH	350 FT	990.0 FT	990.0 FT	YES
MIN. LOT DEPTH	350 FT	592.4 FT	592.4 FT	YES
MAX. LOT COVERAGE (PRINCIPAL BUILDING)	40%	3.0%	24.1%	YES
MAX. IMPERVIOUS COVERAGE	80%	25.8%	50.7%	YES
MOTOR VEHICLE SURFACE AREA	N/A	3.3 AC	3.8 AC	-
MAX. HEIGHT (PRINCIPAL BUILDING)	3 STORIES/40 FT	N/A	43.8 FT <sup>2</sup>	NO
FRONT YARD SETBACK	60 FT	220.2 FT	98.3 FT	YES
SIDE YARD SETBACK (PRINCIPAL/ACCESSORY)	40 FT/20 FT	229.6 FT/363.4 FT	158.7 FT/363.4 FT	YES
REAR YARD SETBACK (PRINCIPAL/ACCESSORY)	75 FT/20 FT	122.8 FT/0 FT	195.11 FT/0 FT	YES
PERMITTED USE	WAREHOUSES	MEDICAL, ADMINISTRATIVE & GENERAL OFFICES	WAREHOUSES	YES
<b>PARKING REQUIREMENTS</b>				
MIN. CAR PARKING STALL DIMENSION	9 FT x 18 FT	9 FT x 18 FT	9 FT x 18 FT	YES
CAR PARKING SPACES	WAREHOUSES = 1 SPACE PER 2,500 SF OF GFA: 1 SPACE X (155,610 SF / 2,500 SF) = 63 SPACES			
	OFFICE <sup>3</sup> = 1 SPACE PER 250 SF OF GFA PLUS 1 VISITOR SPACE PER 5 EXECUTIVE OFFICES: 1 SPACE X (8,000 SF / 250 SF) + 1 SPACE X (15 EXECUTIVE OFFICE / 5) = 35	N/A	98 SPACES	YES
	TOTAL SPACES REQUIRED = 98 SPACES			
ADA ACCESSIBLE PARKING SPACES <sup>4</sup>	4 SPACES	N/A	5 SPACES	YES
MIN. LOADING BERTH SIZE	12 FT x 35 FT	N/A	13.5 FT x 60 FT	YES
LOADING SPACES	1 SPACE	0 SPACES	30 SPACES	YES

### REFERENCE:

- TOWNSHIP OF NORTH BRUNSWICK ZONING ORDINANCE § 205-74 THROUGH § 205-76, PARKING AND LOADING § 205-96 THROUGH § 205-100.
- BUILDING HEIGHT IS DEFINED AS THE MEAN HEIGHT OF THE BUILDING ROOF. THE MEDIAN HEIGHT OF THE ROOF IS CALCULATED TO BE  $(38.46+41.083)/2 + 4 = 43.77$ . WHERE THE AVERAGE EAIVE IS ELEVATION 38.46, THE RIDGE IS ELEVATION 41.083, AND THE ADDITIONAL 4 FEET IS THE GRADE DIFFERENTIAL AT THE LOADING DOCK SIDE OF THE BUILDING.
- THIS PROJECT IS SPECULATIVE AND TENANT OFFICE REQUIREMENTS MAY VARY. TOTAL OFFICE OPTIONS PROPOSED EQUAL 8,000 SF OF OFFICE.
- ADA STANDARDS FOR ACCESSIBLE DESIGN TABLE 208.2.

CIVIL SHEET INDEX		
SHEET NUMBER	DRAWING NUMBER	DRAWING TITLE
1	CS001	COVER SHEET
2	CB101	OVERALL PROPERTY PLAN
3	CS101	SITE PLAN
4	CD101	DEMOLITION PLAN
5	CG101	GRADING PLAN
6	CG102	DRAINAGE PLAN
7	CG201	STORM PROFILES 1
8	CG202	STORM PROFILES 2
9	CU101	UTILITY PLAN
10	CE101	SOIL EROSION & SEDIMENT CONTROL PLAN
11	CE501	SOIL EROSION & SEDIMENT CONTROL PLAN DETAILS
12	KT100	OVERALL CIRCULATION PLAN
13	KT101	FIRE DEPARTMENT PLAN
14	KT102	VEHICLE CIRCULATION PLAN
15	LA101	LANDSCAPE PLAN
16	LA501	LANDSCAPE NOTES & DETAILS
17	LL101	LIGHTING PLAN
18	LL501	LIGHTING NOTES & DETAILS
19	CS501	SITE PLAN DETAILS 1
20	CS502	SITE PLAN DETAILS 2
21	CS502	SITE PLAN DETAILS 3
22	CS503	SITE PLAN DETAILS 4

SURVEY SHEET INDEX		
SHEET NUMBER	DRAWING NUMBER	DRAWING TITLE
1	VT101	BOUNDARY AND TOPOGRAPHIC SURVEY

Date	Description	No.
06/15/2023	PLANNING BOARD SUBMISSION	2
06/01/2023	NJDEP APPLICATION	1

### REVISIONS

REVISIONS		
Date	Description	No.
06/15/2023	PLANNING BOARD SUBMISSION	2
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**LANGAN**  
Langan Engineering and Environmental Services, Inc.  
300 Kimball Drive  
Parlissey, NJ 07054  
T: 973.560.4900 F: 973.560.4901 www.langan.com  
NJ CERTIFICATE OF AUTHORIZATION NO. 24CA27996400

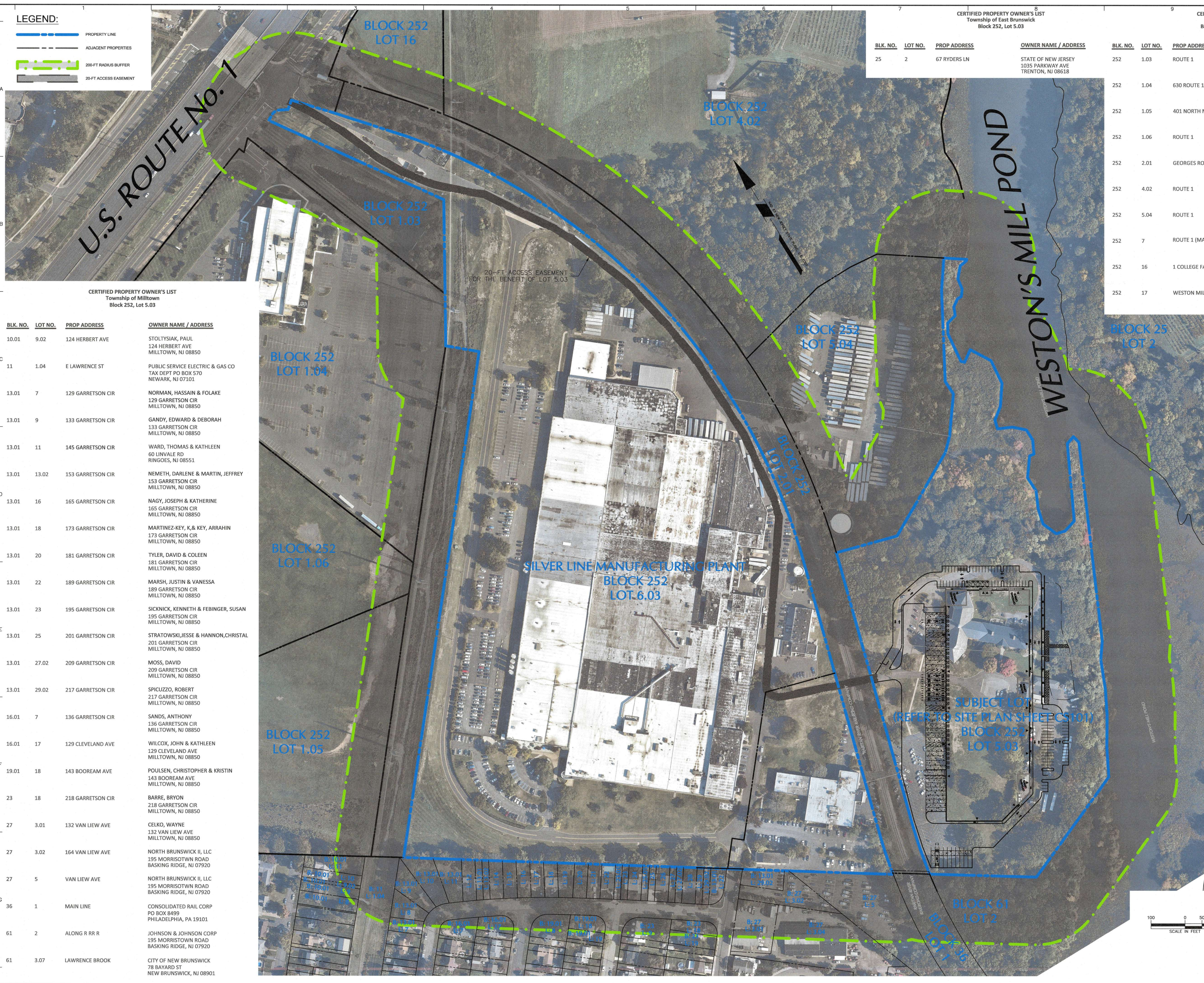
**KING ARTHUR COURT WAREHOUSE**  
BLOCK No. 252, LOT No. 5.03  
NORTH BRUNSWICK  
MIDDLESEX COUNTY NEW JERSEY  
Drawing Title

**COVER SHEET**

Project No.	Drawing No.
100851001	CS001
Date	FEBRUARY 27, 2023
Drawn By	JPNR
Checked By	PM
Sheet 1 of 22	

**LEGEND:**

- PROPERTY LINE
- ADJACENT PROPERTIES
- 200-FT RADIUS BUFFER
- 20-FT ACCESS EASEMENT



**CERTIFIED PROPERTY OWNER'S LIST**  
Township of East Brunswick  
Block 252, Lots 5.03, 6.02, & 6.03

BLK. NO.	LOT NO.	PROP ADDRESS	OWNER NAME / ADDRESS
25	2	67 RYDERS LN	STATE OF NEW JERSEY 1035 PARKWAY AVE TRENTON, NJ 08618

**CERTIFIED PROPERTY OWNER'S LIST**  
Township of North Brunswick  
Block 252, Lots 5.03, 6.02, & 6.03

BLK. NO.	LOT NO.	PROP ADDRESS	OWNER NAME / ADDRESS
252	1.03	ROUTE 1	NJ ECONOMIC DEVELOPMENT AUTHORITY ATTN: RE DIV-LEGAL POB 990 TRENTON, NJ 08625
252	1.04	630 ROUTE 1	KELLER GRAD SCHOOL C/O DEVRY 3005 HIGHLAND PARKWAY DOWNERS GROVE, IL 60515
252	1.05	401 NORTH MAIN STREET	COUNTY OF MIDDLESEX 1 JFK SQUARE PO BOX 871 NEW BRUNSWICK, NJ 08903
252	1.06	ROUTE 1	NJ ECONOMIC DEVELOPMENT AUTHORITY ATTN: RE DIV-LEGAL POB 990 TRENTON, NJ 08625
252	2.01	GEORGES ROAD	CONSOLIDATED RAIL CORP PO BOX 8499 PHILADELPHIA, PA 19101
252	4.02	ROUTE 1	RUTGERS ST UNIV %REAL EST ADMIN 33 KNIGHTSBRIDGE RD 3RD FL PISCATAWAY, NJ 08854
252	5.04	ROUTE 1	ARTKEN REALTY LLC C/O F FOLEY 195 MORRISTOWN ROAD BASKING RIDGE, NJ 07920
252	7	ROUTE 1 (MAIN)	PSE&G CORP PROP TAXES DEPT 6TH FL 80 PARK PLAZA NEWARK, NJ 07101
252	16	1 COLLEGE FARM ROAD	RUTGERS ST UNIV %REAL EST ADMIN 33 KNIGHTSBRIDGE RD 3RD FL PISCATAWAY, NJ 08854
252	17	WESTON MILL POND	NORTH BRUNSWICK TOWNSHIP 710 HERMANN ROAD NORTH BRUNSWICK, NJ 08902

**CERTIFIED PROPERTY OWNER'S LIST**  
Township of Milltown  
Block 252, Lot 5.03

BLK. NO.	LOT NO.	PROP ADDRESS	OWNER NAME / ADDRESS
10.01	9.02	124 HERBERT AVE	STOLTYSIAK, PAUL 124 HERBERT AVE MILLTOWN, NJ 08850
11	1.04	E LAWRENCE ST	PUBLIC SERVICE ELECTRIC & GAS CO TAX DEPT PO BOX 570 NEWARK, NJ 07101
13.01	7	129 GARRETSON CIR	NORMAN, HASSAIN & FOLAKE 129 GARRETSON CIR MILLTOWN, NJ 08850
13.01	9	133 GARRETSON CIR	GANDY, EDWARD & DEBORAH 133 GARRETSON CIR MILLTOWN, NJ 08850
13.01	11	145 GARRETSON CIR	WARD, THOMAS & KATHLEEN 60 LINVALE RD RINGOES, NJ 08551
13.01	13.02	153 GARRETSON CIR	NEMETH, DARLENE & MARTIN, JEFFREY 153 GARRETSON CIR MILLTOWN, NJ 08850
13.01	16	165 GARRETSON CIR	NAGY, JOSEPH & KATHERINE 165 GARRETSON CIR MILLTOWN, NJ 08850
13.01	18	173 GARRETSON CIR	MARTINEZ-KEY, K & KEY, ARRAHIN 173 GARRETSON CIR MILLTOWN, NJ 08850
13.01	20	181 GARRETSON CIR	TYLER, DAVID & COLEEN 181 GARRETSON CIR MILLTOWN, NJ 08850
13.01	22	189 GARRETSON CIR	MARSH, JUSTIN & VANESSA 189 GARRETSON CIR MILLTOWN, NJ 08850
13.01	23	195 GARRETSON CIR	SICKNICK, KENNETH & FEBINGER, SUSAN 195 GARRETSON CIR MILLTOWN, NJ 08850
13.01	25	201 GARRETSON CIR	STRATOWSKIJESSE & HANNON, CHRISTAL 201 GARRETSON CIR MILLTOWN, NJ 08850
13.01	27.02	209 GARRETSON CIR	MOSS, DAVID 209 GARRETSON CIR MILLTOWN, NJ 08850
13.01	29.02	217 GARRETSON CIR	SPICUZZO, ROBERT 217 GARRETSON CIR MILLTOWN, NJ 08850
16.01	7	136 GARRETSON CIR	SANDS, ANTHONY 136 GARRETSON CIR MILLTOWN, NJ 08850
16.01	17	129 CLEVELAND AVE	WILCOX, JOHN & KATHLEEN 129 CLEVELAND AVE MILLTOWN, NJ 08850
19.01	18	143 BOOREAM AVE	POULSEN, CHRISTOPHER & KRISTIN 143 BOOREAM AVE MILLTOWN, NJ 08850
23	18	218 GARRETSON CIR	BARRE, BRYON 218 GARRETSON CIR MILLTOWN, NJ 08850
27	3.01	132 VAN LIEW AVE	CELKO, WAYNE 132 VAN LIEW AVE MILLTOWN, NJ 08850
27	3.02	164 VAN LIEW AVE	NORTH BRUNSWICK II, LLC 195 MORRISTOWN ROAD BASKING RIDGE, NJ 07920
27	5	VAN LIEW AVE	NORTH BRUNSWICK II, LLC 195 MORRISTOWN ROAD BASKING RIDGE, NJ 07920
36	1	MAIN LINE	CONSOLIDATED RAIL CORP PO BOX 8499 PHILADELPHIA, PA 19101
61	2	ALONG R RR R	JOHNSON & JOHNSON CORP 195 MORRISTOWN ROAD BASKING RIDGE, NJ 07920
61	3.07	LAWRENCE BROOK	CITY OF NEW BRUNSWICK 78 BAYARD ST NEW BRUNSWICK, NJ 08901

- NOTES:**
- LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, INC. WETLAND SCIENTISTS DELINEATED WETLANDS AND THE TOP OF BANK ON SITE ON 03/30/2020 AND 03/24/2021.
  - WETLANDS, TOP OF BANK AND RIPARIAN ZONES DEPICTED ON THIS PLAN HAVE NOT YET BEEN VERIFIED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION (NJDEP) DIVISION OF LAND RESOURCE PROTECTION (DLRP).
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Date	Description	No.
06/15/2023	PLANNING BOARD SUBMISSION	2
06/01/2023	NJDEP APPLICATION	1

**REVISIONS**

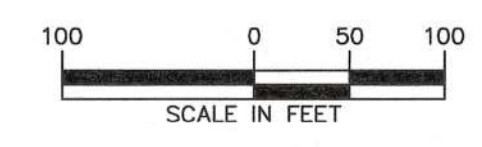
SIGNATURE: *[Signature]* DATE SIGNED: 6/16/23  
 DANIEL MIOLA  
 PROFESSIONAL ENGINEER NJ Lic. No. 24GE04676300

**LANGAN**  
 Langan Engineering and Environmental Services, Inc.  
 300 Kimball Drive  
 Parsippany, NJ 07054  
 T: 973.560.4900 F: 973.560.4901 www.langan.com  
 NJ CERTIFICATE OF AUTHORIZATION NO. 24GA27096400

**KING ARTHUR COURT WAREHOUSE**  
 Block No. 252, Lot No. 5.03  
 NORTH BRUNSWICK  
 MIDDLESEX COUNTY NEW JERSEY

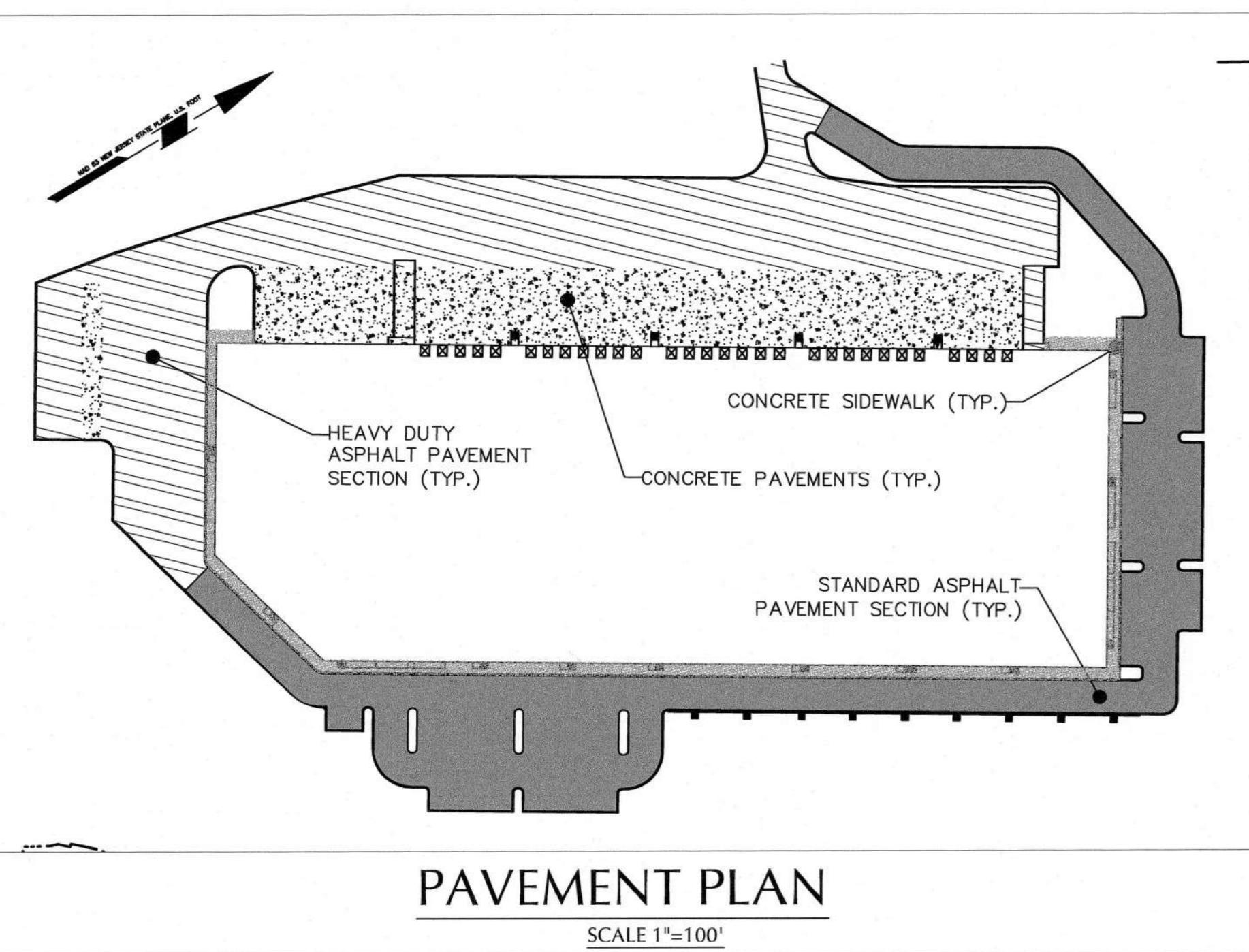
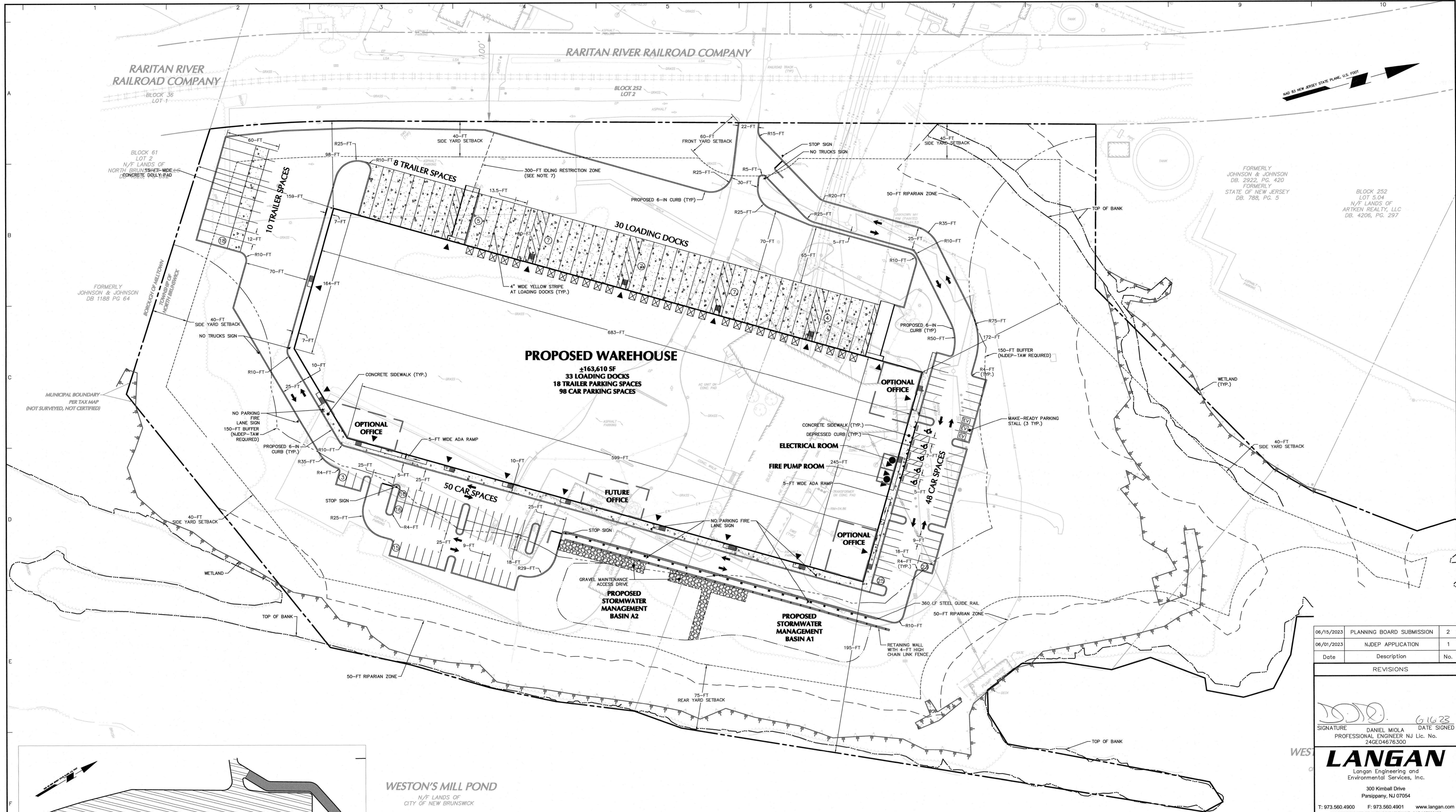
**OVERALL PROPERTY PLAN**

Project No.	100851001	Drawing No.	CB101
Date	FEBRUARY 27, 2023	Drawn By	JPNR
Checked By	PM	Sheet	2 of 22



Project No. 100851001

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**WESTON'S MILL POND**  
N/F LANDS OF  
CITY OF NEW BRUNSWICK

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- THE MERIDIAN SHOWN IS REFERENCED TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM NAD 83.
- REGULATORY NEW JERSEY FLOOD HAZARD AREA DESIGN FLOOD ELEVATION (NJFHDFE) IS BASED ON N.J.A.C. 7:13-3.4-FEMA FLUVIAL METHOD (FEMA 100-YEAR ELEVATION (EL. 26) + 3-FT)) = ELEVATION 29.0.
- REFER TO TOWNSHIP OF NORTH BRUNSWICK ORDINANCE SECTION 205-75 FOR IDLING RESTRICTION INFORMATION.

Date	Description	No.
06/15/2023	PLANNING BOARD SUBMISSION	2
06/01/2023	NJDEP APPLICATION	1

**REVISIONS**

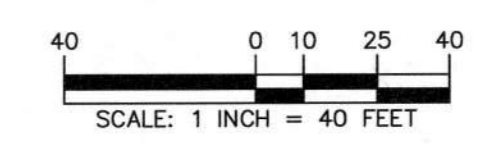
SIGNATURE: *[Signature]* DATE SIGNED: 6/16/23  
 DANIEL MIOLA  
 PROFESSIONAL ENGINEER NJ Lic. No. 24GE04676300

**LANGAN**  
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 Parsippany, NJ 07054  
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 NJ CERTIFICATE OF AUTHORIZATION NO. 24GA2799640

Project: **KING ARTHUR COURT WAREHOUSE**  
 BLOCK No. 252, LOT No. 5.03  
 NORTH BRUNSWICK  
 MIDDLESEX COUNTY NEW JERSEY

**SITE PLAN**

Project No. <b>100851001</b>	Drawing No. <b>CS101</b>
Date <b>FEBRUARY 27, 2023</b>	
Drawn By <b>JPNR</b>	
Checked By <b>PM</b>	



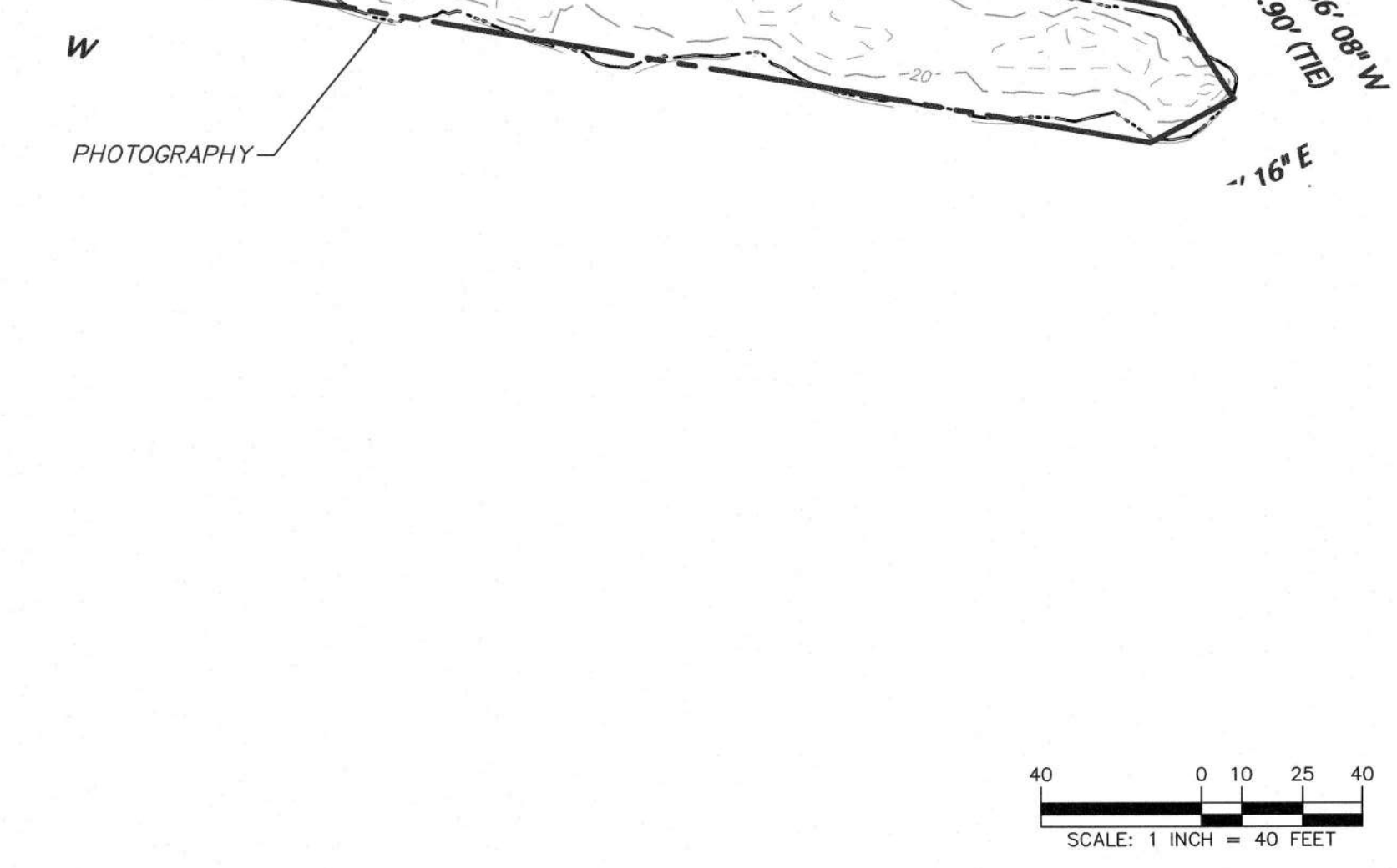


- DEMOLITION NOTES:**
- AFTER INSTALLING THE SOIL EROSION AND SEDIMENT CONTROL MEASURES SHOWN HEREON, THE CONTRACTOR SHALL DEMOLISH BUILDINGS, PAVEMENT, UTILITIES, AND OTHER FEATURES WITHIN THE LIMIT OF DISTURBANCE AS INDICATED ON THIS PLAN.
  - TREES OUTSIDE OF THE LIMIT OF DISTURBANCE SHALL NOT BE DISTURBED.
  - THE CONTRACTOR MUST ACCEPT THE SITE AS IS AND SHALL BE DEEMED TO HAVE INSPECTED THE SITE AND REVIEWED ALL CONTRACT DOCUMENTS PRIOR TO SUBMITTING A BID. THE CONTRACTOR SHALL INSPECT THE SITE THOROUGHLY AND FIELD VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. SOME UNDERGROUND UTILITIES MAY BE LOCATED DIFFERENTLY THAN SHOWN ON THIS PLAN. ALL CONTRACTORS USING THESE PLANS FOR DEMOLITION OR CONSTRUCTION SHALL CONFIRM ALL UTILITIES IN THE FIELD TO ESTABLISH LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND THE CONSTRUCTION MANAGER. CONTRACTOR SHALL PROTECT AND MAINTAIN UTILITIES AS NOTED.
  - THE CONTRACTOR SHALL CARRY OUT THE WORK OF THIS CONTRACT PLACING THE SAFETY AND PROTECTION OF THE SURROUNDING COMMUNITY AND PROPERTY AT THE HIGHEST PRIORITY. THE CONTRACTOR SHALL ENSURE FREE AND SAFE PASSAGE OF PERSONS AROUND THE AREA OF THE DEMOLITION AS DIRECTED BY THE GOVERNING AGENCIES AND THE OWNER. ALL OPERATIONS SHALL BE CONDUCTED SO AS TO PREVENT DAMAGE TO ADJACENT BUILDINGS, STRUCTURES, AND OTHER FACILITIES AND INJURY TO PERSONS, BOTH PEDESTRIAN AND WORKERS ALIKE. THE CONSULTANT DOES NOT HAVE THE RIGHT TO STOP DEMOLITION ACTIVITIES. SUCH DIRECTION MUST COME FROM THE OWNER.
  - THE CONTRACTOR SHALL INSTALL AND MAINTAIN CONSTRUCTION SIGNAGE AND ASSOCIATED TRAFFIC MEASURES. THE CONTRACTOR SHALL FOLLOW THE WORK ZONE SAFETY GUIDELINES FOR CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS REQUIRED BY THE TOWNSHIP OF NORTH BRUNSWICK.
  - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING THE SECURITY OF THE PROJECT SITE AT ALL TIMES.
  - THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL UTILITIES, WHETHER SHOWN OR NOT ON THE CONTRACT DRAWING, AND SHALL ABANDON, REMOVE, OR PROTECT THE UTILITIES AS INDICATED HEREON OR AS DIRECTED BY THE OWNER, SUBCONSULTANT, OR INTERESTED UTILITY COMPANY.
  - THE CONTRACTOR SHALL VERIFY THAT A SOIL EROSION AND SEDIMENT CONTROL PERMIT HAS BEEN OBTAINED FOR DEMOLITION ACTIVITIES. CONTRACTOR SHALL COMPLY WITH THE CONDITIONS THEREON BY INSTALLING AND MAINTAINING ALL SSC MEASURES AND MAKING THE REQUIRED NOTIFICATIONS.
  - PRIOR TO DEMOLITION, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL CONTENTS OF THE BUILDINGS TO BE DEMOLISHED INCLUDING, BUT NOT NECESSARILY LIMITED TO, FURNISHINGS, MECHANICAL EQUIPMENT, RESERVOIR TANKS, PLUMBING FIXTURES, FURNITURE, CABINETS, ETC.
  - PRIOR TO DEMOLITION, THE CONTRACTOR SHALL VERIFY THAT THE UTILITY SERVICES TO BE DEMOLISHED WILL NOT AFFECT OTHER SERVICES OUTSIDE THE CONTRACT LIMIT.
  - CONTRACTOR SHALL CONFIRM ALL UTILITIES ARE INACTIVE PRIOR TO ANY DISCONNECTS.
  - PRIOR TO DEMOLITION, THE CONTRACTOR SHALL DISCONNECT AND CAP/TERMINATE AT THE UTILITY MAIN ALL BUILDING SERVICES, E.G. WATER, SEWER, GAS, ELECTRIC, TELEPHONE, ETC. (UNLESS OTHERWISE NOTED) IN ACCORDANCE WITH ALL LOCAL REGULATION AND UTILITY COMPANY REQUIREMENTS. THIS WORK SHALL INCLUDE COORDINATION WITH UTILITY COMPANIES.
  - THE CONTRACTOR SHALL DEMOLISH AND REMOVE THE BUILDINGS INDICATED ON THE PLAN INCLUDING ALL FLOOR SLABS, PITS, WALLS, FOOTINGS, GRADE BEAMS, COLUMNS, UTILITIES ETC. ALL VOIDS REMAINING FROM THE REMOVAL OF SUBSURFACE ELEMENTS SHALL BE BACKFILLED WITH COMPACTED MATERIAL IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS.
  - ALL EXISTING SITE ELEMENTS SLATED FOR DEMOLITION SHALL BE REMOVED IN THEIR ENTIRETY WITHIN THE CONTRACT LIMITS UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL PERFORM ALL DEMOLITION ACTIVITIES IN ACCORDANCE WITH THE APPLICABLE PERMITS FOR THE SITE. CONTRACTOR SHALL REVIEW ENVIRONMENTAL REPORTS AND DOCUMENTS RELATED TO THE SITE.
  - CONTRACTOR TO VERIFY THAT ALL ENVIRONMENTAL CONCERNS (ASBESTOS, LEAD BASED PAINT, HAZMAT MATERIALS, UNDERGROUND STORAGE TANKS, TRANSFORMERS, ETC.) HAVE BEEN REMOVED PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES. THESE POTENTIAL CONCERNS ARE NOT SHOWN ON THIS PLAN.
  - CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT RIGHT-OF-WAYS AND ADJACENT PROPERTIES CLEAN DURING DEMOLITION.
  - THE DEMOLITION CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGES RESULTING FROM THE DEMOLITION CONTRACTOR'S FAILURE TO DO SO SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE DEMOLITION CONTRACTOR'S EXPENSE. THE DEMOLITION CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY TEST PIT OR OTHER MEANS PRIOR TO DEMOLITION IN THE VICINITY OF THE UTILITIES.

- NOTES:**
- LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, INC. WETLAND SCIENTISTS DELINEATED WETLANDS AND THE TOP OF BANK ON-SITE ON 03/30/2020 AND 03/24/2021.
  - WETLANDS, TOP OF BANK AND RIPARIAN ZONES DEPICTED ON THIS PLAN HAVE NOT YET BEEN VERIFIED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION (NJDEP) DIVISION OF LAND RESOURCE PROTECTION (DLRP).
  - TOPOGRAPHIC AND UTILITY INFORMATION SHOWN HEREON IS BASED ON "BOUNDARY AND PARTIAL SURVEY" BY LANGAN ENGINEERING, DATED 15 DECEMBER 2022. THIS INFORMATION IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. ALL EXISTING CONDITIONS SHALL BE VERIFIED PRIOR TO THE COMMENCING OF WORK. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER OF RECORD.
  - ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
  - THE MERIDIAN SHOWN IS REFERENCED TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM NAD 83.

**LEGEND**

- STRUCTURE TO BE REMOVED
- GRAVEL TO BE REMOVED
- PAVEMENT TO BE REMOVED
- EXISTING CURBS/FENCE TO BE REMOVED
- UTILITY AND STORM PIPE TO BE REMOVED
- ITEM TO BE REMOVED (TREE, LIGHT POLE, VALVE, ETC.)
- LIMIT OF DISTURBANCE



06/15/2023	PLANNING BOARD SUBMISSION	2
06/01/2023	NJDEP APPLICATION	1
Date	Description	No.

**REVISIONS**

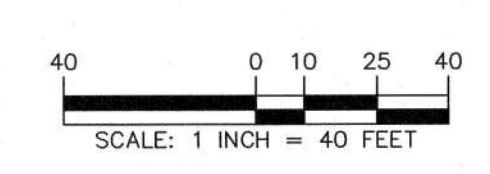
DATE SIGNED	6/16/23
SIGNATURE	DANIEL MIOLA
PROFESSIONAL ENGINEER NJ Lic. No.	24GE04676300

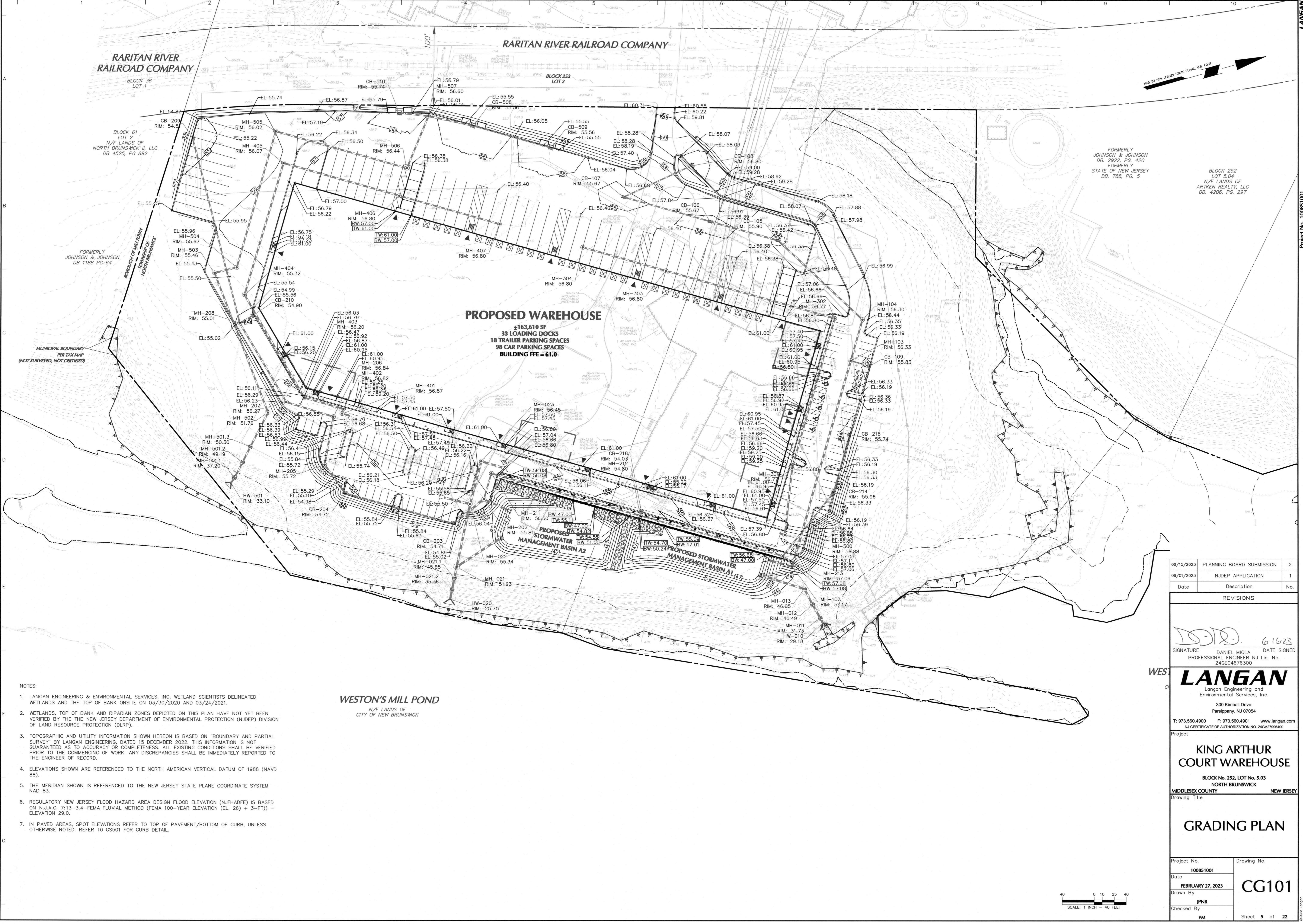
**LANGAN**  
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 300 Kimball Drive  
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 T: 973.560.4900 F: 973.560.4901 www.langan.com  
 NJ CERTIFICATE OF AUTHORIZATION NO. 24GAZ7996400

**KING ARTHUR COURT WAREHOUSE**  
 BLOCK No. 252, LOT No. 5.03  
 NORTH BRUNSWICK  
 MIDDLESEX COUNTY NEW JERSEY

**DEMOLITION PLAN**

Project No.	100851001	Drawing No.	CD101
Date	FEBRUARY 27, 2023	Drawn By	JPNR
Checked By	JPNR	Sheet	4 of 22





- NOTES:
- LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, INC. WETLAND SCIENTISTS DELINEATED WETLANDS AND THE TOP OF BANK ON SITE ON 03/30/2020 AND 03/24/2021.
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  - ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
  - THE MERIDIAN SHOWN IS REFERENCED TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM NAD 83.
  - REGULATORY NEW JERSEY FLOOD HAZARD AREA DESIGN FLOOD ELEVATION (NJFHDFE) IS BASED ON N.J.A.C. 7-13-3.4-FEMA FLUVIAL METHOD (FEMA 100-YEAR ELEVATION (EL. 26) + 3-FIT) = ELEVATION 29.0.
  - IN PAVED AREAS, SPOT ELEVATIONS REFER TO TOP OF PAVEMENT/BOTTOM OF CURB, UNLESS OTHERWISE NOTED. REFER TO CSS01 FOR CURB DETAIL.

**WESTON'S MILL POND**  
N/F LANDS OF  
CITY OF NEW BRUNSWICK

Date	Description	No.
06/15/2023	PLANNING BOARD SUBMISSION	2
06/01/2023	NJDEP APPLICATION	1

REVISIONS

SIGNATURE: *[Signature]* 6-16-23  
DATE SIGNED: 6-16-23  
PROFESSIONAL ENGINEER NJ Lic. No. 24GE04676300

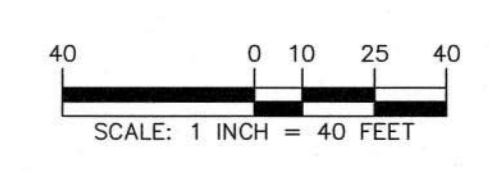
**WEST LANGAN**  
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NJ CERTIFICATE OF AUTHORIZATION NO. 24G42789469

Project: **KING ARTHUR COURT WAREHOUSE**  
BLOCK No. 252, LOT No. 5.03  
NORTH BRUNSWICK  
MIDDLESEX COUNTY NEW JERSEY  
Drawing Title

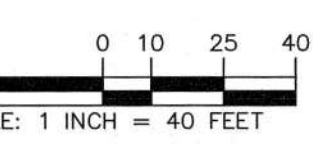
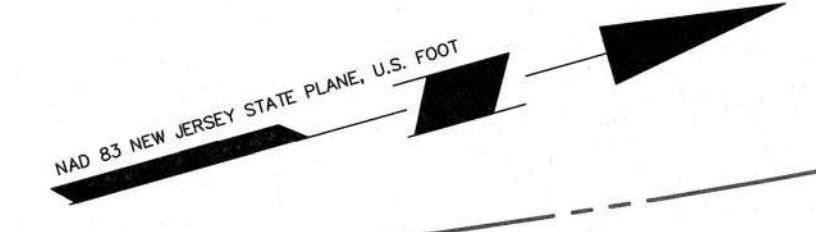
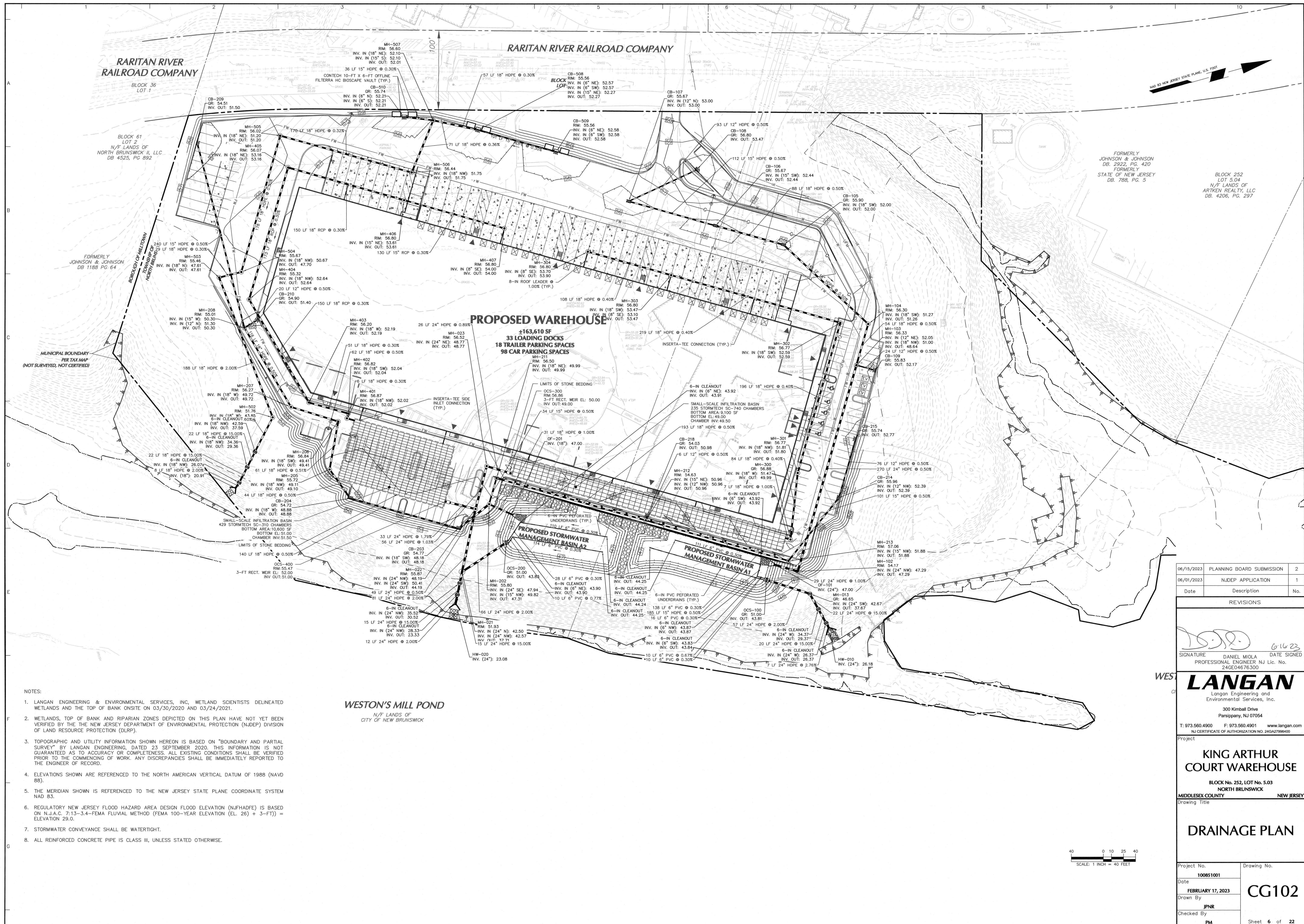
**GRADING PLAN**

Project No. 100851001 Drawing No. CG101  
Date FEBRUARY 27, 2023  
Drawn By JPNR  
Checked By PM

Sheet 5 of 22



Project No. 100851001



- NOTES:
- LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, INC. WETLAND SCIENTISTS DELINEATED WETLANDS AND THE TOP OF BANK ON SITE ON 03/30/2020 AND 03/24/2021.
  - WETLANDS, TOP OF BANK AND RIPARIAN ZONES DEPICTED ON THIS PLAN HAVE NOT YET BEEN VERIFIED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION (NJDEP) DIVISION OF LAND RESOURCE PROTECTION (DLRP).
  - TOPOGRAPHIC AND UTILITY INFORMATION SHOWN HEREON IS BASED ON "BOUNDARY AND PARTIAL SURVEY" BY LANGAN ENGINEERING, DATED 23 SEPTEMBER 2020. THIS INFORMATION IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. ALL EXISTING CONDITIONS SHALL BE VERIFIED PRIOR TO THE COMMENCING OF WORK. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER OF RECORD.
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  - THE MERIDIAN SHOWN IS REFERENCED TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM NAD 83.
  - REGULATORY NEW JERSEY FLOOD HAZARD AREA DESIGN FLOOD ELEVATION (NJFHDFE) IS BASED ON N.J.A.C. 7-13-3.4-FEMA FLUVIAL METHOD (FEA 100-YEAR ELEVATION (EL. 26) + 3-FT)) = ELEVATION 29.0.
  - STORMWATER CONVEYANCE SHALL BE WATERTIGHT.
  - ALL REINFORCED CONCRETE PIPE IS CLASS III, UNLESS STATED OTHERWISE.

**WESTON'S MILL POND**  
N/F LANDS OF  
CITY OF NEW BRUNSWICK

Date	Description	No.
06/15/2023	PLANNING BOARD SUBMISSION	2
06/01/2023	NJDEP APPLICATION	1

REVISIONS

SIGNATURE: *[Signature]* 6/16/23  
 DANIEL MIOLA DATE SIGNED  
 PROFESSIONAL ENGINEER NJ Lic. No. 24GE04676300

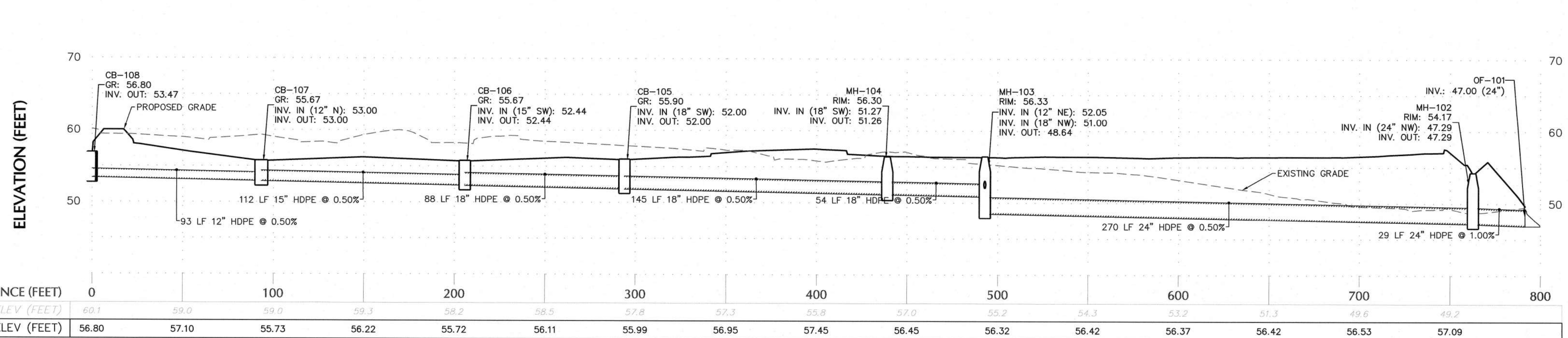
**LANGAN**  
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 300 Kimball Drive  
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 T: 973.560.4900 F: 973.560.4901 www.langan.com  
 NJ CERTIFICATE OF AUTHORIZATION NO. 24G42796460

Project  
**KING ARTHUR COURT WAREHOUSE**  
 BLOCK No. 252, LOT No. 5.03  
 NORTH BRUNSWICK  
 MIDDLESEX COUNTY NEW JERSEY  
 Drawing Title

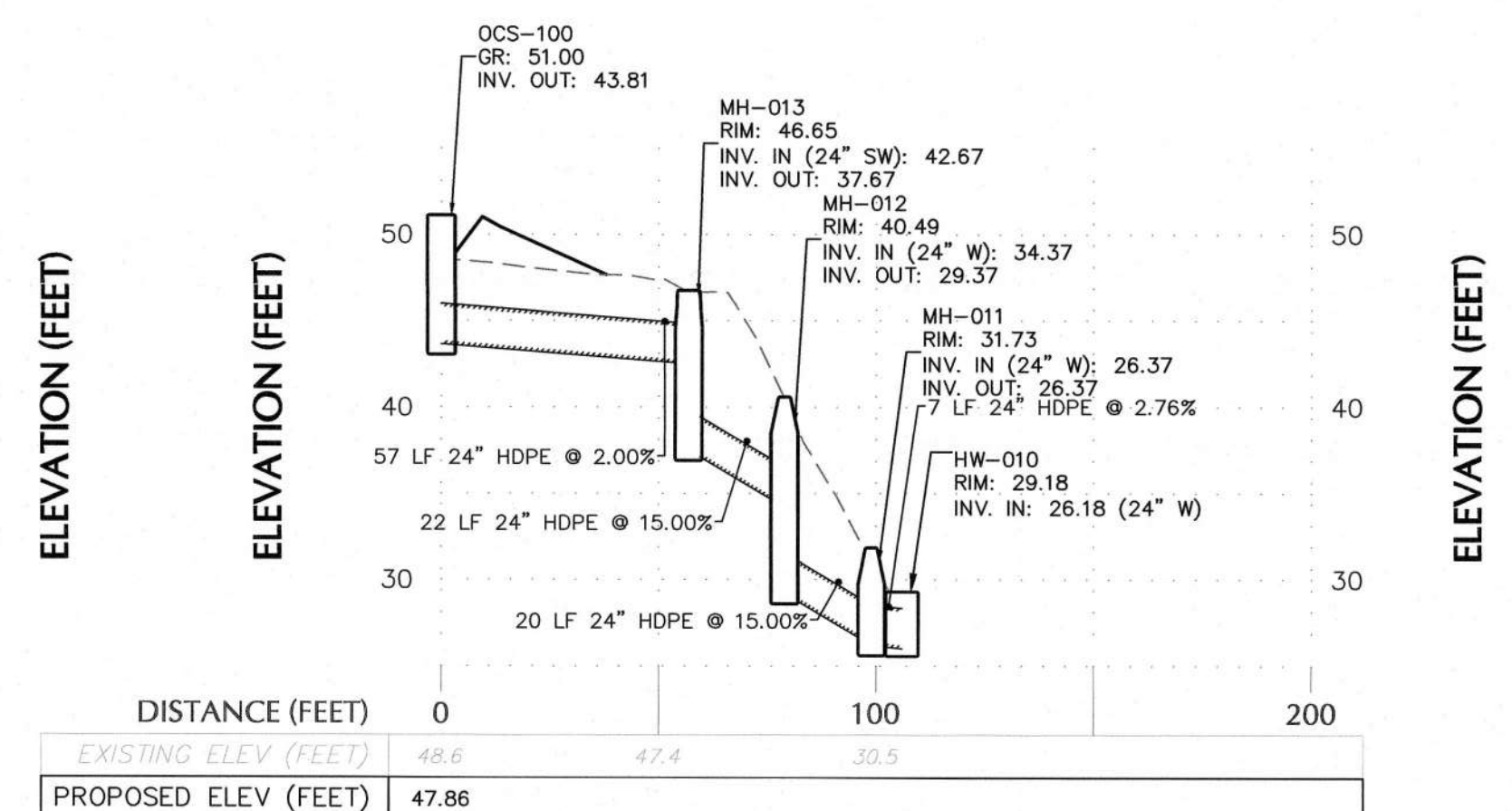
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Project No. <b>100851001</b>	Drawing No.
Date <b>FEBRUARY 17, 2023</b>	<b>CG102</b>
Drawn By <b>JPNR</b>	
Checked By <b>PM</b>	Sheet <b>6</b> of <b>22</b>

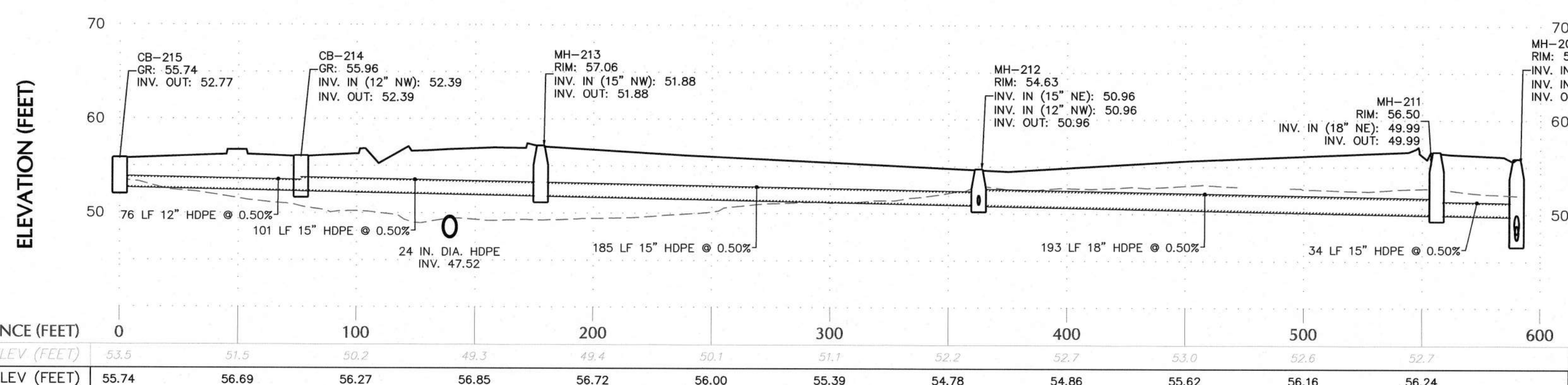
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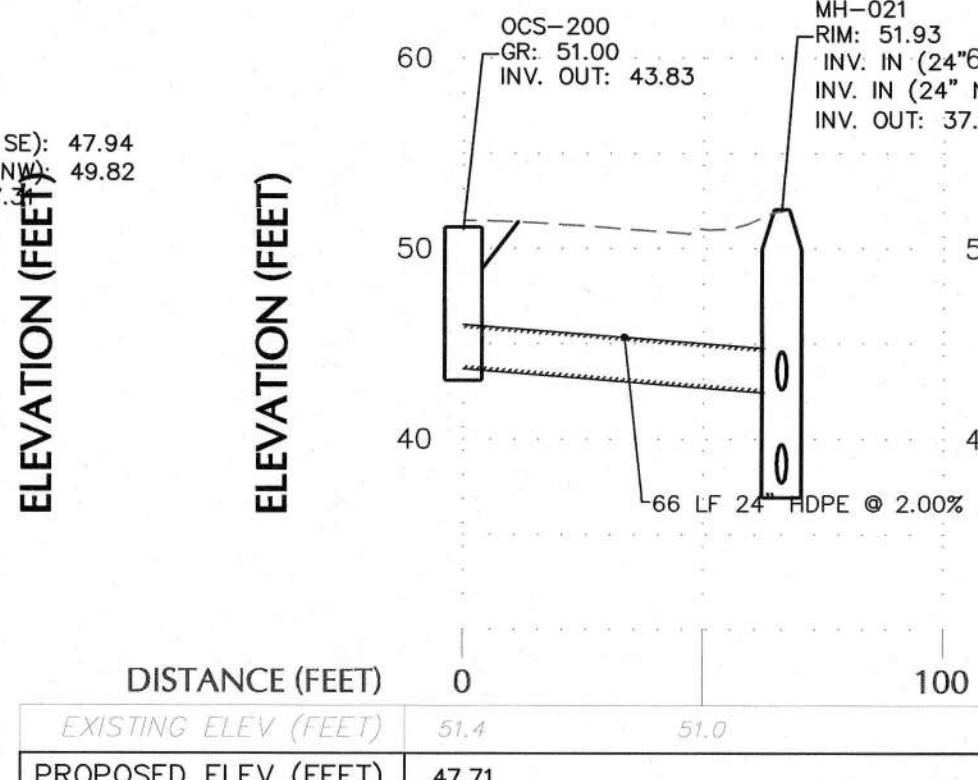
**DRAINAGE PROFILE  
(CB-108 TO OF-101)**



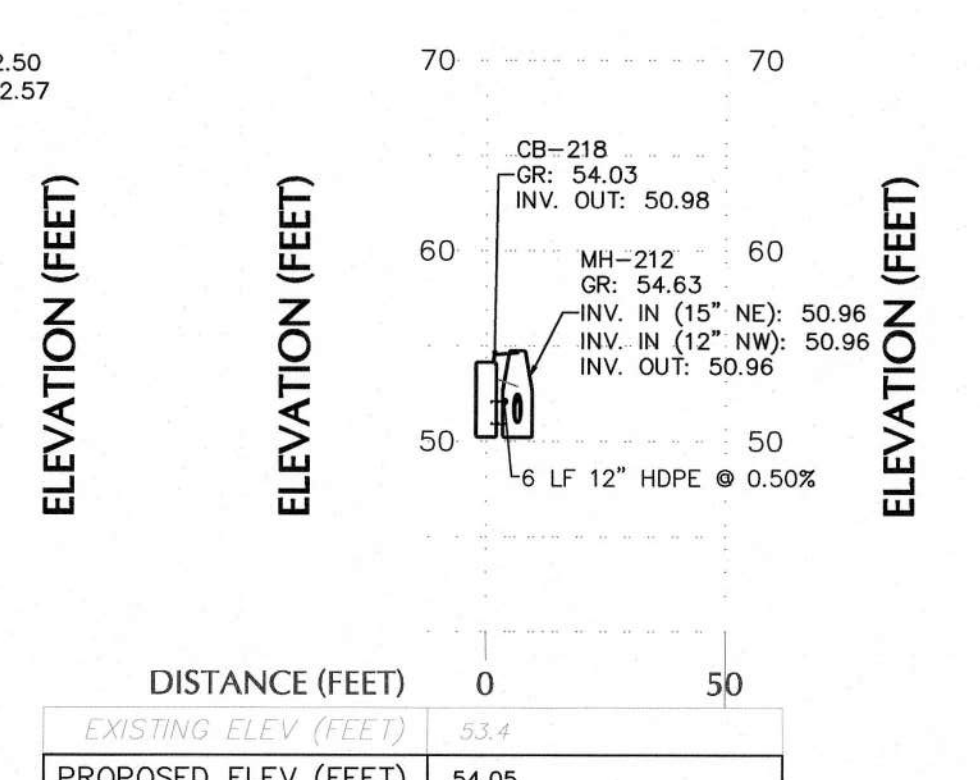
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(OCS-100 TO HW-010)**



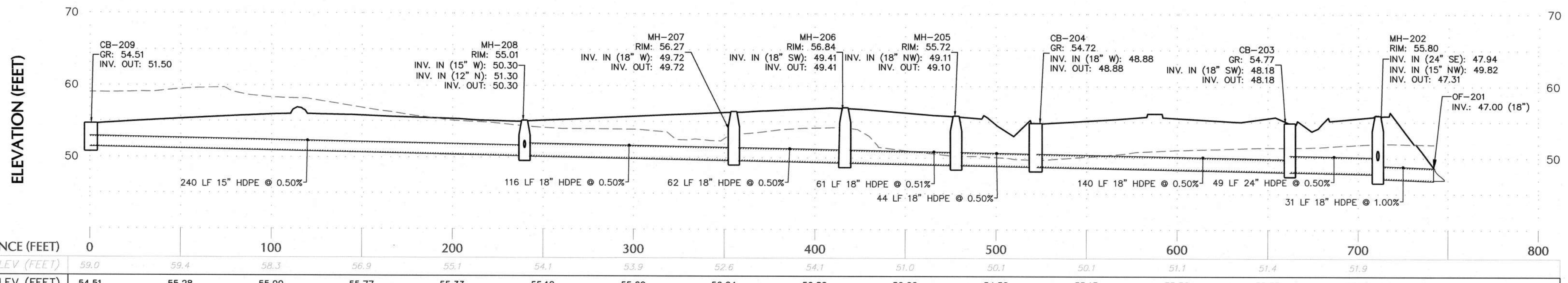
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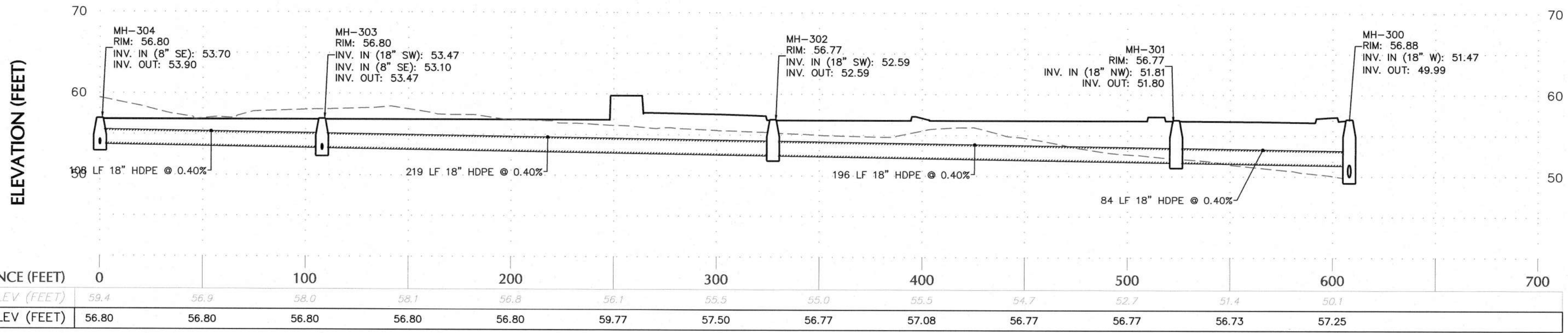
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(OCS-200 TO MH-021)**



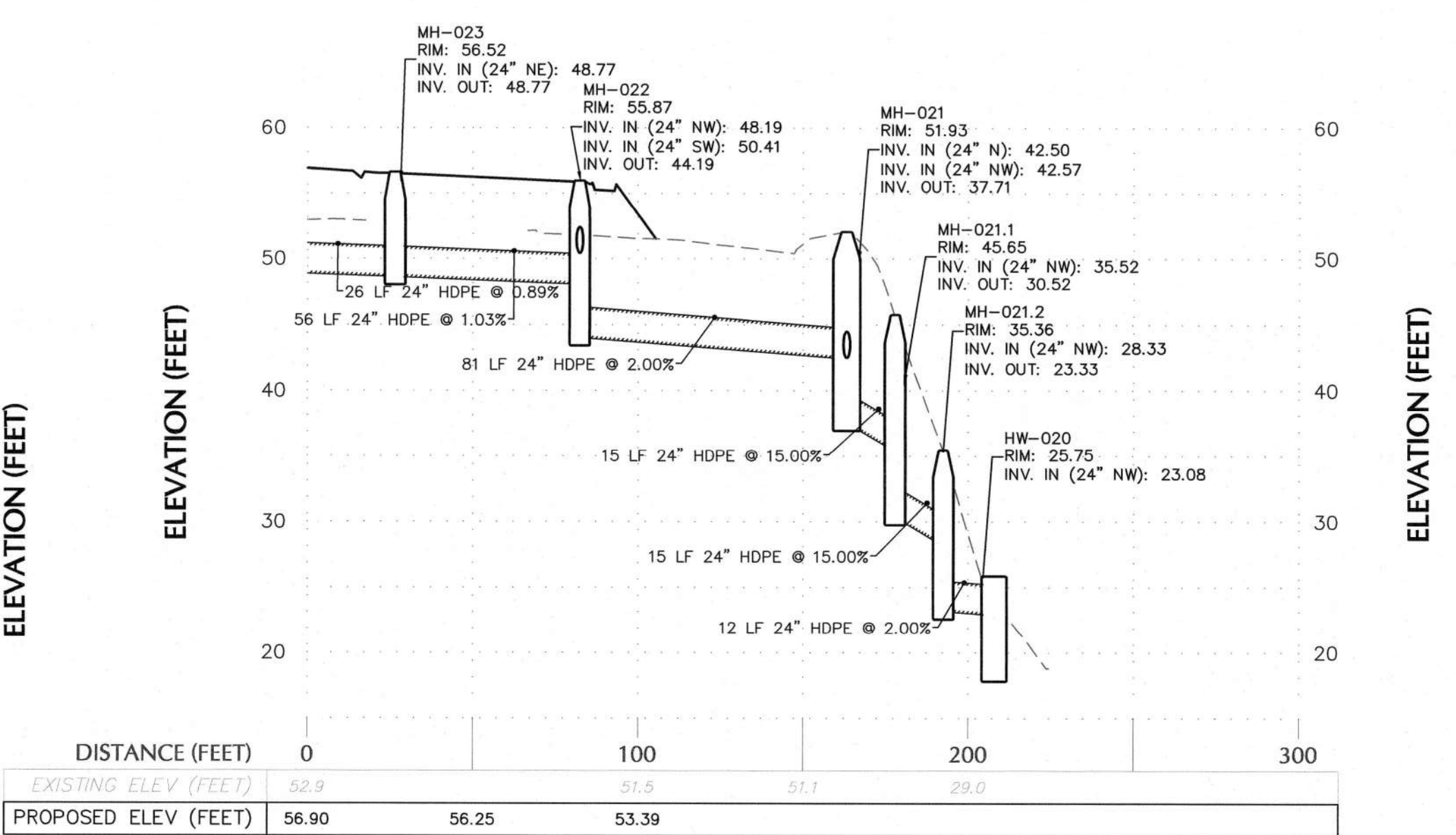
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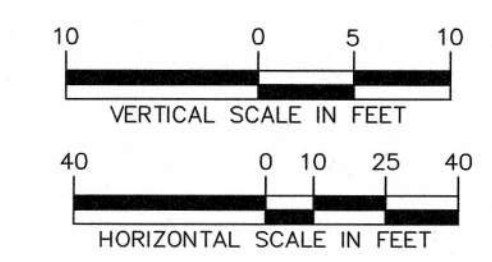
**DRAINAGE PROFILE  
(CB-209 TO OF-201)**



**DRAINAGE PROFILE  
(MH-304 TO MH 300)**

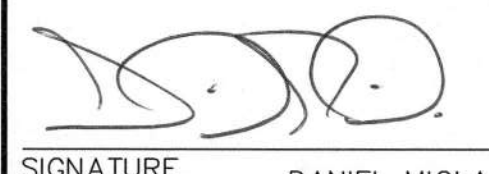


**DRAINAGE PROFILE  
(OCS-300 TO HW-020)**



Date	Description	No.
06/15/2023	PLANNING BOARD SUBMISSION	2
06/01/2023	N.JDEP APPLICATION	1

**REVISIONS**

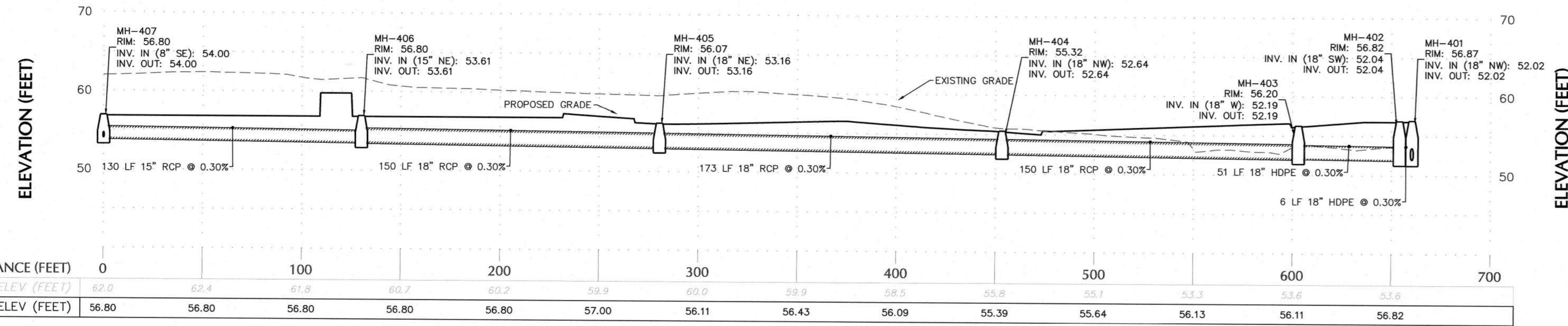

  
 SIGNATURE: DANIEL MIOLA DATE SIGNED: 6/16/23  
 PROFESSIONAL ENGINEER NJ Lic. No. 24GE04676300

**LANGAN**  
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 NJ CERTIFICATE OF AUTHORIZATION NO. 24GA2796400

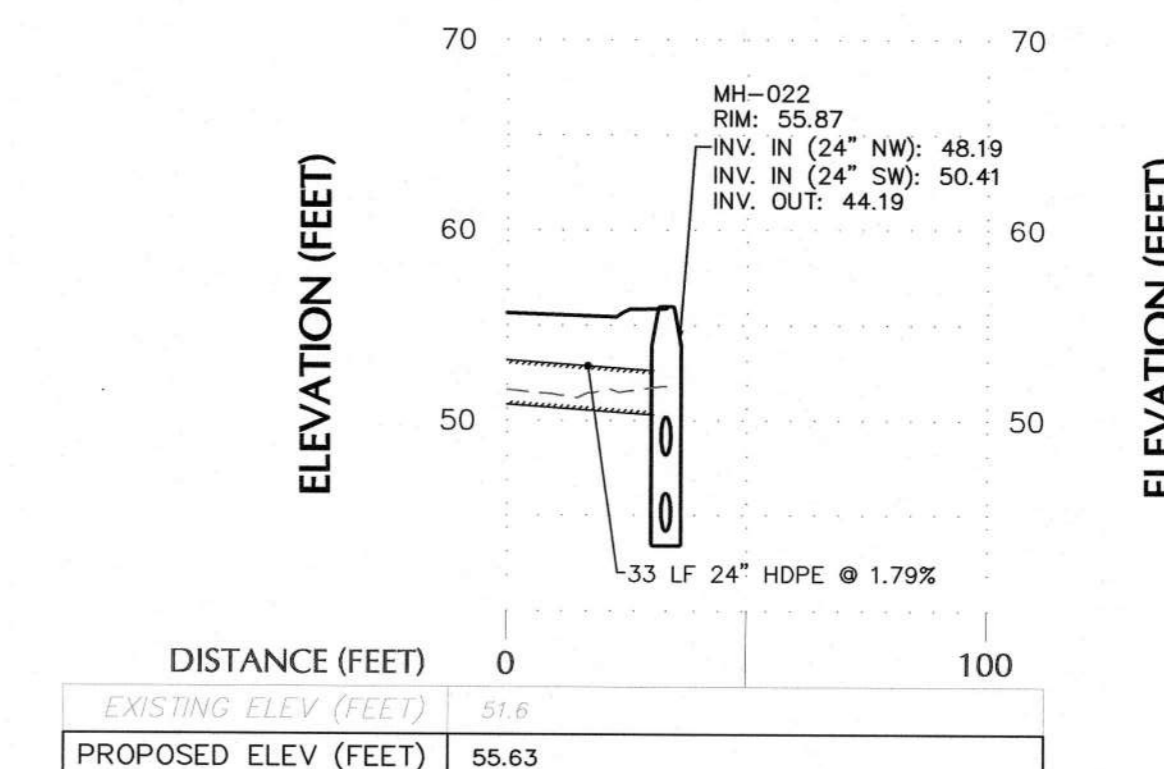
**KING ARTHUR COURT WAREHOUSE**  
 BLOCK No. 252, LOT No. 5.03  
 NORTH BRUNSWICK NEW JERSEY  
 Drawing Title

**STORM PROFILES 1**

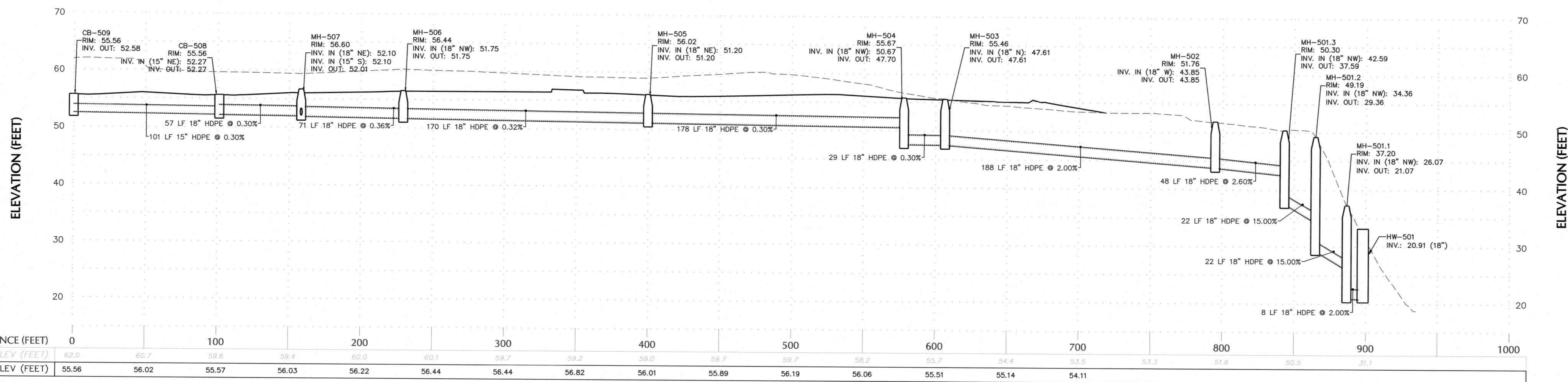
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Date <b>FEBRUARY 27, 2023</b>	
Drawn By <b>JPNR</b>	
Checked By <b>PM</b>	
	Sheet <b>7</b> of <b>22</b>



**DRAINAGE PROFILE  
(MH-407 TO MH-401)**




**DRAINAGE PROFILE  
(OCS-400 TO MH-022)**



**DRAINAGE PROFILE  
(MH-509 TO HW-501)**

06/15/2023	PLANNING BOARD SUBMISSION	2
06/01/2023	NJDEP APPLICATION	1
Date	Description	No.

REVISIONS


  
 SIGNATURE: DANIEL MIOLA DATE SIGNED: 6/16/23  
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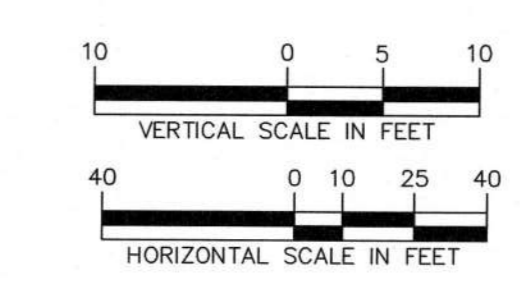
**LANGAN**  
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 300 Kimball Drive  
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Project  
**KING ARTHUR COURT WAREHOUSE**  
 BLOCK No. 252, LOT No. 5.03  
 NORTH BRUNSWICK  
 MIDDLESEX COUNTY NEW JERSEY

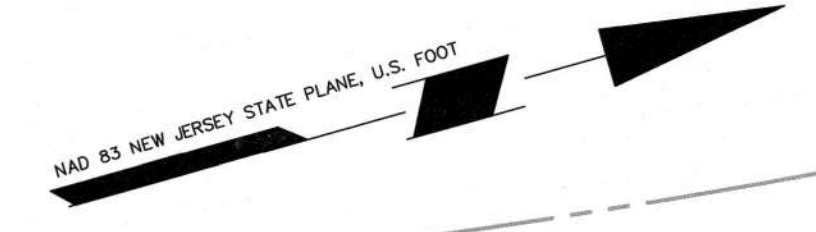
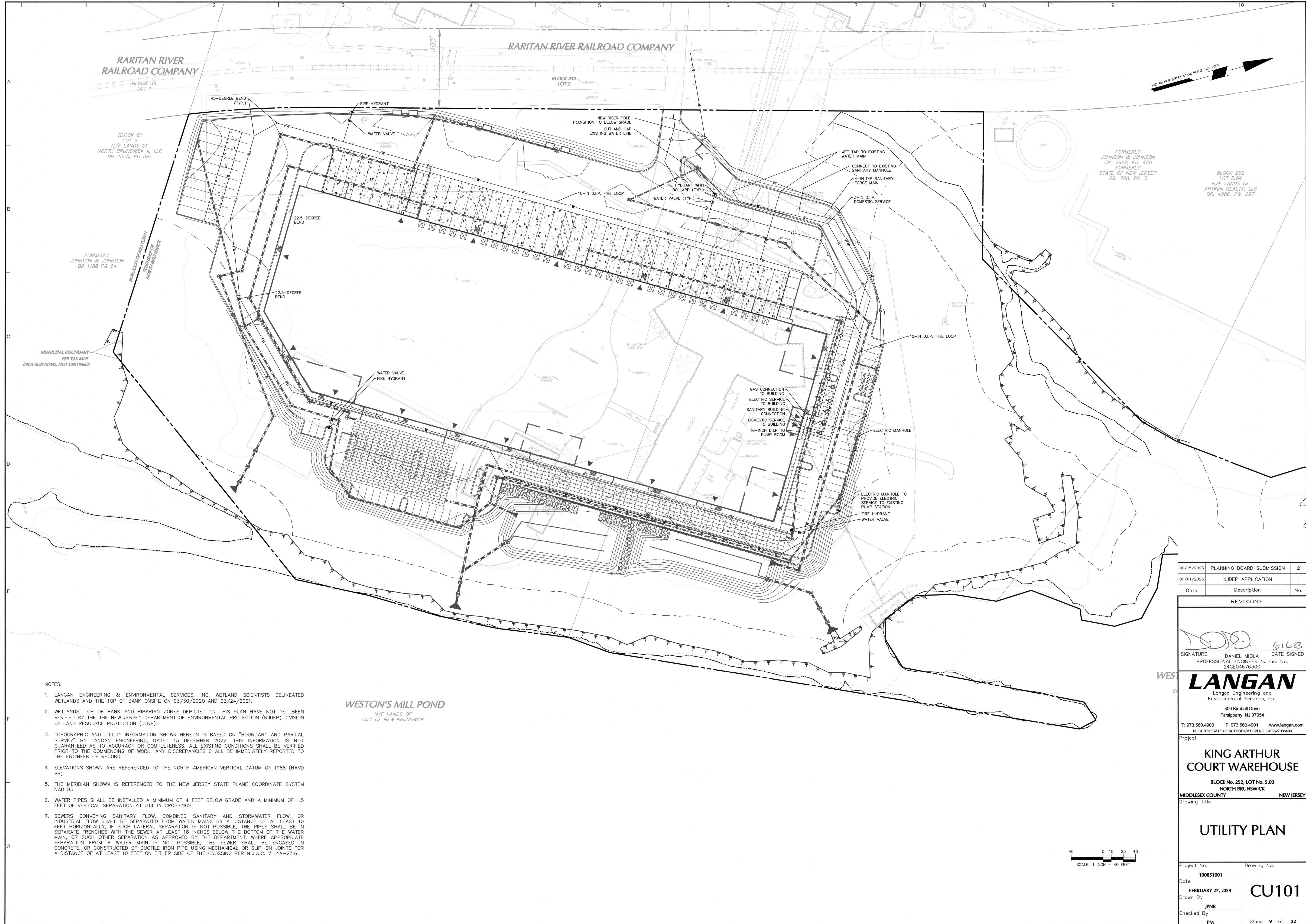
Drawing Title

**STORM PROFILES 2**

Project No.	Drawing No.
100851001	CG201
Date	FEBRUARY 27, 2023
Drawn By	JPNR
Checked By	PM
Sheet 8 of 22	

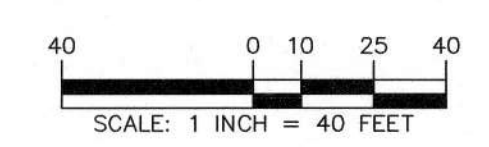






- NOTES:
- LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, INC., WETLAND SCIENTISTS DELINEATED WETLANDS AND THE TOP OF BANK ONSITE ON 03/30/2020 AND 03/24/2021.
  - WETLANDS, TOP OF BANK AND RIPARIAN ZONES DEPICTED ON THIS PLAN HAVE NOT YET BEEN VERIFIED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION (NJDEP) DIVISION OF LAND RESOURCE PROTECTION (DLRP).
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  - ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
  - THE MERIDIAN SHOWN IS REFERENCED TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM NAD 83.
  - WATER PIPES SHALL BE INSTALLED A MINIMUM OF 4 FEET BELOW GRADE AND A MINIMUM OF 1.5 FEET OF VERTICAL SEPARATION AT UTILITY CROSSINGS.
  - SEWERS CONVEYING SANITARY FLOW, COMBINED SANITARY AND STORMWATER FLOW, OR INDUSTRIAL FLOW SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY, IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE DEPARTMENT, WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING PER N.J.A.C. 7:14A-23.6.

WESTON'S MILL POND  
N/F LANDS OF  
CITY OF NEW BRUNSWICK



Date	Description	No.
06/15/2023	PLANNING BOARD SUBMISSION	2
06/01/2023	NJDEP APPLICATION	1

REVISIONS

SIGNATURE:  DATE SIGNED: 6/16/23  
 DANIEL MIOLA  
 PROFESSIONAL ENGINEER - NJ Lic. No. 246E04676300

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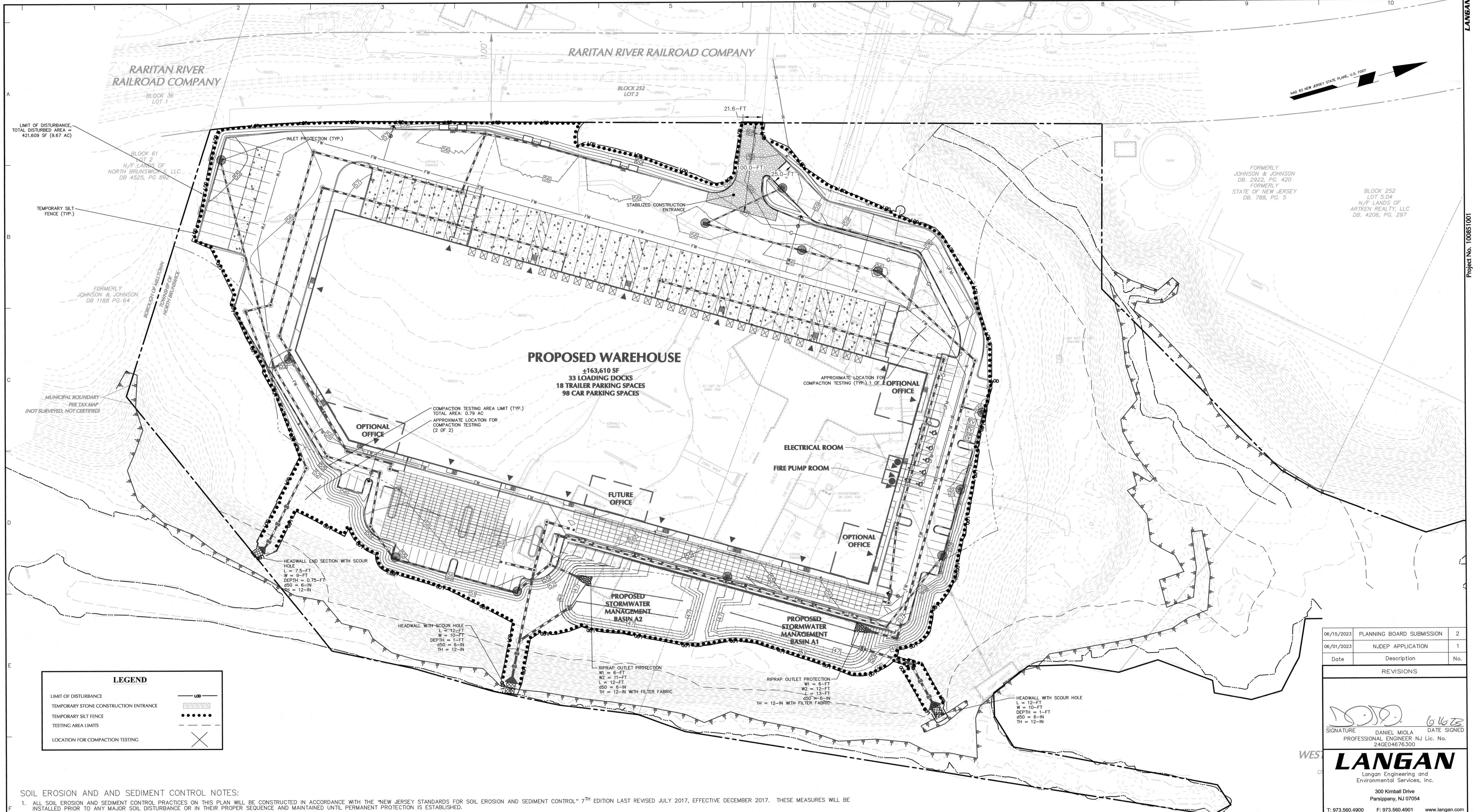
Project  
**KING ARTHUR COURT WAREHOUSE**  
 BLOCK No. 252, LOT No. 5.03  
 NORTH BRUNSWICK  
 MIDDLESEX COUNTY NEW JERSEY  
 Drawing Title

**UTILITY PLAN**

Project No. <b>100851001</b>	Drawing No. <b>CU101</b>
Date <b>FEBRUARY 27, 2023</b>	
Drawn By <b>JPNR</b>	
Checked By <b>PM</b>	

Sheet 9 of 22

Project No. 100851001

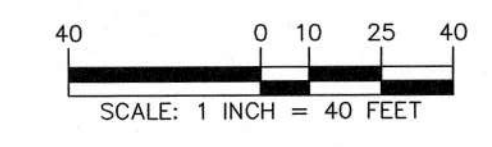


**SOIL EROSION AND AND SEDIMENT CONTROL NOTES:**

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL" 7<sup>TH</sup> EDITION LAST REVISED JULY 2017, EFFECTIVE DECEMBER 2017. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, MAY BE REQUIRED TO BE TEMPORARILY MULCHED, AND SEEDED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER AS PER APPENDIX A3. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED.
- SEEDING DATES: THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE FREEHOLD: SPRING - 3/1-5/15 AND FALL - 8/15 - 10/1
- SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED
- ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
- MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
- ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
- THE FREEHOLD SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES.
- THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY, NJ - DCA OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT 732-683-9140 TO REQUEST A FINAL INSPECTION, GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SLUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS.
- ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SODDING OR PLANTING. A DEPTH OF 5.0 INCHES, FIRMED IN PLACE, IS REQUIRED, AS PER THE STANDARDS FOR TOPSOILING AND LAND GRADING, EFFECTIVE DECEMBER 2017.
- ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
- A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 1/2" - 1" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
- STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIAL" MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
- THE FREEHOLD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED, IN WRITING, FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNERS' INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEEMED NECESSARY BY DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.

**NOTES:**

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- THE MERIDIAN SHOWN IS REFERENCED TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM NAD 83.
- REGULATORY NEW JERSEY FLOOD HAZARD AREA DESIGN FLOOD ELEVATION (NJFHADFE) IS BASED ON N.J.A.C. 7:13-3.4-FEMA FLUVIAL METHOD (FEMA 100-YEAR ELEVATION (EL. 26) + 1-FT)) = ELEVATION 27.0.



Date	Description	No.
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**REVISIONS**

SIGNATURE: DATE SIGNED: 6/16/23  
 DANIEL MIOLA  
 PROFESSIONAL ENGINEER NJ Lic. No. 24GE04676300

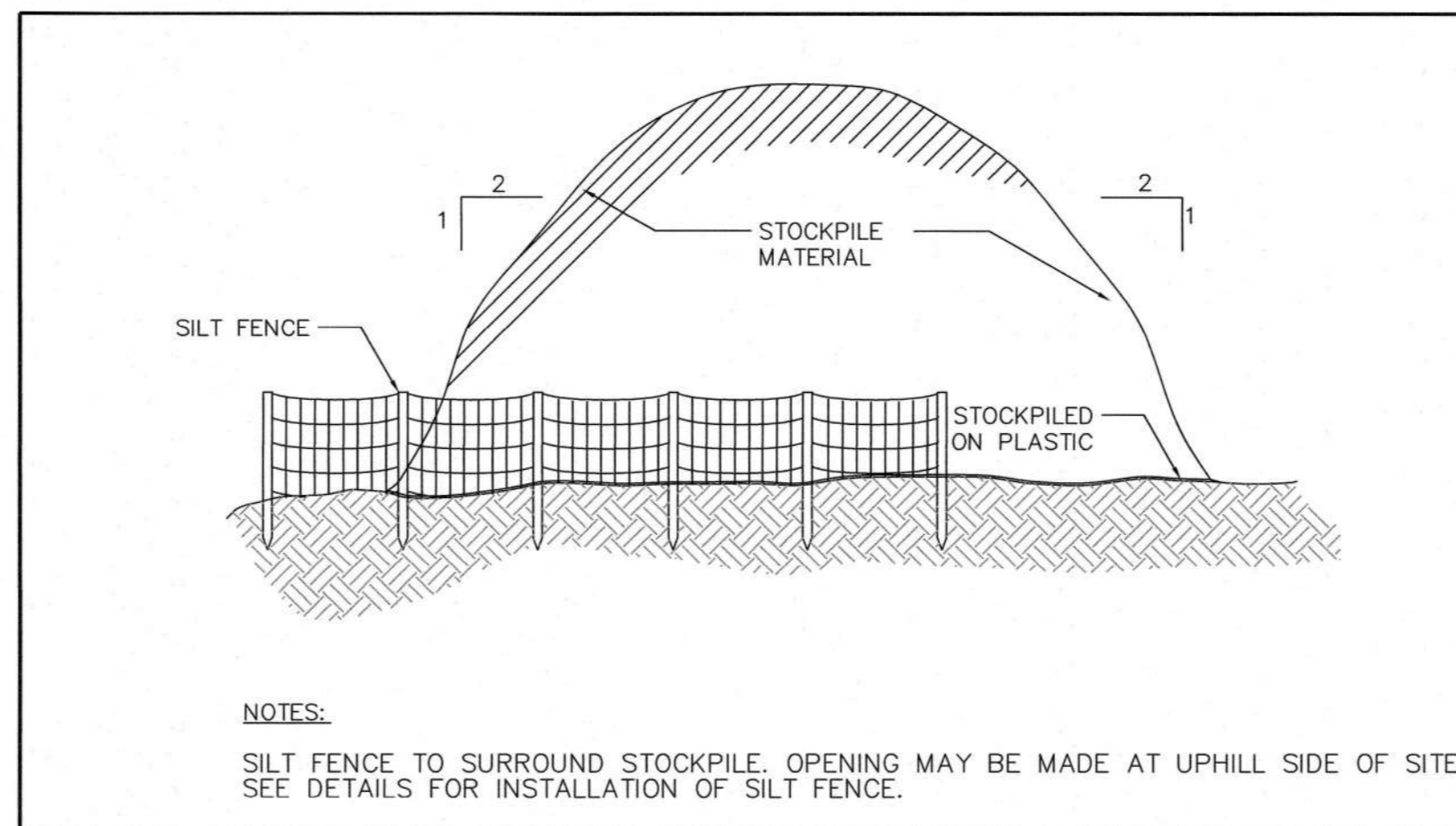
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 NJ CERTIFICATE OF AUTHORIZATION NO. 24G027996400

**KING ARTHUR COURT WAREHOUSE**  
 BLOCK No. 252, LOT No. 5.03  
 NORTH BRUNSWICK  
 MIDDLESEX COUNTY NEW JERSEY

**SOIL EROSION & SEDIMENT CONTROL PLAN**

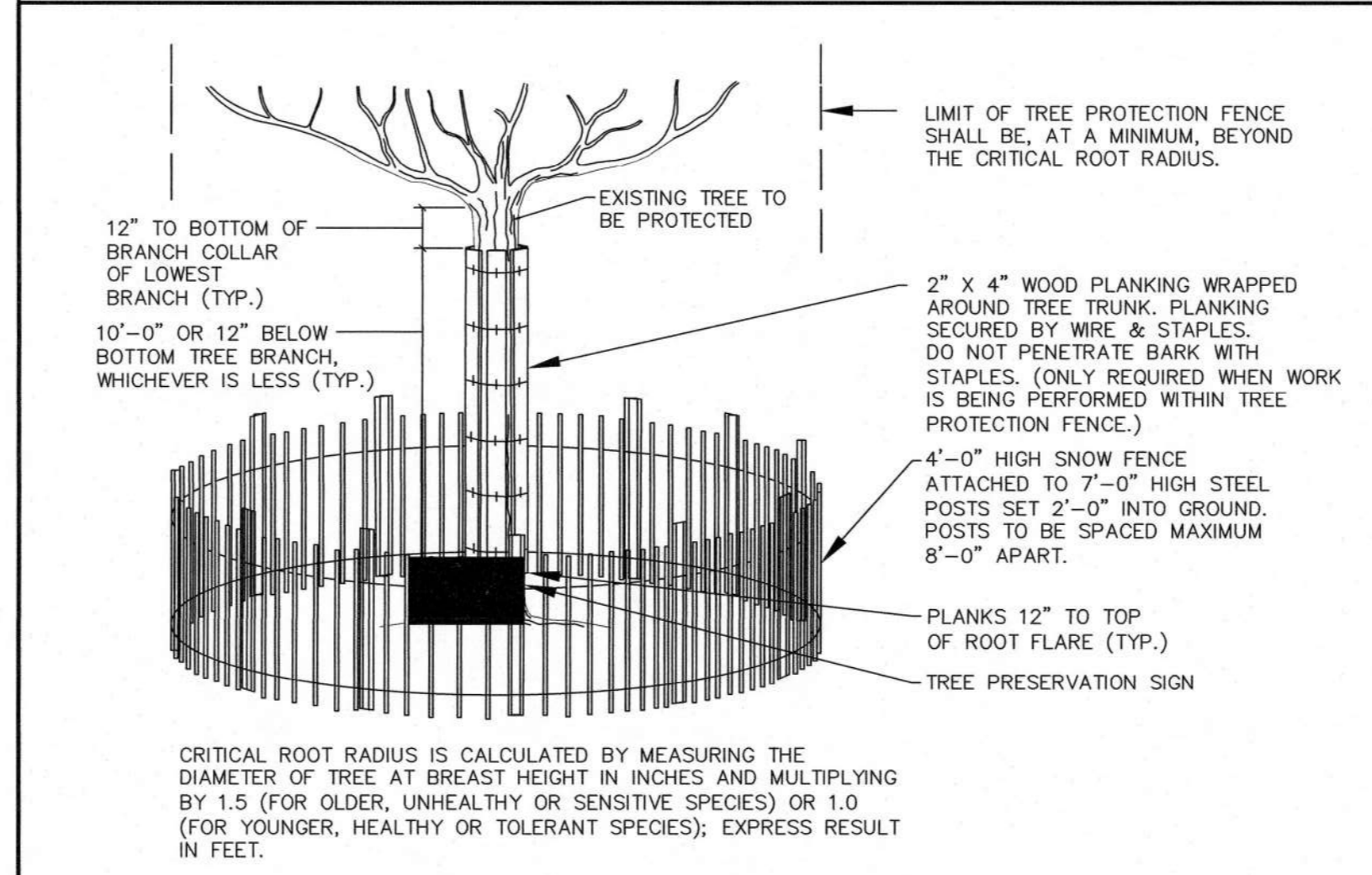
Project No. <b>100851001</b>	Drawing No. <b>CE101</b>
Date <b>FEBRUARY 27, 2023</b>	Drawn By <b>JPNR</b>
Checked By <b>PM</b>	Sheet 10 of 22

Project No. 100851001



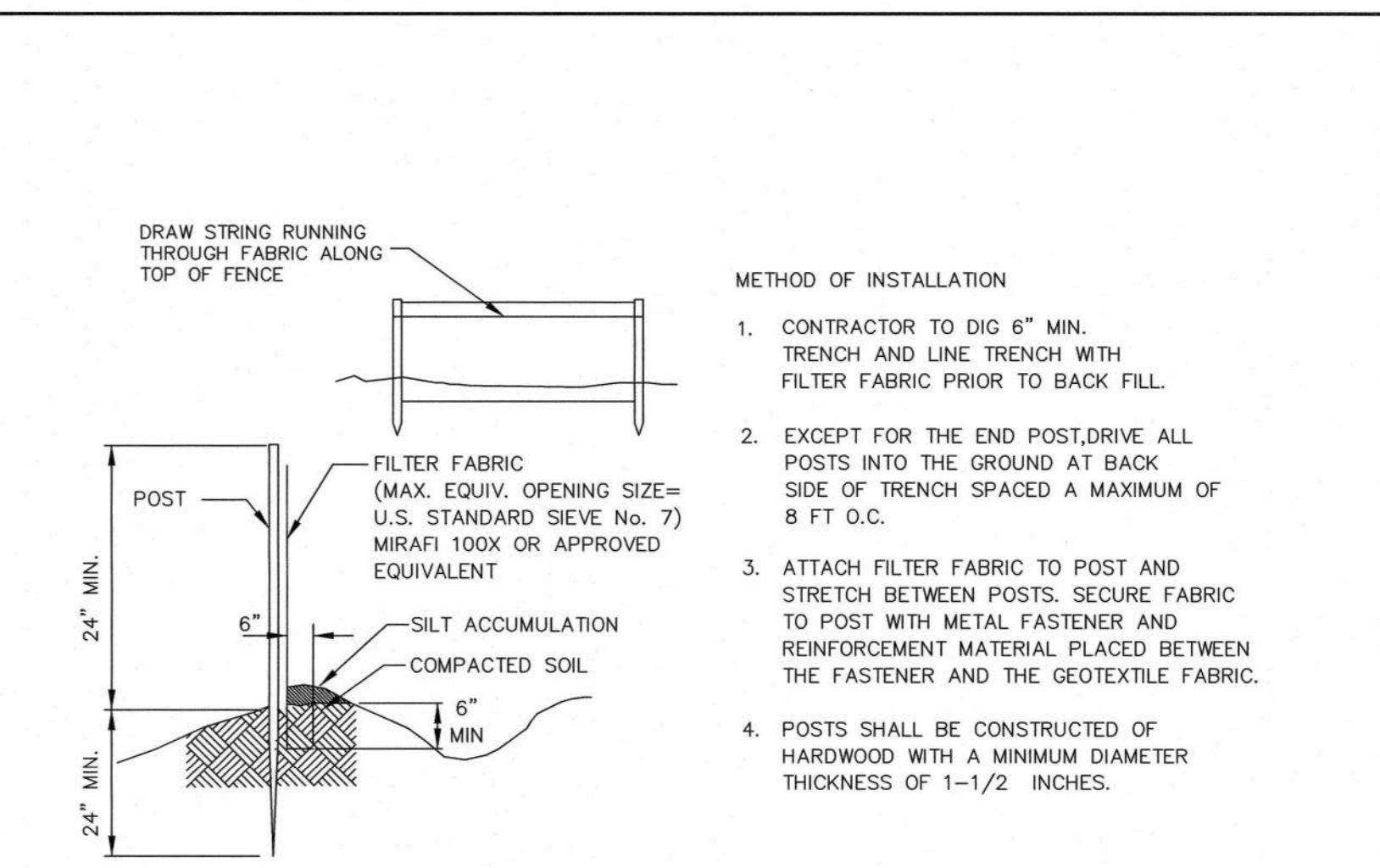
NOTES:  
SILT FENCE TO SURROUND STOCKPILE. OPENING MAY BE MADE AT UPHILL SIDE OF SITE. SEE DETAILS FOR INSTALLATION OF SILT FENCE.

**SOIL STOCKPILE**



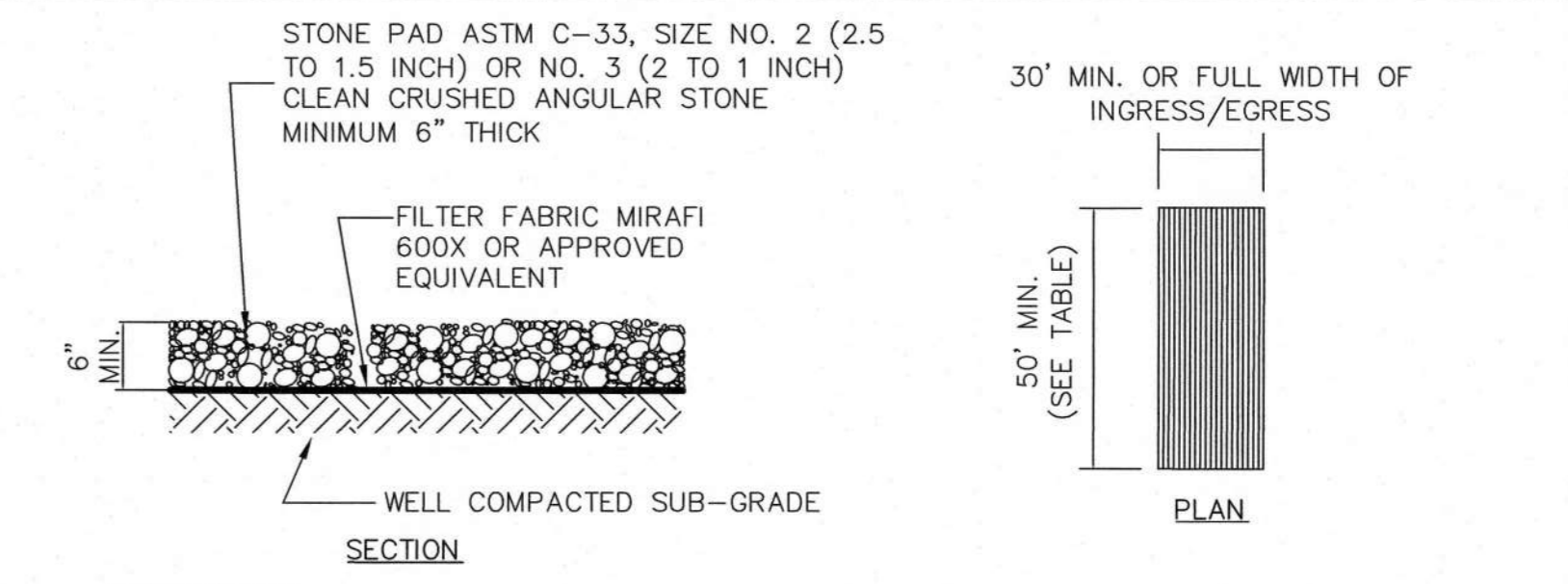
CRITICAL ROOT RADIUS IS CALCULATED BY MEASURING THE DIAMETER OF TREE AT BREAST HEIGHT IN INCHES AND MULTIPLYING BY 1.5 (FOR OLDER, UNHEALTHY OR SENSITIVE SPECIES) OR 1.0 (FOR YOUNGER, HEALTHY OR TOLERANT SPECIES). EXPRESS RESULT IN FEET.

**TREE PROTECTION**



- METHOD OF INSTALLATION
1. CONTRACTOR TO DIG 6" MIN. TRENCH AND LINE TRENCH WITH FILTER FABRIC PRIOR TO BACK FILL.
  2. EXCEPT FOR THE END POST, DRIVE ALL POSTS INTO THE GROUND AT BACK SIDE OF TRENCH SPACED A MAXIMUM OF 8 FT O.C.
  3. ATTACH FILTER FABRIC TO POST AND STRETCH BETWEEN POSTS. SECURE FABRIC TO POST WITH METAL FASTENER AND REINFORCEMENT MATERIAL PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC.
  4. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1-1/2 INCHES.

**SILT FENCE (PERVIOUS AREAS)**



MAINTENANCE:  
THE STRUCTURES THICKNESS WILL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE OF ROCK MATERIAL WILL BE MAINTAINED ON THE SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PUBLIC ROADWAYS, WILL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE. WASHING OF THE ROADWAY WITH WATER IS NOT PERMITTED.

PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	SAND / GRAVEL AREAS	CLAY / SILT AREAS
0 - 2%	50'	100'
2 - 5%	100'	200'
> 5%	ENTIRE SURFACE STABILIZED WITH FABC* BASE COURSE	

\*FABC - FINE AGGREGATE BITUMINOUS CONCRETE

**STABILIZED CONSTRUCTION PAD**

**SOIL COMPACTION TESTING REQUIREMENTS**

1. SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

**COMPACTION TESTING METHODS**

- A. PROBING WIRE TEST (SEE DETAIL)
  - B. HAND-HELD PENETROMETER TEST (SEE DETAIL)
  - C. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
  - D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATION, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.
- SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE 6" MINIMUM DEPTH OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.
- PROCEDURES FOR SOIL COMPACTION MITIGATION
- PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

Date	Description	No.
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REVISIONS

SIGNATURE: DATE SIGNED: 6/16/23  
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 PROFESSIONAL ENGINEER NJ Lic. No. 24GE04676300

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 NJ CERTIFICATE OF AUTHORIZATION NO. 24GA2796400

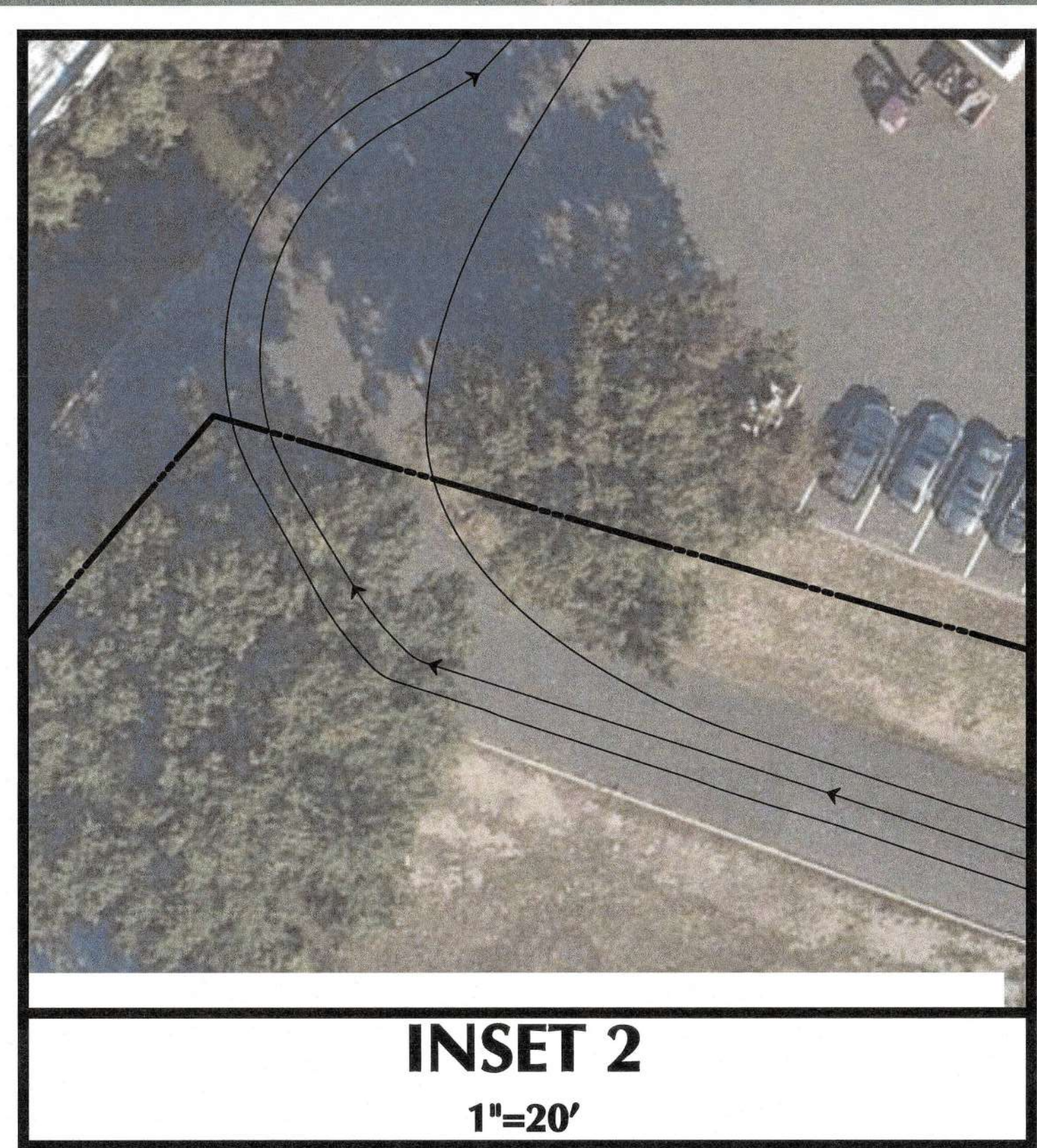
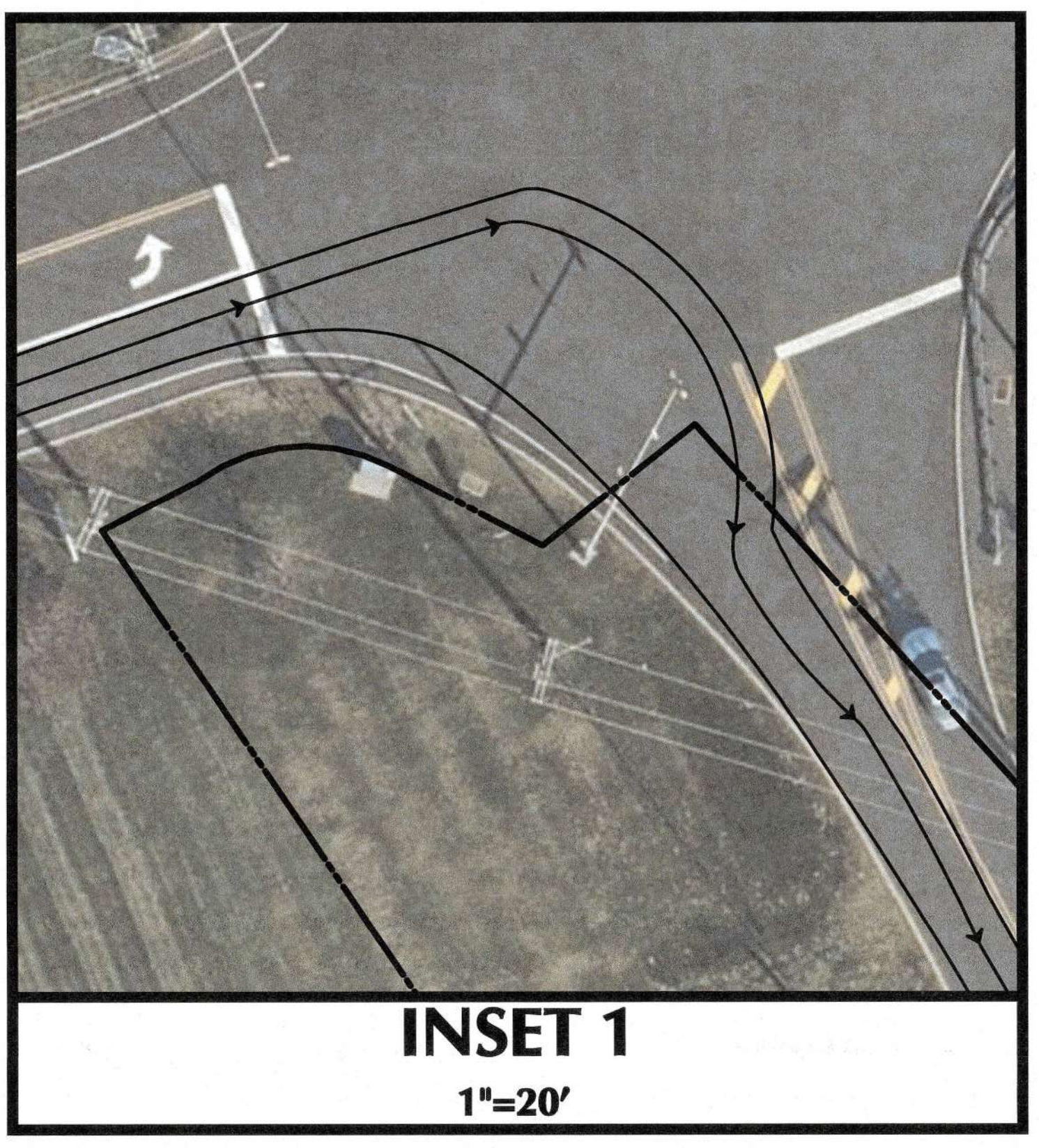
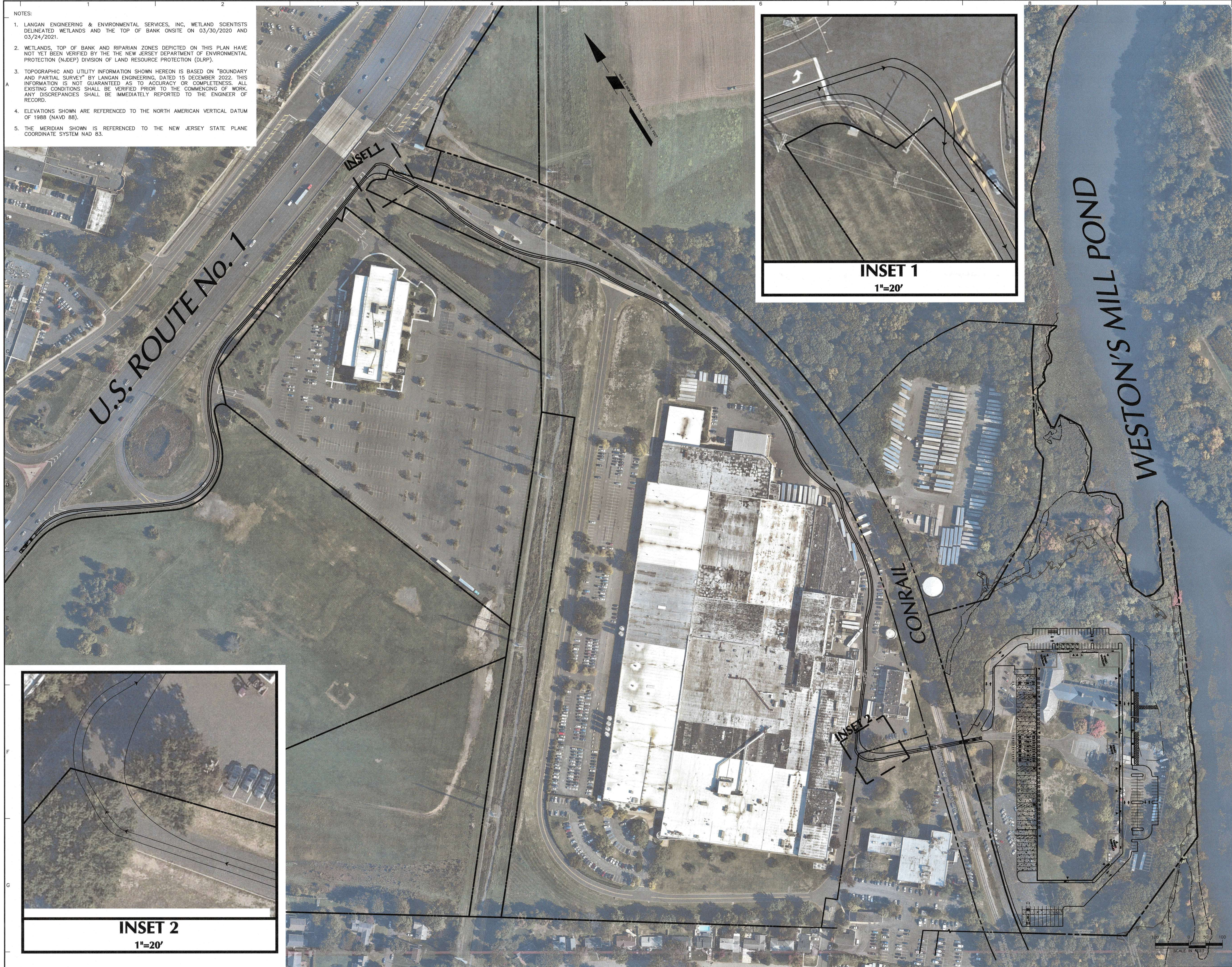
Project  
**KING ARTHUR COURT WAREHOUSE**  
 BLOCK No. 252, LOT No. 5.03  
 NORTH BRUNSWICK  
 MIDDLESEX COUNTY NEW JERSEY

**SOIL EROSION AND SEDIMENT CONTROL DETAILS**

Project No. <b>100851001</b>	Drawing No. <b>CE501</b>
Date <b>FEBRUARY 27, 2023</b>	
Drawn By <b>JPNR</b>	
Checked By <b>PM</b>	

Project No. 100851001

- NOTES:
- LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, INC. WETLAND SCIENTISTS DELINEATED WETLANDS AND THE TOP OF BANK ONSITE ON 03/30/2020 AND 03/24/2021.
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REVISIONS

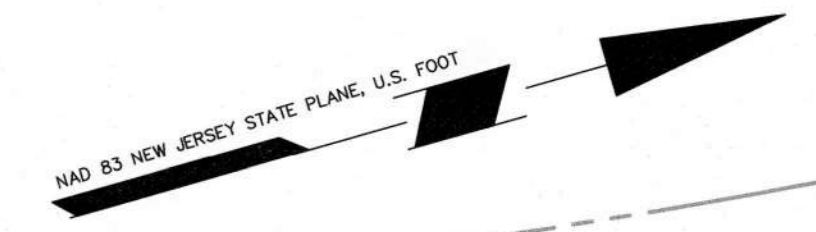
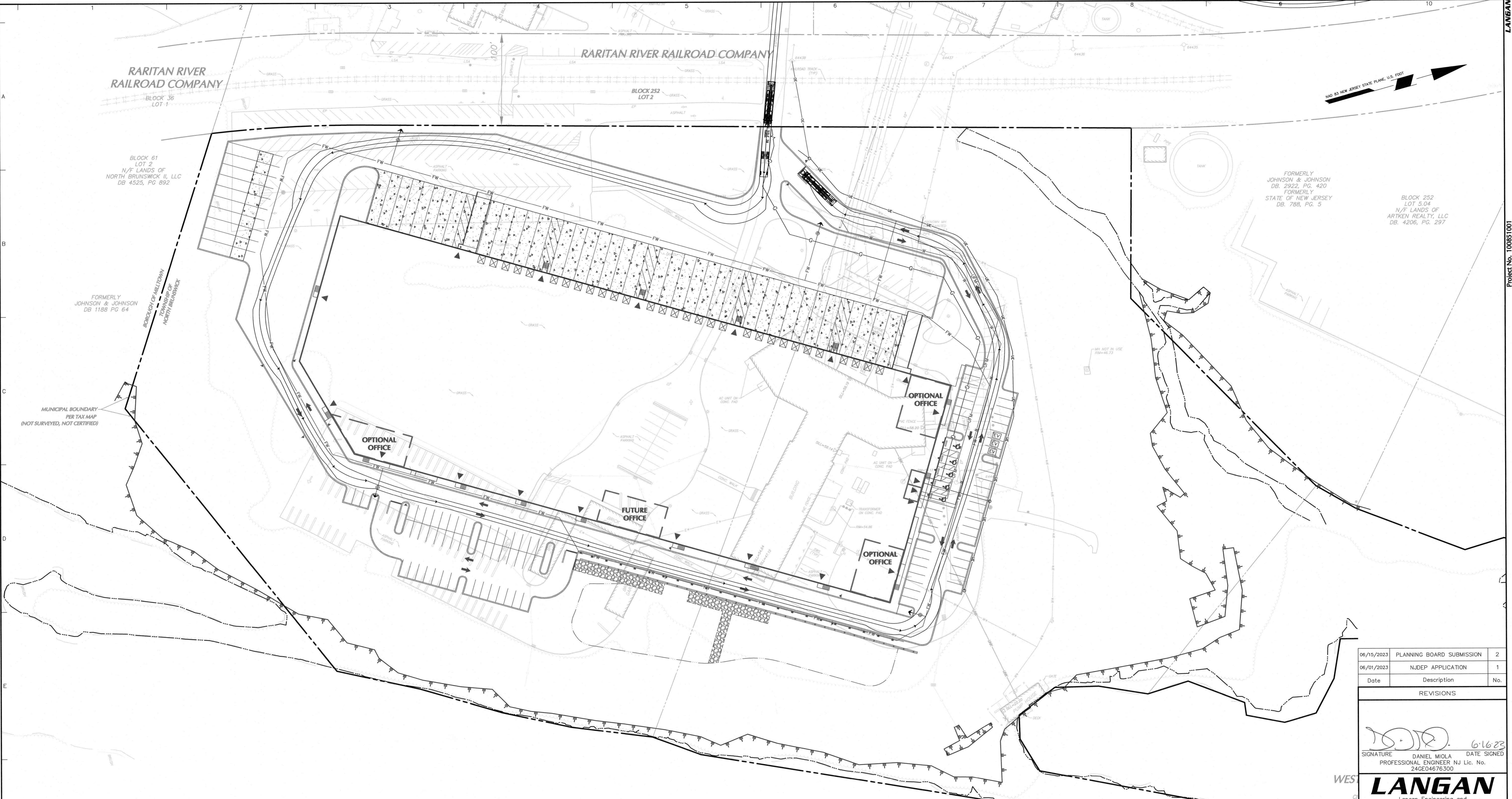

 6-16-23  
 SIGNATURE DANIEL MIOLA DATE SIGNED  
 PROFESSIONAL ENGINEER NJ Lic. No. 24GE04676300

**LANGAN**  
 Langan Engineering and Environmental Services, Inc.  
 300 Kimball Drive  
 Parsippany, NJ 07054  
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 NJ CERTIFICATE OF AUTHORIZATION NO. 24GA27996400

**KING ARTHUR COURT WAREHOUSE**  
 BLOCK No. 252, LOT No. 5.03  
 NORTH BRUNSWICK  
 MIDDLESEX COUNTY NEW JERSEY

Drawing Title  
**OVERALL VEHICULAR CIRCULATION PLAN**

Project No. 100851001	Drawing No. KT100
Date FEBRUARY 27, 2023	
Drawn By JPNR	
Checked By PM	



RARITAN RIVER RAILROAD COMPANY  
BLOCK 36 LOT 1

RARITAN RIVER RAILROAD COMPANY  
BLOCK 252 LOT 2

BLOCK 61 LOT 2  
N/F LANDS OF NORTH BRUNSWICK II, LLC  
DB 4525, PG. 892

FORMERLY JOHNSON & JOHNSON  
DB. 2922, PG. 420  
FORMERLY STATE OF NEW JERSEY  
DB. 788, PG. 5

BLOCK 252 LOT 5.04  
N/F LANDS OF ARTKEN REALTY, LLC  
DB. 4206, PG. 297

FORMERLY JOHNSON & JOHNSON  
DB 1188 PG 64

BOROUGH OF MILITARY TOWNSHIP OF NORTH BRUNSWICK

MUNICIPAL BOUNDARY PER TAX MAP (NOT SURVEYED, NOT CERTIFIED)

OPTIONAL OFFICE

OPTIONAL OFFICE

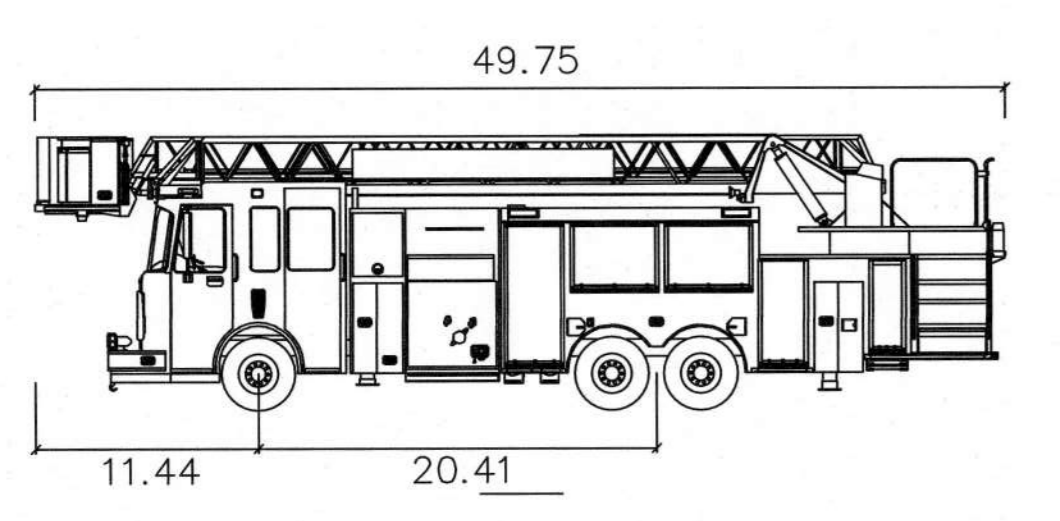
FUTURE OFFICE

OPTIONAL OFFICE

WESTON'S MILL POND  
N/F LANDS OF CITY OF NEW BRUNSWICK

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E-One Cyclone II  
Width : 8.33 feet  
Track : 8.33 feet  
Lock to Lock Time : 6.0  
Steering Angle : 31.0

Date	Description	No.
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REVISIONS

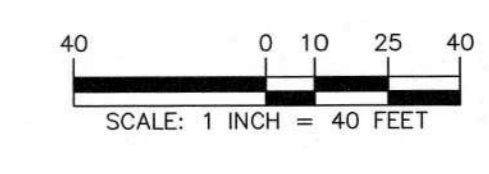
*[Signature]* 6/16/23  
SIGNATURE DANIEL MIOLA DATE SIGNED  
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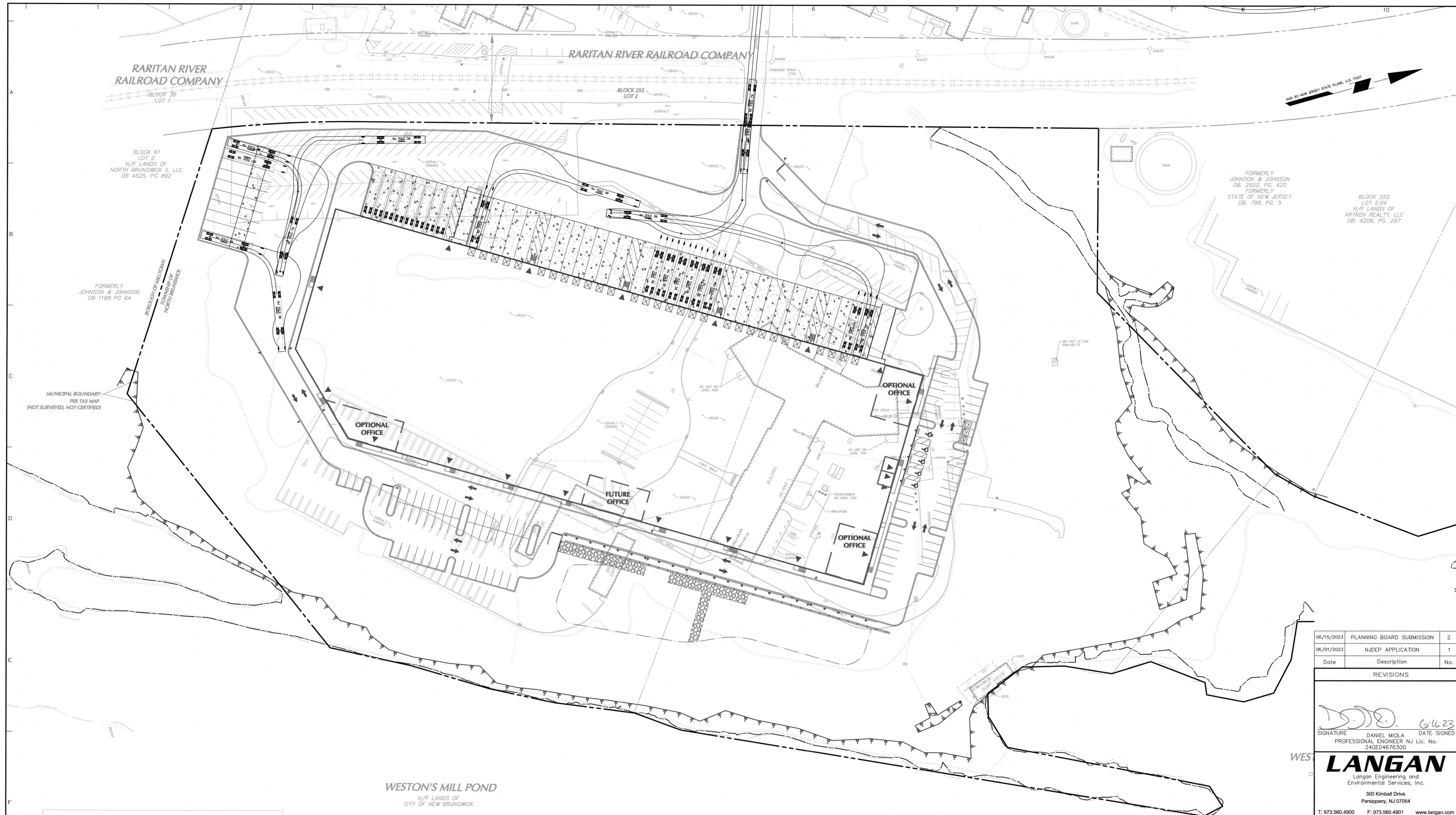
**KING ARTHUR COURT WAREHOUSE**  
BLOCK No. 252, LOT No. 5.03  
NORTH BRUNSWICK  
MIDDLESEX COUNTY NEW JERSEY

**FIRE DEPARTMENT PLAN**

Project No. <b>100851001</b>	Drawing No. <b>KT101</b>
Date <b>FEBRUARY 27, 2023</b>	
Drawn By <b>JPNR</b>	
Checked By <b>PM</b>	



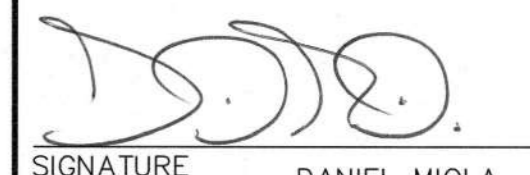
Project No. 100851001



Project No. 100851001

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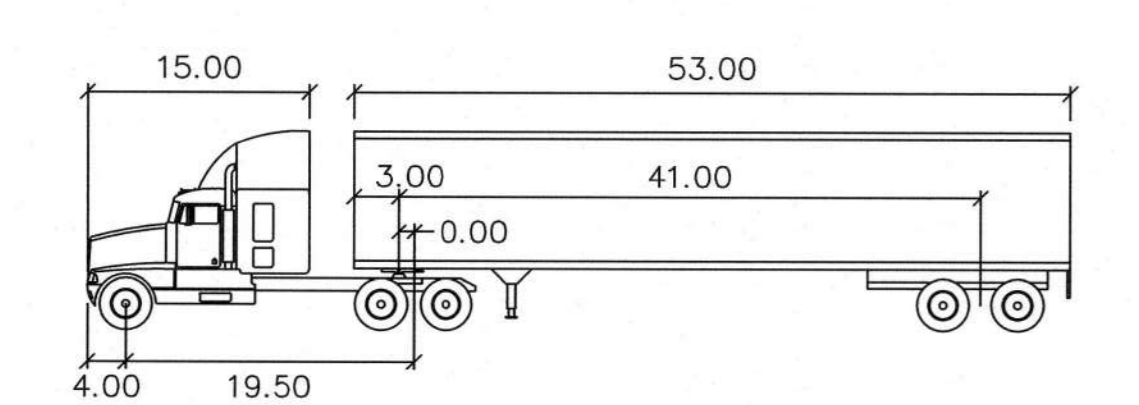
Project  
**KING ARTHUR COURT WAREHOUSE**  
 BLOCK No. 252, LOT No. 5.03  
 NORTH BRUNSWICK  
 MIDDLESEX COUNTY NEW JERSEY

Drawing Title  
**VEHICLE CIRCULATION PLAN**

Project No. <b>100851001</b>	Drawing No. <b>KT102</b>
Date <b>FEBRUARY 27, 2023</b>	
Drawn By <b>JPNR</b>	
Checked By <b>PM</b>	

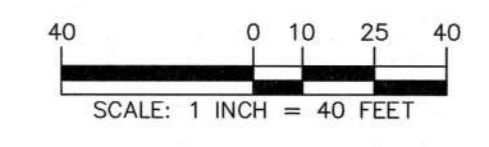
**WESTON'S MILL POND**  
 N/F LANDS OF  
 CITY OF NEW BRUNSWICK

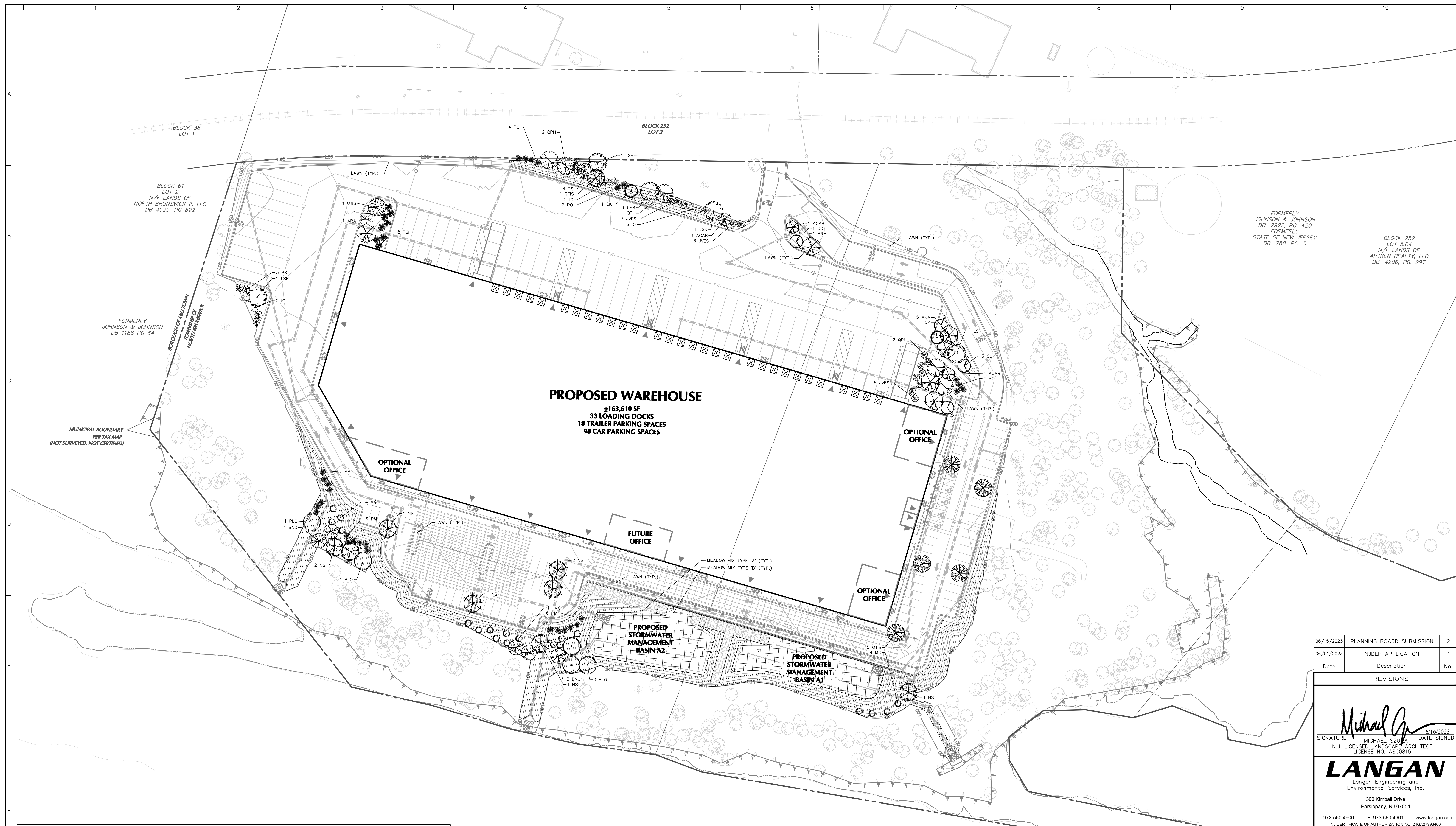
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NJ TITLE 39

feet	
Tractor Width	: 8.00
Trailer Width	: 8.50
Tractor Track	: 8.00
Trailer Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 28.4
Articulating Angle	: 70.0





KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
<b>PLANT SCHEDULE</b>						
<b>SHADE TREE(S)</b>						
ARA	6	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG COLUMNAR RED MAPLE	2 1/2-3" CAL	B+B	-
OTIS	7	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2 1/2-3" CAL	B+B	-
LSR	5	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA'	SEEDLESS SWEETGUM	2 1/2-3" CAL	B+B	-
NS	8	NYSSA SYLVATICA	SOURGUM OR TUPELO	2 1/2-3" CAL	B+B	-
PLO	5	PLATANUS OCCIDENTALIS	AMERICAN Sycamore	2 1/2-3" CAL	B+B	-
OPH	5	QUERCUS PHELLOS	WILLOW OAK	2 1/2-3" CAL	B+B	-
<b>ORNAMENTAL TREE(S)</b>						
AGAB	3	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	10-12"	B+B	-
BND	5	BETULA NIGRA 'DURA HEAT'	DURA HEAT RIVER BIRCH	10-12"	B+B	-
CC	4	CERCIS CANADENSIS	EASTERN REDBUD	10-12"	B+B	-
CK	2	CORNUS KOUSA	KOUSA DOGWOOD	10-12"	B+B	-
<b>EVERGREEN TREE(S)</b>						
IO	10	ILEX OPACA	AMERICAN HOLLY	6-7"	B+B	-
JVES	13	JUNIPERUS VIRGINIANA 'EMERALD SENTINEL'	EMERALD SENTINEL REDCEDAR	6-7"	B+B	-
PM	19	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	6-7"	B+B	-
PO	10	PICEA OMORIKA	SERBIAN SPRUCE	6-7"	B+B	-
PS	8	PINUS STROBUS	EASTERN WHITE PINE	6-7"	B+B	-
PSF	8	PINUS STROBUS 'FASTIGIATA'	PYRAMIDAL WHITE PINE	6-7"	B+B	-
<b>DECIDUOUS CONIFER(S)</b>						
MGL	19	METASEQUOIA GLYOSTROBODIES	DAWN REDWOOD	6-7"	B+B	-

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICATE.

SECTION	REQUIREMENT	PROPOSED	COMPLIANCE
800-40.6 REPLACEMENT C. TREE PLAN	ALL PLANS FOR REPLACEMENT OF REMOVED TREES SHALL BE BASED UPON THE FOLLOWING FORMULAS: (1) FOR TREES AS DEFINED HEREIN, REPLACEMENT SHALL BE BASED ON THE PERCENTAGE OF THE TREES REMOVED AS SET FORTH IN TABLE (1) BELOW. (2) SPECIMEN TREES AS DEFINED HEREIN SHALL BE REPLACED IN ACCORDANCE WITH TABLE (2).	TABLE (1) CALCULATIONS: TOTAL NUMBER OF TREES: 888 TREES TO BE REMOVED: 50 50/888 = 0.072874 = 7% TREES TO BE REPLANTED: 5	COMPLIES
	PERCENTAGE OF TREES REMOVED	TABLE (2) CALCULATIONS: SIZE   # OF SPECIMEN TREES   TO BE REPLANTED   TOTAL   24"-30"   6   5   30   31"-36"   5   7   35   37"-40"   4   9   36   41"+   3   10   30	
	REPLACEMENT OF TREES	TOTAL TREES TO BE REPLANTED: 6+30+35+36+30 = 137 TOTAL TREES PROPOSED: 137	
	REPLACEMENT OF SPECIMEN TREES	EXISTING SPECIMEN TREES TO BE REMOVED 24 INCHES TO 30 INCHES   5 31 INCHES TO 36 INCHES   7 37 INCHES TO 40 INCHES   9 41 INCHES OR GREATER   10	

Date	Description	No.
06/15/2023	PLANNING BOARD SUBMISSION	2
06/01/2023	NJ DEP APPLICATION	1

REVISIONS

*Michael Szula*  
 SIGNATURE: MICHAEL SZULA DATE SIGNED: 6/16/2023  
 N.J. LICENSED LANDSCAPE ARCHITECT  
 LICENSE NO. AS00815

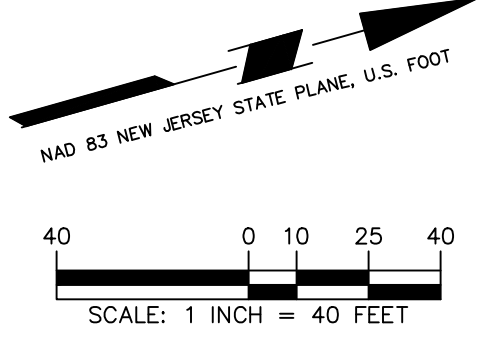
**LANGAN**  
 Langan Engineering and Environmental Services, Inc.  
 300 Kimball Drive  
 Parsippany, NJ 07054  
 T: 973.560.4900 F: 973.560.4901 www.langan.com  
 NJ CERTIFICATE OF AUTHORIZATION NO. 246A27966400

Project  
**KING ARTHUR COURT WAREHOUSE**  
 BLOCK No. 252, LOT No. 5.03  
 NORTH BRUNSWICK  
 MIDDLESEX COUNTY NEW JERSEY

Drawing Title  
**LANDSCAPE PLAN**

Project No. 100851001  
 Date 04/28/2023  
 Drawn By LZ  
 Checked By DB

Sheet 15 of 22

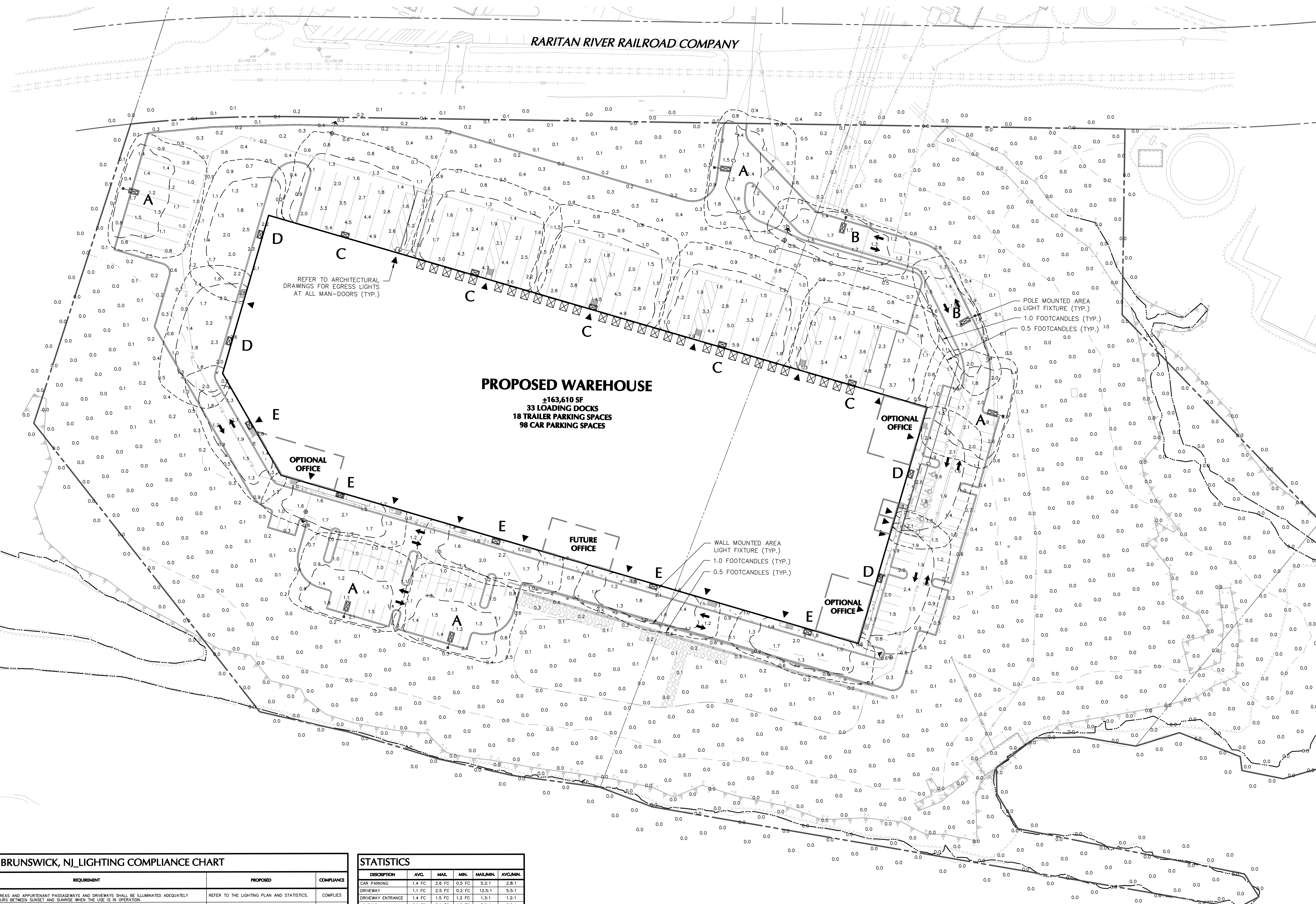


NOTE: REFER LP501 FOR LANDSCAPE NOTES & DETAILS.

Project No. 100851001







RARITAN RIVER RAILROAD COMPANY

**PROPOSED WAREHOUSE**  
 ±163,610 SF  
 33 LOADING DOCKS  
 18 TRAILER PARKING SPACES  
 98 CAR PARKING SPACES

POLE MOUNTED AREA  
 LIGHT FIXTURE (TYP.)  
 1.0 FOOTCANDLES (TYP.)  
 0.5 FOOTCANDLES (TYP.)

WALL MOUNTED AREA  
 LIGHT FIXTURE (TYP.)  
 1.0 FOOTCANDLES (TYP.)  
 0.5 FOOTCANDLES (TYP.)

SECTION	REQUIREMENT	PROPOSED	COMPLIANCE
ARTICLE XXIV OFF-STREET PARKING & LOADING	§ 205-97 C-1, C-2, C-3, D-R, L-1 AND L-2 DISTRICTS. A. ALL PARKING AREAS AND APPURTENANT PASADWAYS AND DRIVEWAYS SHALL BE ILLUMINATED ADEQUATELY DURING THE HOURS BETWEEN SUNSET AND SUNRISE WHEN THE USE IS IN OPERATION. B. ALL PARKING AREAS FOR 10 OR MORE VEHICLES SHALL HAVE ARTIFICIAL LIGHTING THAT WILL PROVIDE AN ADEQUATE LIGHTING LEVEL THROUGHOUT THE PARKING AREA. PRESTANDING LIGHT POLES SHALL BE NO HIGHER THAN THE HEIGHT OF THE HIGHEST PRINCIPAL BUILDING SERVED BY THE PARKING AREA PLUS FIVE FEET. C. LIGHTING AND ILLUMINATION, ARTIFICIAL LIGHTING OR ILLUMINATION PROVIDED ON ANY PROPERTY OR BY ANY USE SHALL ADHERE TO THE FOLLOWING STANDARDS: (1) THE ILLUMINATION PROVIDED BY ARTIFICIAL LIGHTING SHALL NOT EXCEED 0.5 FOOTCANDLE BEYOND ANY PROPERTY LINE. (2) SPOTLIGHTS OR OTHER TYPES OF ARTIFICIAL LIGHTING THAT PROVIDE A CONCENTRATED BEAM OF LIGHT SHALL BE SO DIRECTED THAT THE BEAM OF LIGHT DOES NOT EXTEND BEYOND ANY PROPERTY LINE.	REFER TO THE LIGHTING PLAN AND STATISTICS. ALL POLE MOUNTED LIGHTS ARE PROPOSED AT 30' HT.	COMPLIES COMPLIES
ARTICLE XXVI PERFORMANCE STANDARDS	§ 205-108 SPECIFIC STANDARDS.	(1) THE MAXIMUM LIGHT LEVEL AT THE PROPERTY LINE IS 0.4 FC. (2) HOUSE SIDE SHELLS ARE PROVIDED FOR LIGHT FIXTURES ADJACENT TO THE PROPERTY LINE.	COMPLIES

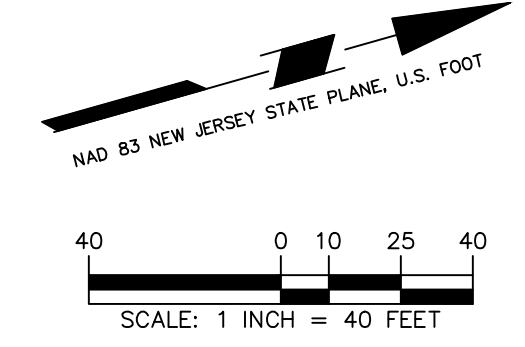
DESCRIPTION	AVG.	MAX.	MIN.	MAX/MIN	AVG/MIN
CAR PARKING	1.4 FC	2.6 FC	0.5 FC	5.2:1	2.8:1
DRIVEWAY	1.1 FC	2.5 FC	0.2 FC	12.5:1	5.5:1
DRIVEWAY ENTRANCE	1.4 FC	1.5 FC	1.2 FC	1.3:1	1.2:1
LOADING	2.6 FC	5.0 FC	1.0 FC	5.0:1	2.6:1
PEDESTRIAN	1.7 FC	3.6 FC	0.6 FC	6.2:1	2.8:1
PROPERTY LINE	0.0 FC	0.4 FC	0.0 FC	N/A	N/A
TRAILER STORAGE	1.0 FC	1.5 FC	0.5 FC	3.0:1	2.0:1

NOTE: LIGHT PHOTOMETRY AND CALCULATIONS FOR EXISTING AND ADJACENT LIGHTING TO REMAIN ARE NOT INCLUDED IN THE ABOVE STATISTICS.

SYMBOL	KEY	QTY.	FIXTURE MANUFACTURER	FIXTURE MODEL	FIXTURE DESCRIPTION	FIXTURE MOUNTING HEIGHT	LAMP	OPTICS	LUMENS	LF	COLOR TEMPERATURE	IES FILE	FIXTURE CATALOGUE NO.	POLE MANUFACTURER	POLE DESCRIPTION	POLE LENGTH	POLE CATALOGUE NO.
+	A	5	COOPER LIGHTING	GALN - GALLEON II LED	SINGLE POLE MOUNTED AREA LIGHT FIXTURE; COLOR = BLACK	30'-0"	LED	TYPE T4FT W/ HSS	13,764	0.90	3000K	GALN-SA3C-730-U-T4FT-HSS_13763 lumens.ies	GALN-SA3-C-730-VOLTS-T4FT-BK-HSS	COOPER LIGHTING	SQUARE STRAIGHT STEEL POLE; COLOR = BLACK	27'-0"	S55-E-M-27-S-Y-N-1-X-G-V
+	B	2	COOPER LIGHTING	GALN - GALLEON II LED	SINGLE POLE MOUNTED AREA LIGHT FIXTURE; COLOR = BLACK	30'-0"	LED	TYPE SL2 W/ HSS	10,537	0.90	3000K	GALN-SA2C-730-U-SL2-HSS_10538 lumens.ies	GALN-SA2-C-730-VOLTS-SL2-BK-HSS	COOPER LIGHTING	SQUARE STRAIGHT STEEL POLE; COLOR = BLACK	27'-0"	S55-E-M-27-S-Y-N-1-X-G-V
+	C	5	COOPER LIGHTING	GALN - GALLEON II LED	WALL MOUNTED AREA LIGHT FIXTURE; COLOR = BLACK	23'-0" (ABOVE FFE)	LED	TYPE T4FT	37,886	0.90	3000K	GALN-SAB-C-730-U-T4FT-37884 lumens.ies	GALN-SAB-C-730-VOLTS-T4FT-IM-BK	-	-	-	-
+	D	4	COOPER LIGHTING	GALN - GALLEON II LED	WALL MOUNTED AREA LIGHT FIXTURE; COLOR = BLACK	23'-0" (ABOVE FFE)	LED	TYPE T4W	18,130	0.90	3000K	GALN-SA3C-730-U-T4W-18137 lumens.ies	GALN-SA3-C-730-VOLTS-T4W-IM-BK	-	-	-	-
+	E	5	COOPER LIGHTING	GALN - GALLEON II LED	WALL MOUNTED AREA LIGHT FIXTURE; COLOR = BLACK	23'-0" (ABOVE FFE)	LED	TYPE SL2	12,851	0.90	3000K	GALN-SA2C-730-U-SL2-12852 lumens.ies	GALN-SA2-C-730-VOLTS-SL2-IM-BK	-	-	-	-

NOTES:  
 1. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING VOLTAGES AND ELECTRICAL LAYOUTS.  
 2. CONTRACTOR TO CONFIRM CONTROLS SYSTEM REQUIRED BY THE OWNER AND PER CODE. BID PRICING SHALL INCLUDE CONTROL SYSTEM.  
 3. ALL POLES SHALL BE EQUIPPED WITH FACTORY INSTALLED VIBRATION DAMPERS.

NOTE: REFER TO LL501 FOR LIGHTING NOTES & DETAILS.



Date	Description	No.
06/15/2023	PLANNING BOARD SUBMISSION	2
06/01/2023	NJDEP APPLICATION	1

REVISIONS

*Michael Szula*  
 6/16/2023  
 SIGNATURE: MICHAEL SZULA DATE SIGNED  
 N.J. LICENSED LANDSCAPE ARCHITECT  
 LICENSE NO. A500815

**LANGAN**  
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 NJ CERTIFICATE OF AUTHORIZATION NO. 246A27966608

Project  
**KING ARTHUR COURT WAREHOUSE**  
 BLOCK No. 252, LOT No. 5.03  
 NORTH BRUNSWICK  
 MIDDLESEX COUNTY NEW JERSEY

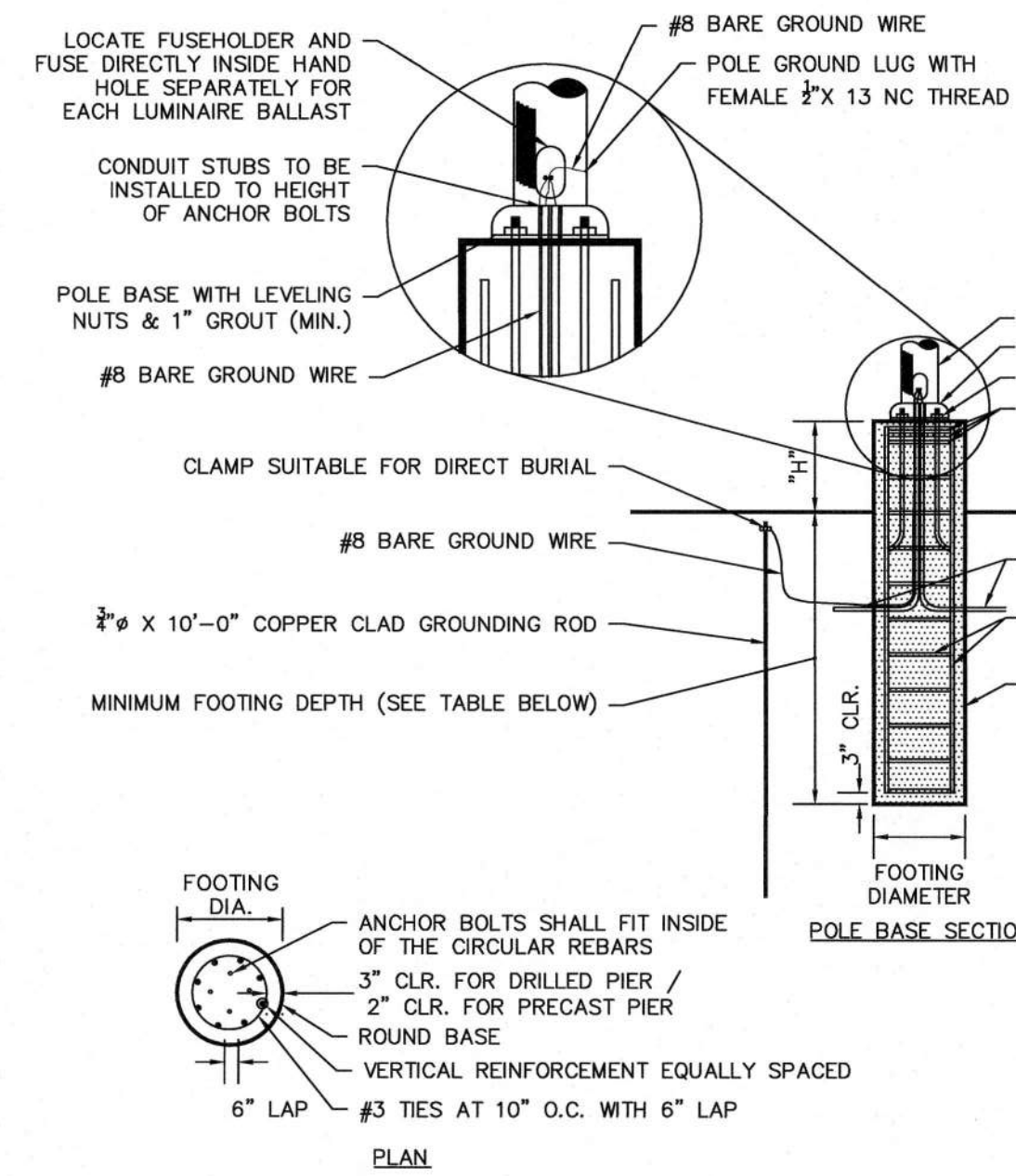
Drawing Title  
**LIGHTING PLAN**

Project No.	100851001	Drawing No.	LL101
Date	04/28/2023	Drawn By	LZ
Checked By	DB	Sheet	17 of 22

Project No. 100851001

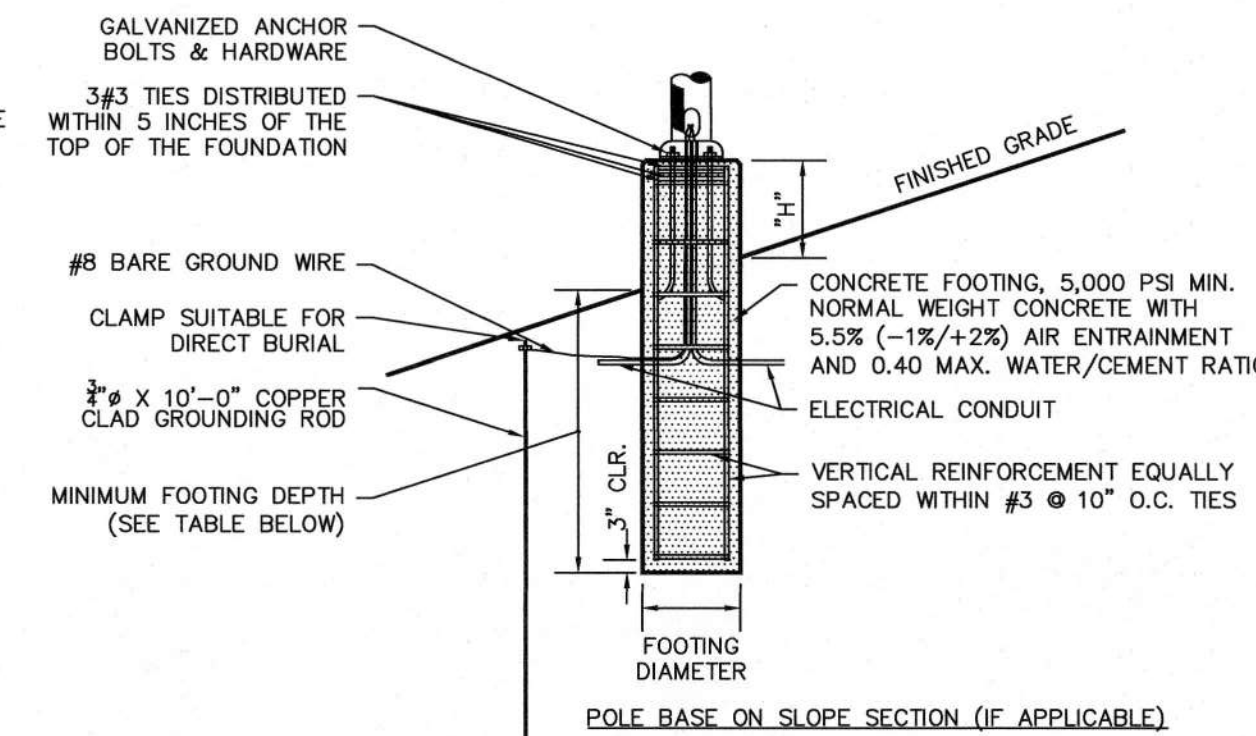
**LIGHTING NOTES:**

- GENERAL**
- POINT-BY-POINT CALCULATIONS PROVIDED WITHIN HAVE BEEN PREPARED IN ACCORDANCE TO IESNA STANDARDS AND IN CONSIDERATION OF THE VARIABLES WITHIN THESE NOTES AND SITE LIGHTING SCHEDULE. THE VALUES SHOWN ON THE PLANS ARE NOT AN INDICATION OF THE INITIAL LIGHT INTENSITIES OF THE LAMPS. THESE VALUES ARE AN APPROXIMATION OF THE MAINTAINED INTENSITIES DELIVERED TO THE GROUND PLANE USING INDUSTRY STANDARD LIGHT LOSS FACTORS (LLF) WHICH COVER LAMP DEGRADATION AND NATURAL BUILDUP / DIRT DEGRADATION ON THE FIXTURE LENS. THE LIGHTING PLAN IS DESIGNED WITH AN INDUSTRY STANDARD LLF IN ACCORDANCE WITH GUIDANCE AS PROVIDED BY IESNA. MINOR VARIATIONS IN TOPOGRAPHY, PHYSICAL OBSTRUCTIONS, AMBIENT OR ADJACENT LIGHT SOURCES AND/OR OTHER POTENTIAL IMPACTS HAVE NOT BEEN INCLUDED IN THESE CALCULATIONS. THEREFORE, AS-BUILT LIGHT INTENSITIES MAY VARY IN EITHER DIRECTION, FROM WHAT IS EXPLICITLY PORTRAYED WITHIN THESE DRAWINGS AND GUARANTEE OF LIGHT LEVELS IS EXPRESSED OR IMPLIED BY THE POINT BY POINT CALCULATIONS SHOWN ON THESE PLANS.
  - LIGHT LEVEL POINT SPACING IS 30 FT. LEFT TO RIGHT AND 20 FT. TOP TO BOTTOM. POINT BY POINT CALCULATIONS ARE BASED ON THE LIGHT LOSS FACTOR AS STATED IN THE LIGHTING SCHEDULE.
- COMPLIANCE**
- ALL SITE LIGHTING RELATED WORK AND MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.
  - LIGHTING LAYOUT COMPLIES WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) SAFETY STANDARDS FOR LIGHT LEVELS.
- COORDINATION**
- CONTRACTOR TO COORDINATE POWER SOURCE WITH LIGHT FIXTURES TO ENSURE ALL SITE LIGHTING IS OPERATING EFFECTIVELY, EFFICIENTLY AND SAFELY.
  - REFER TO ELECTRIFICATION PLAN FOR PROVIDING ADEQUATE POWER FOR SITE LIGHTING.
  - CONTRACTOR TO COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
  - INSTALLATION OF ALL LIGHTING FIXTURES, POLES, FOOTINGS, AND FEEDER CABLE TO BE COORDINATED WITH ALL SITE WORK TRADES TO AVOID CONFLICT WITH FINISHED AND PROPOSED WORK.
  - CONTRACTOR TO COORDINATE INSTALLATION OF UNDERGROUND FEEDER CABLE FOR EXTERIOR LIGHTING WITH EXISTING AND PROPOSED UTILITIES, SITE DRAINAGE SYSTEMS, AND PAVING. CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE SHOULD ANY UTILITIES, NOT SHOWN ON THE PLANS, BE FOUND DURING EXCAVATIONS.
- POLES AND FOOTINGS**
- PROVIDE A CONCRETE BASE FOR EACH LIGHT POLE AT THE LOCATIONS INDICATED ON THE CONSTRUCTION DRAWINGS AND/OR IN ACCORDANCE WITH PROJECT PLANS AND SPECIFICATIONS RELATING DIRECTLY TO CAST-IN-PLACE CONCRETE. THE USE OF ALTERNATE LIGHTING FOUNDATIONS, SUCH AS PRECAST, MAY CHANGE THE SIZING AND REINFORCEMENT REQUIREMENTS FROM THOSE SHOWN ON THESE PLANS. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO ORDERING ANY SUBSTITUTED PRODUCTS.
  - CONTRACTOR SHALL EXAMINE AND VERIFY THAT SOIL CONDITIONS ARE SUITABLE TO SUPPORT LOADS EXERTED UPON THE FOUNDATIONS DURING EXCAVATION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY UNSATISFACTORY CONDITIONS.
  - POLE FOUNDATIONS SHALL NOT BE POURED IF FREE STANDING WATER IS PRESENT IN EXCAVATED AREA.
  - ALL POLES 25 FT. OR GREATER SHALL BE EQUIPPED WITH FACTORY INSTALLED VIBRATION DAMPENERS.
- WALL MOUNTED FIXTURES**
- CONTRACTOR TO COORDINATE INSTALLATION OF ALL THE WALL MOUNTED FIXTURES AND ELECTRICAL CONNECTIONS TO SITE STRUCTURE(S) WITH BUILDING MEP, ARCHITECT, AND/OR OWNER.
  - INSTALLATION AND ELECTRICAL CONNECTIONS FOR WALL MOUNTED FIXTURES TO BE COORDINATED WITH ARCHITECTURAL, STRUCTURAL, UTILITY AND SITE PLANS AND TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES.
- ADJUSTMENT AND INSPECTION**
- CONTRACTOR TO OPERATE EACH LUMINAIRE AFTER INSTALLATION AND CONNECTION. INSPECT FOR IMPROPER CONNECTIONS AND OPERATION.
  - CONTRACTOR TO AIM AND ADJUST ALL LUMINAIRES TO PROVIDE ILLUMINATION LEVELS AND DISTRIBUTION AS INDICATED ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT AND/OR OWNER.
  - CONTRACTOR TO CONFIRM THAT LIGHT FIXTURES, TILT ANGLE AND AIMING MATCH SPECIFICATIONS ON THE PLANS.
- REQUIREMENTS FOR ALTERNATES**
- ALL LIGHTING SUBSTITUTIONS MUST BE MADE WITHIN 14 DAYS PRIOR TO THE BID DATE TO PROVIDE AMPLE TIME FOR REVIEW AND TO ISSUE AN ADDENDUM INCORPORATING THE SUBSTITUTION WITH THE FOLLOWING REQUIREMENTS:
    - ANY SUBSTITUTION TO LIGHTING FIXTURES, POLES, ETC. MUST BE APPROVED BY THE OWNER, ENGINEER AND TENANTS. ANY COST ASSOCIATED WITH REVIEW AND/OR APPROVAL OF THE SUBSTITUTIONS SHALL BE ENTIRELY BORNE BY THE CONTRACTOR.
    - COMPUTER PREPARED PHOTOMETRIC LAYOUT OF THE PROPOSED LIGHTED AREA WHICH INDICATES, BY ISOPHOTOCANDLE, THE SYSTEM'S PERFORMANCE.
    - A PHOTOMETRIC REPORT FROM A NATIONAL INDEPENDENT TESTING LABORATORY WITH REPORT NUMBER, DATE, FIXTURE CATALOG NUMBER, LUMINAIRE AND LAMP SPECIFICATIONS, IES CALCULATIONS, POINT BY POINT FOOT CANDLE PLAN, STATISTIC ZONES SHOWING AVERAGE, MAXIMUM, MINIMUM AND UNIFORMITY RATIOS, SUMMARY, ISOLUX PLOT, AND CATALOGUE CUTS. CATALOGUE CUTS MUST IDENTIFY OPTICS, LAMP TYPE, DISTRIBUTION TYPE, REFLECTOR, LENS, BALLASTS, WATTAGE, VOLTAGE, FINISH HOUSING DESCRIPTION AND ALL OTHER PERTINENT INFORMATION.
    - POLE MANUFACTURER AASHTO CALCULATIONS INDICATING THE POLE AND ANCHOR BOLTS BEING SUBMITTED ARE CAPABLE OF SUPPORTING THE POLE AND FIXTURE SYSTEMS BEING UTILIZED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
    - THE UNDERWRITERS LABORATORY LISTING AND FILE NUMBER FOR THE SPECIFIC FIXTURE(S) TO BE UTILIZED.
    - A COLOR PHOTOGRAPH THAT CLEARLY SHOWS THE REPLACEMENT FIXTURE POLE MOUNTED, THE FIXTURE'S COLOR, FINISH, AND PHYSICAL CHARACTERISTICS.



**NOTES:**

- EXPOSED HEIGHT OF POLE BASE (H) SHALL BE MEASURED ON THE UPHILL SIDE OF A SLOPE. FOOTING DEPTH (D) SHALL BE MEASURED ON THE DOWNHILL SIDE OF A SLOPE. AN ADDITIONAL VARIABLE HEIGHT (V) WILL BE BASED ON THE SLOPE ON WHICH THE POLE BASE IS LOCATED. CONTRACTOR TO CALCULATE FULL LENGTH OF EACH POLE BASE REQUIRED ON SLOPES (H+D+V = TOTAL BASE LENGTH)

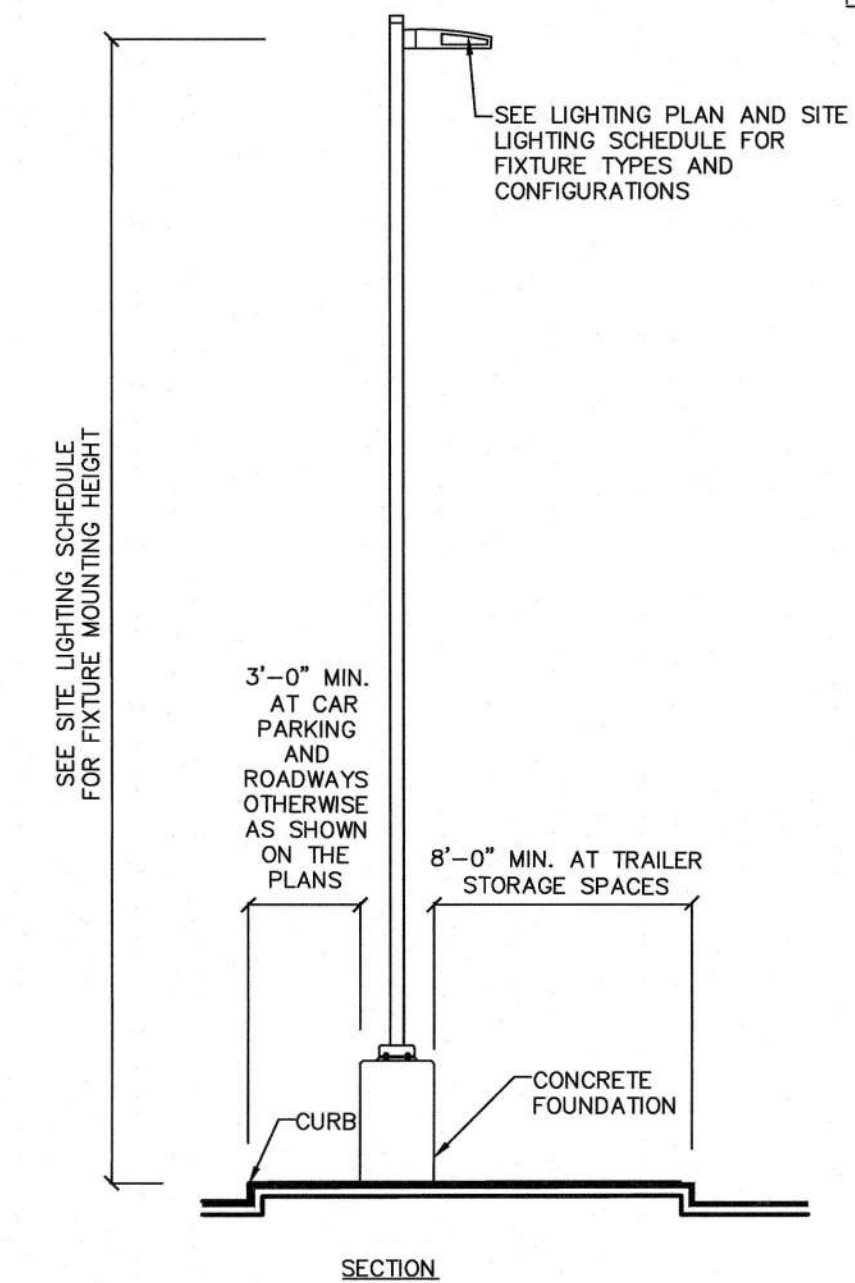
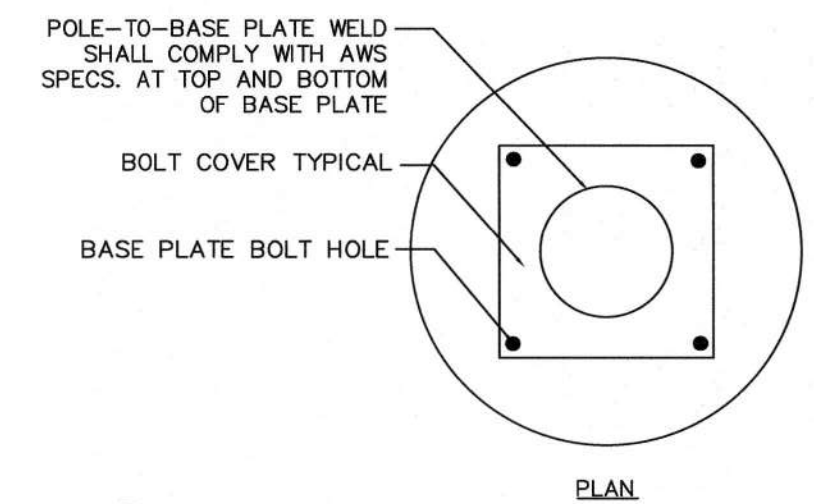


- NOTES:**
- SHAFT CAP, ARMS, BASE FLANGE, ANCHOR BOLTS, LEVELING NUTS, CONNECTION HARDWARE, BOLT COVERS, HANDHOLE COVER, AND BOLT CIRCLE TEMPLATE SHALL BE FURNISHED BY POLE MANUFACTURER.
  - EACH STANDARD TO BE PROTECTED AGAINST LIGHTNING WITH AN INTERCONNECTED GROUND ROD. THIS ROD SHALL BE BONDED PER SECTION NUMBER 250-86, N.E.C.
  - CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENT OF ACI 318. CAST-IN-PLACE SHALL HAVE UNCONFINED COMPRESSIVE STRENGTH OF AT LEAST 5,000 PSI AT 28-DAYS. DEFORMED REINFORCEMENT BARS SHALL CONFORM TO ASTM A615, GRADE 60.
  - CONTRACTOR TO ENSURE CONCRETE POLE BASES ARE POURED / PLACED ABSOLUTELY VERTICAL & LEVEL.
  - IF POLE BASE IS CAST-IN-PLACE, POLE BASE SHALL BE ONE CONTINUOUS POUR. EXPOSED PORTION OF BASE SHALL BE HAND-RUBBED SMOOTH.
  - CONTRACTOR TO COMPACT SUBGRADE AROUND POLE BASE PER EARTHWORK SPECIFICATIONS / GEOTECH REPORT.
  - CONTRACTOR TO CONFIRM GROUNDING DESIGN WITH MEP.

THE INFORMATION ILLUSTRATED IN THE LIGHT POLE FOUNDATION DETAIL HAS BEEN PROVIDED FOR GENERAL REFERENCE AND PRELIMINARY COST ESTIMATE PURPOSES. LIGHT POLE FOUNDATIONS SHOULD BE DESIGNED AND DETAILED BY A LICENSED STRUCTURAL ENGINEER BASED ON EXISTING SOIL CONDITIONS, LOCAL DESIGN STANDARDS AND MANUFACTURERS RECOMMENDATIONS.

**LIGHT POLE BASE**

NTS



- NOTES:**
- LIGHT POLES 25 FEET OR GREATER SHALL BE EQUIPPED WITH FACTORY INSTALLED VIBRATION DAMPENERS.
  - CURB LOCATION IS SHOWN FOR SCHEMATIC PURPOSE. LIGHT POLES SHALL BE LOCATED PER THE LIGHTING PLANS IF THERE IS A CONFLICT.

**LIGHT POLE FIXTURE**

- CONTRACTOR TO COORDINATE INSTALLATION OF ALL THE WALL MOUNTED FIXTURES AND ELECTRICAL CONNECTIONS TO SITE STRUCTURE(S) WITH BUILDING MEP, ARCHITECT, AND/OR OWNER.
  - INSTALLATION AND ELECTRICAL CONNECTIONS FOR WALL MOUNTED FIXTURES TO BE COORDINATED WITH ARCHITECTURAL, STRUCTURAL, UTILITY AND SITE PLANS AND TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES.
  - CONTRACTOR TO OPERATE EACH LUMINAIRE AFTER INSTALLATION AND CONNECTION. INSPECT FOR IMPROPER CONNECTIONS AND OPERATION.
  - CONTRACTOR TO AIM AND ADJUST ALL LUMINAIRES TO PROVIDE ILLUMINATION LEVELS AND DISTRIBUTION AS INDICATED ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT AND/OR OWNER.
  - CONTRACTOR TO CONFIRM THAT LIGHT FIXTURES, TILT ANGLE AND AIMING MATCH SPECIFICATIONS ON THE PLANS.
- REQUIREMENTS FOR ALTERNATES**
- ALL LIGHTING SUBSTITUTIONS MUST BE MADE WITHIN 14 DAYS PRIOR TO THE BID DATE TO PROVIDE AMPLE TIME FOR REVIEW AND TO ISSUE AN ADDENDUM INCORPORATING THE SUBSTITUTION WITH THE FOLLOWING REQUIREMENTS:
    - ANY SUBSTITUTION TO LIGHTING FIXTURES, POLES, ETC. MUST BE APPROVED BY THE OWNER, ENGINEER AND TENANTS. ANY COST ASSOCIATED WITH REVIEW AND/OR APPROVAL OF THE SUBSTITUTIONS SHALL BE ENTIRELY BORNE BY THE CONTRACTOR.
    - COMPUTER PREPARED PHOTOMETRIC LAYOUT OF THE PROPOSED LIGHTED AREA WHICH INDICATES, BY ISOPHOTOCANDLE, THE SYSTEM'S PERFORMANCE.
    - A PHOTOMETRIC REPORT FROM A NATIONAL INDEPENDENT TESTING LABORATORY WITH REPORT NUMBER, DATE, FIXTURE CATALOG NUMBER, LUMINAIRE AND LAMP SPECIFICATIONS, IES CALCULATIONS, POINT BY POINT FOOT CANDLE PLAN, STATISTIC ZONES SHOWING AVERAGE, MAXIMUM, MINIMUM AND UNIFORMITY RATIOS, SUMMARY, ISOLUX PLOT, AND CATALOGUE CUTS. CATALOGUE CUTS MUST IDENTIFY OPTICS, LAMP TYPE, DISTRIBUTION TYPE, REFLECTOR, LENS, BALLASTS, WATTAGE, VOLTAGE, FINISH HOUSING DESCRIPTION AND ALL OTHER PERTINENT INFORMATION.
    - POLE MANUFACTURER AASHTO CALCULATIONS INDICATING THE POLE AND ANCHOR BOLTS BEING SUBMITTED ARE CAPABLE OF SUPPORTING THE POLE AND FIXTURE SYSTEMS BEING UTILIZED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
    - THE UNDERWRITERS LABORATORY LISTING AND FILE NUMBER FOR THE SPECIFIC FIXTURE(S) TO BE UTILIZED.
    - A COLOR PHOTOGRAPH THAT CLEARLY SHOWS THE REPLACEMENT FIXTURE POLE MOUNTED, THE FIXTURE'S COLOR, FINISH, AND PHYSICAL CHARACTERISTICS.

MOUNTING HEIGHT	FOOTING DEPTH	FOOTING DIAMETER	EXPOSED HEIGHT H+V	VERTICAL REINFORCEMENT
30'-0"	5'-7"	2'-0"	3'-0"	6#5 BARS

**Project** \_\_\_\_\_ **Catalog #** \_\_\_\_\_ **Type** \_\_\_\_\_

**Prepared by** \_\_\_\_\_ **Notes** \_\_\_\_\_ **Date** \_\_\_\_\_

**McGraw-Edison**

**GALN Galleon II**

Area / Site Luminaire

**Product Features**

- LightAid™
- BAA

**Interactive Menu**

- Ordering Information page 2
- Mounting Details page 3
- Optical Distributions page 5
- Product Specifications page 5
- Energy and Performance Data page 5
- Control Options page 10

**Product Certifications**

UL LISTED, ENEC, IEC, CE, 30 VIB, IP66

**Quick Facts**

- Lumen packages range from 3,300 - 73,500 (33W - 552W)
- 16 optical distributions
- Efficacy up to 159 lumens per watt

**Dimensional Details**

**Standard Arm**

**Pole Drilling Patterns**

Number of Light Spheres	Width "N"	Mounting Length "M"	Weight with Standard or OM Arm	EPA with Standard or OM Arm
1-4	16"	22"	29 lb	0.95
5-6	22"	22"	39 lb	0.95
7-9	22"	28-1/8"	48 lb	1.1

**SSS SQUARE STRAIGHT STEEL**

**DESIGN CONSIDERATIONS**

**ORDERING INFORMATION**

Product Family	Mounting Type	Wall Thickness (Inches)	Mounting Height (Feet)	Base Type	Finish	Mounting Type	Number and Location of Arms	Arm Lengths (Feet)	Options (Add as Suffix)
SSS-Square	4'-4"	A=1/2"	18-10'	B-Square	F-Dark Bronze	A-2'-3/8" O.D. Tension (0' Long)	1-Single	X=None	A=1/2" Tapped Hole*
	4'-4"	M=1/2"	18-20'	Steel	A-Galvanized Steel	A=4'-0" O.D. Tension (0' Long)	2-Two*	B=2'-0" Tapped Hole*	B=3/8" Tapped Hole*
	4'-4"	X=3/16"	20-25'	Steel	L-Dark Platinum	A=2'-3/8" O.D. Tension (0' Long)	2-Two*	C=2'-0" Tapped Hole*	C=Convenience
	4'-4"	X=3/16"	25-30'	Steel	B-Dark Bronze	A=2'-3/8" O.D. Tension (0' Long)	2-Two*	D=4'-0" Tapped Hole*	D=Convenience

**Steel Poles**

Catalog #	Type
SSS	Square

**FEATURES**

- ASTM Grade steel base plate with ASTM A368 base cover
- Hand hole assembly 21" x 15" on 5" and 6" pole; and 21" x 4" on 4" pole
- 10'-30' mounting heights
- Drilled or tenon (specify)

**ANCHORAGE DATA**

Pole	Template Number	Bolt Number	Bolt Circle (Inches)	Number of Bolts	Bolt Size (Inches)
SS04	TM01	AB3	15.5 x 15.0	4	3/4 x 5.5 x 3
SS05	TM01	AB1	11.0	4	3/4 x 5.5 x 3
SS06	TM02	AB3	15.5	4	1 x 5.5 x 4

Date	Description	No.
06/15/2023	PLANNING BOARD SUBMISSION	2
06/01/2023	NJDEP APPLICATION	1

**REVISIONS**

6/16/23

SIGNATURE: DANIEL MIOLA DATE SIGNED: 6/16/23  
PROFESSIONAL ENGINEER NJ Lic. No. 24GE04676300

**LANGAN**

Langan Engineering and Environmental Services, Inc.

300 Kimball Drive  
Parlisperry, NJ 07054

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NJ CERTIFICATE OF AUTHORIZATION NO. 24GE04676300

**KING ARTHUR COURT WAREHOUSE**

BLOCK No. 252, LOT No. 5.03  
NORTH BRUNSWICK

MIDDLESEX COUNTY NEW JERSEY

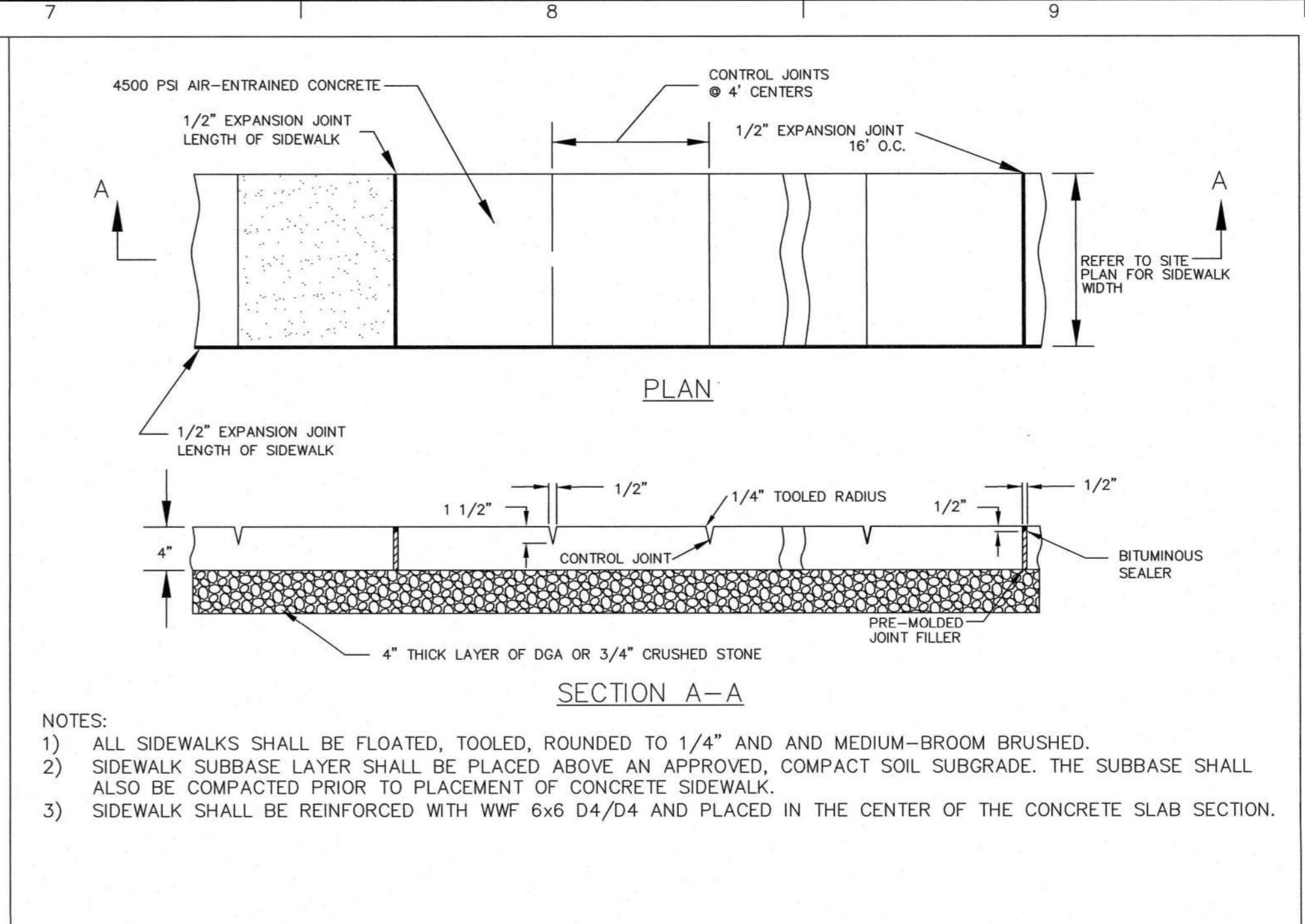
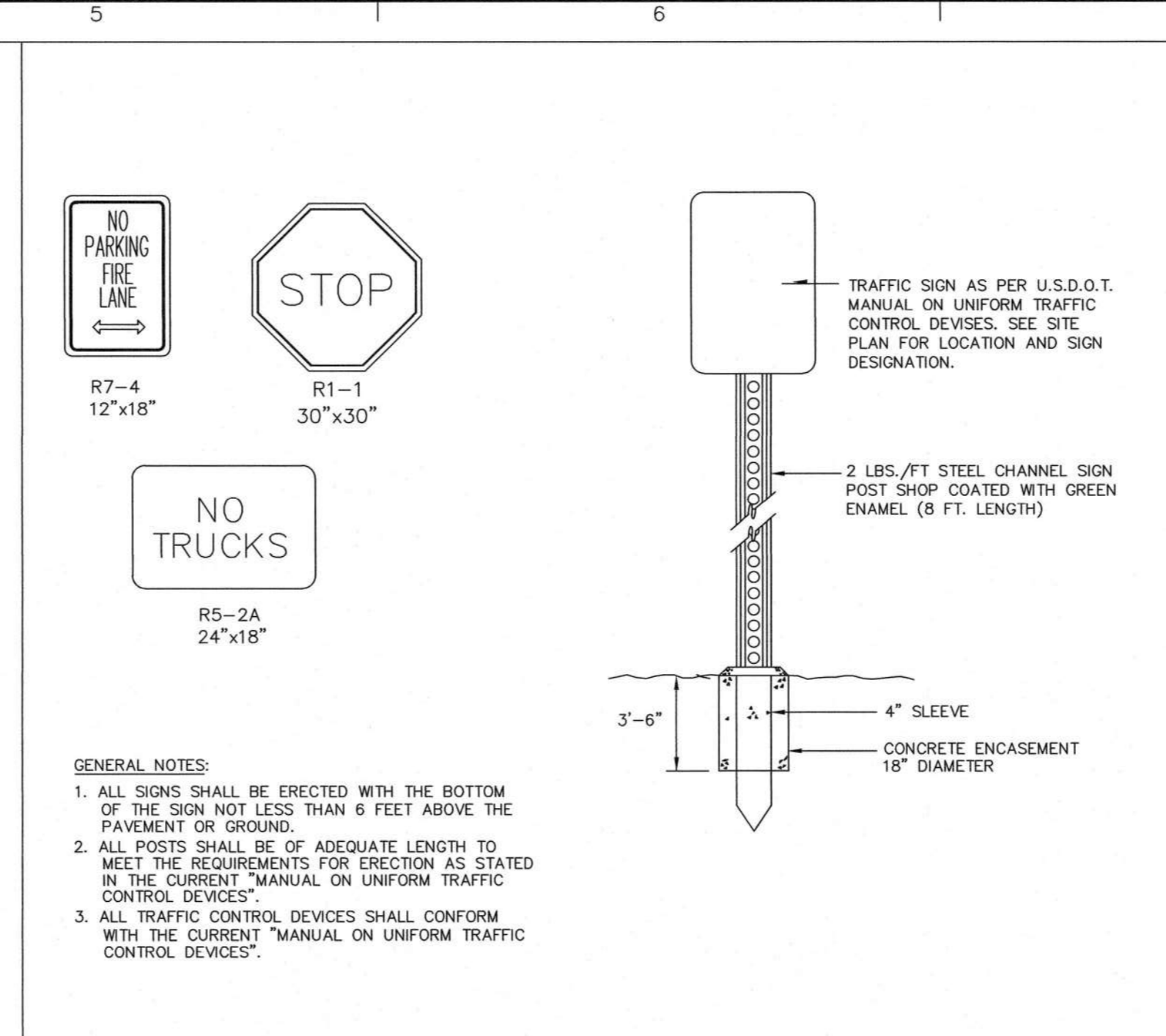
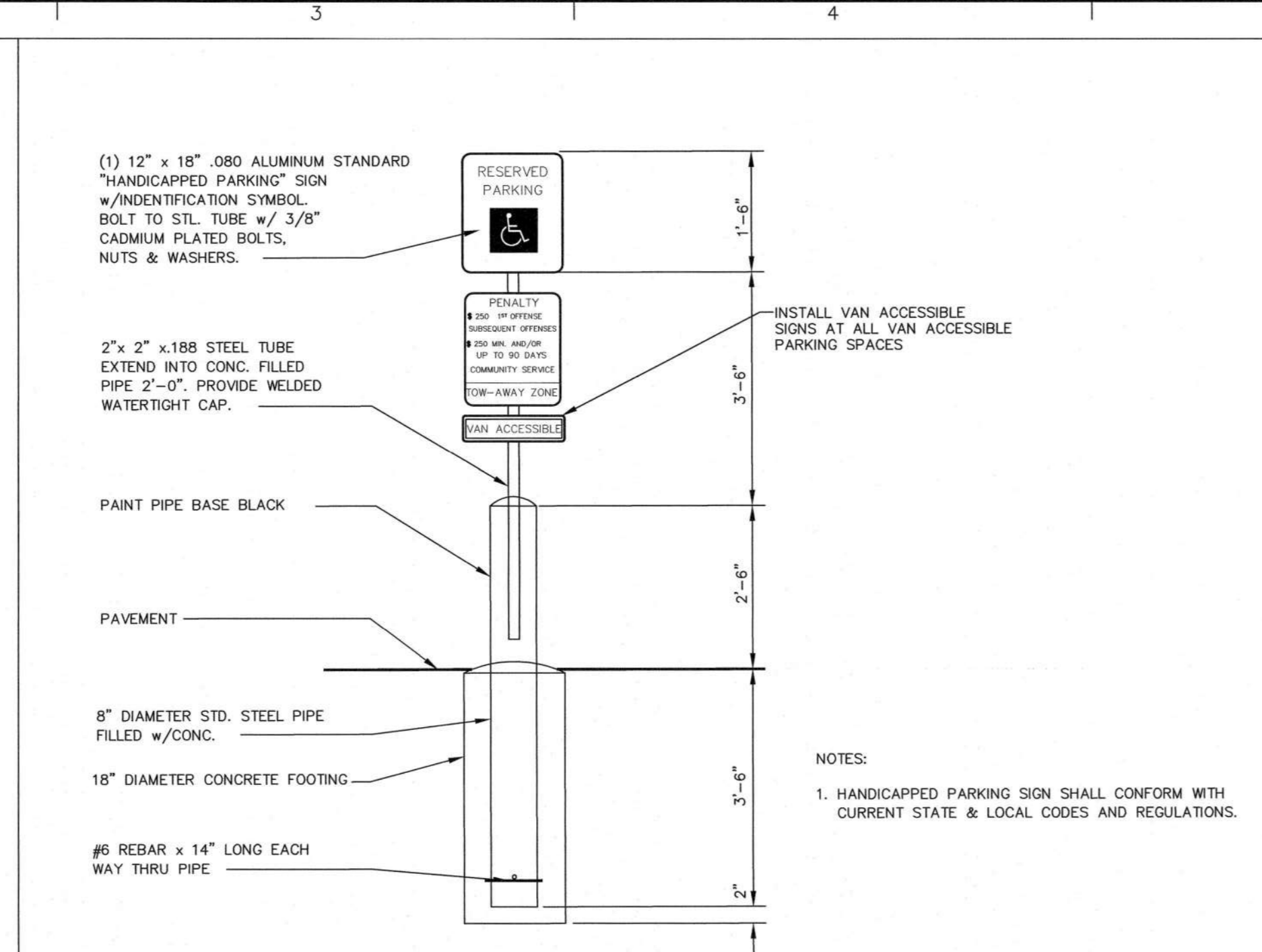
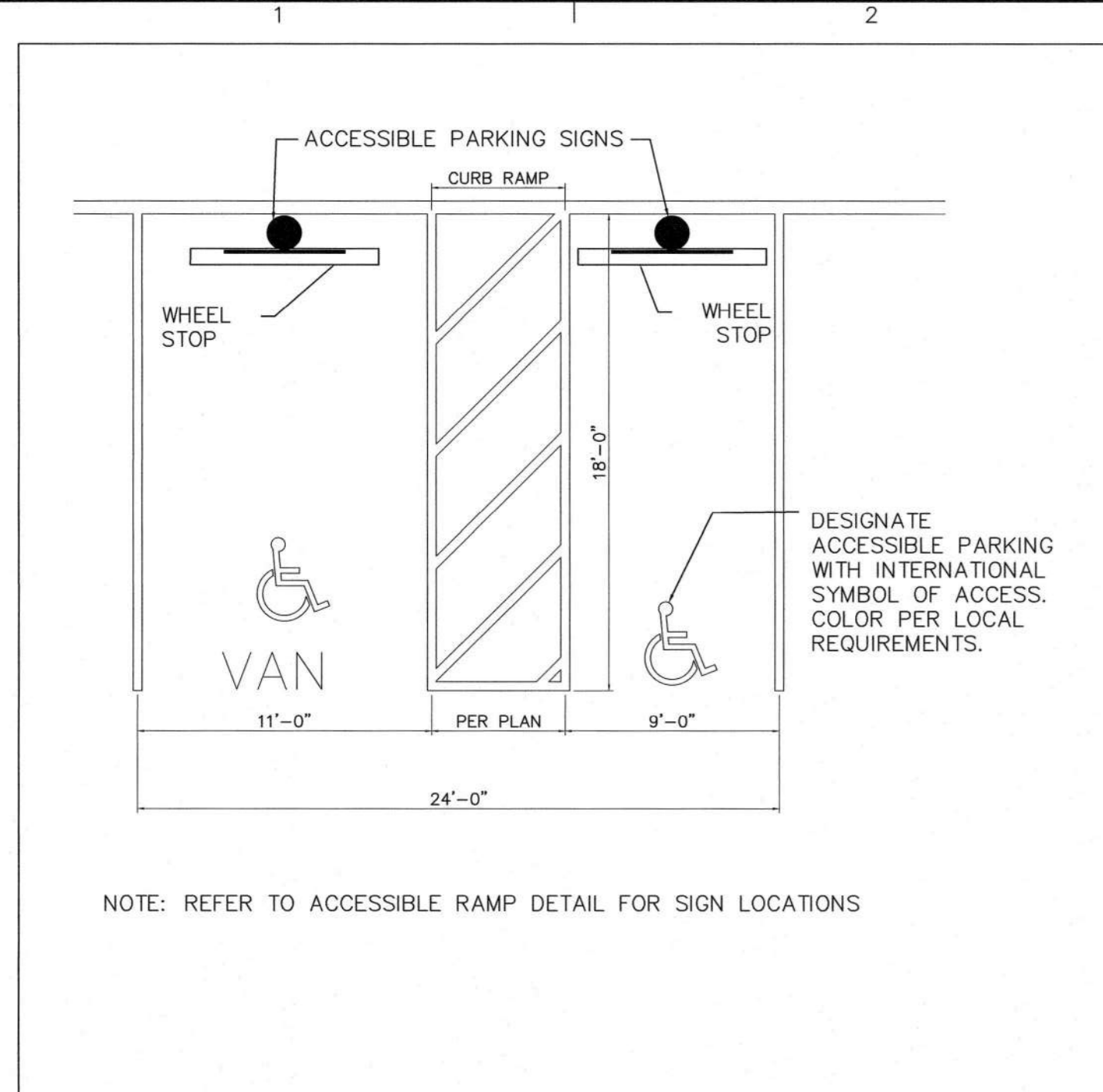
Drawing Title

**LIGHTING NOTES & DETAILS**

Project No.	Drawing No.
100851001	LL501
Date	04/28/2023
Drawn By	LZ
Checked By	DB

Sheet 18 of 22

Project No. 100851001

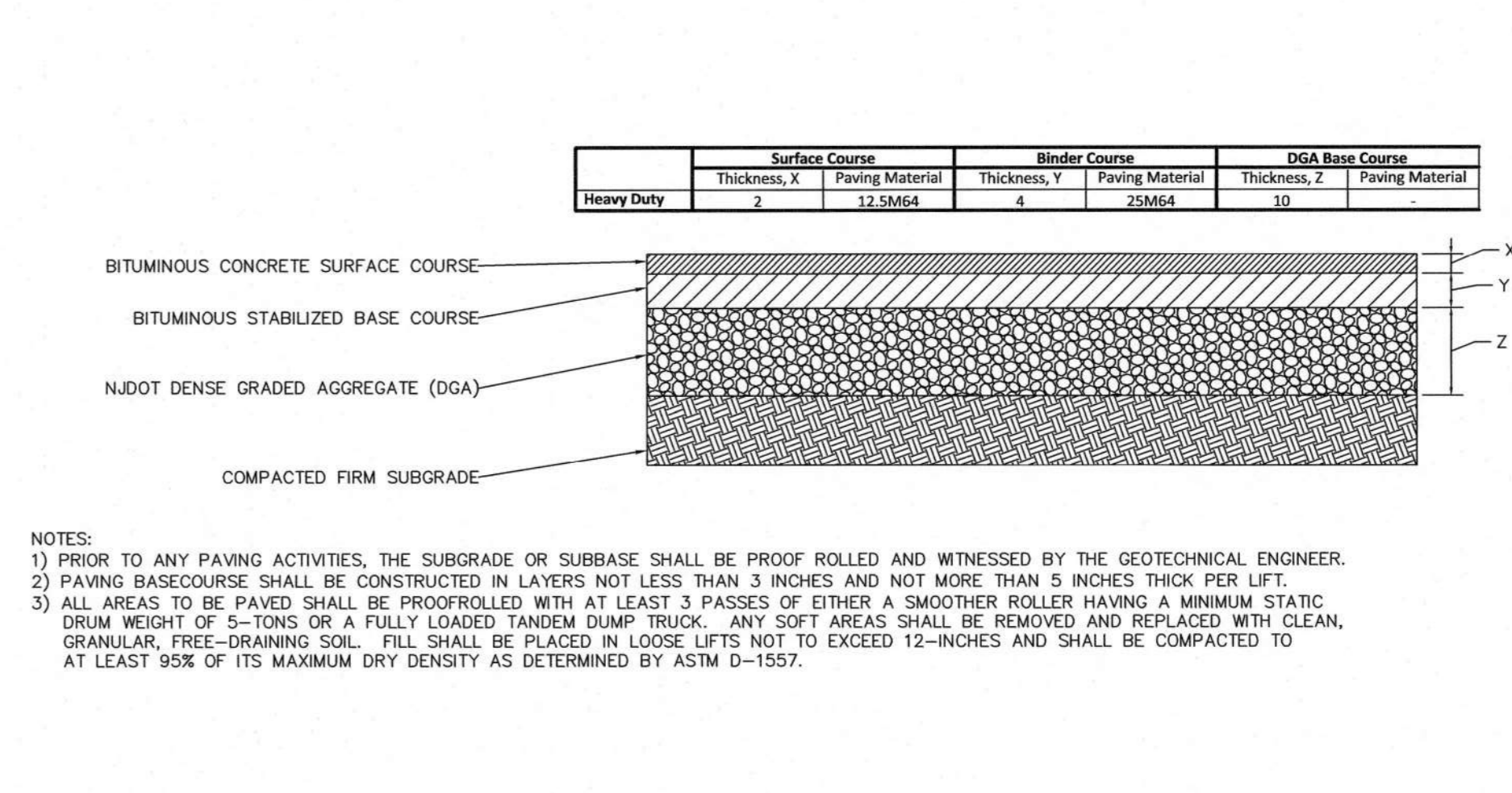
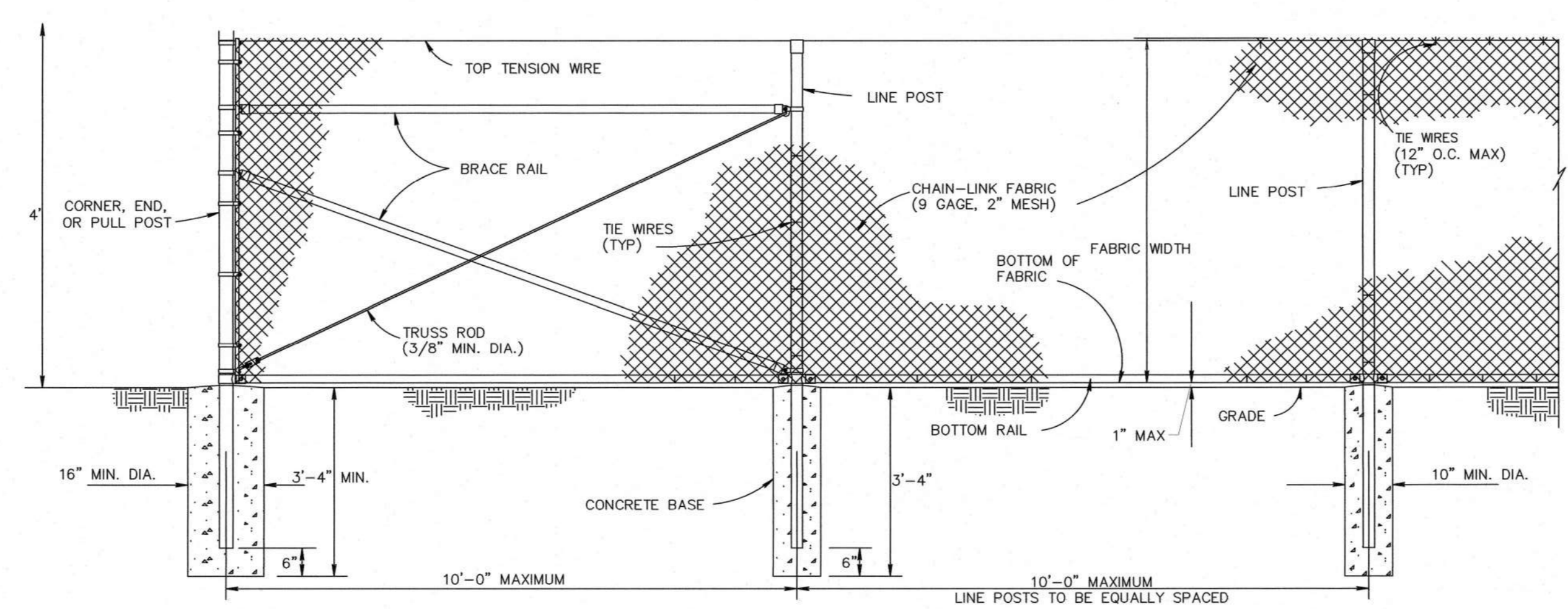
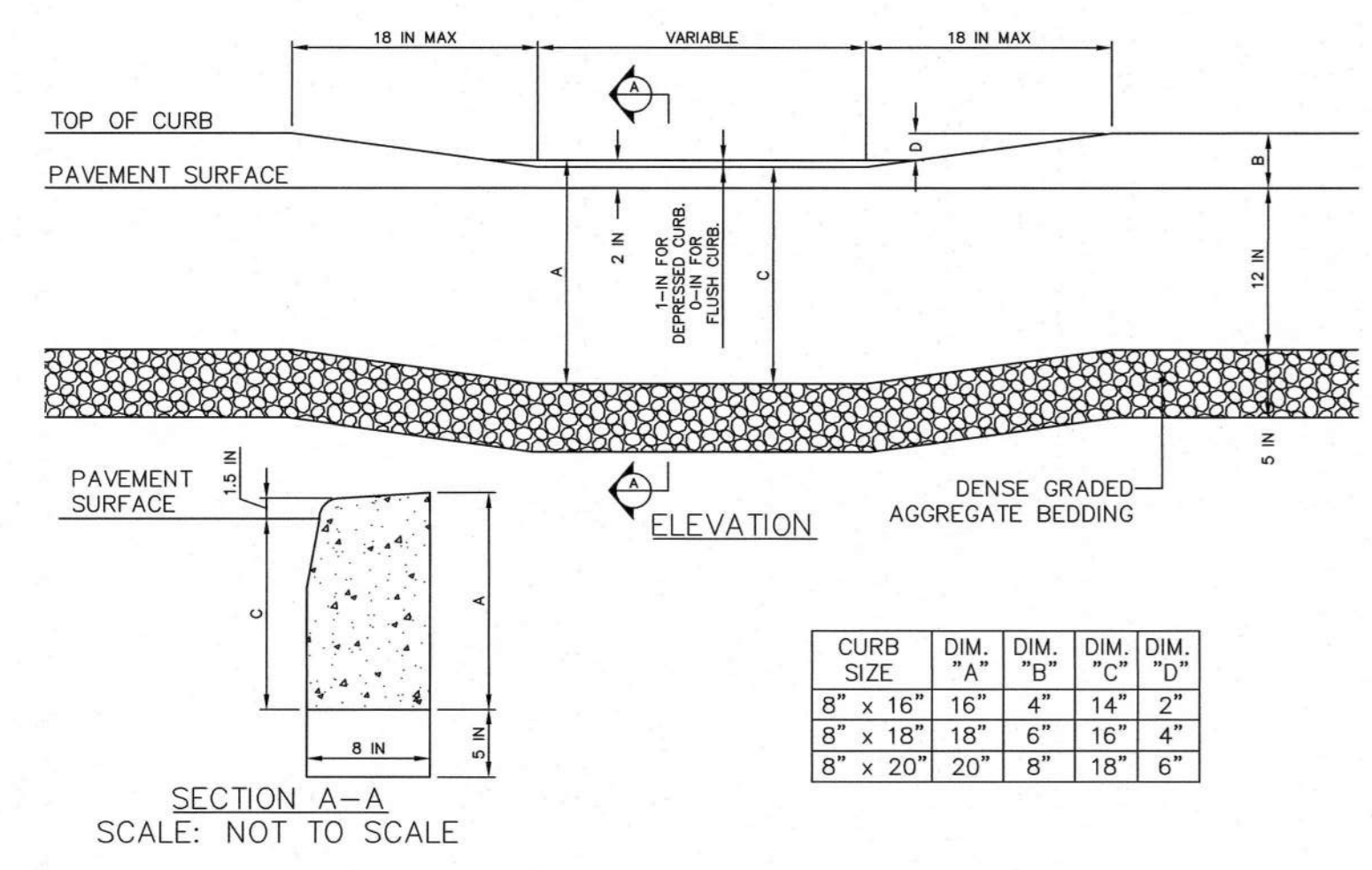


**ACCESSIBLE PARKING DETAIL**

**ACCESSIBLE PARKING SIGN**

**SIGNS**

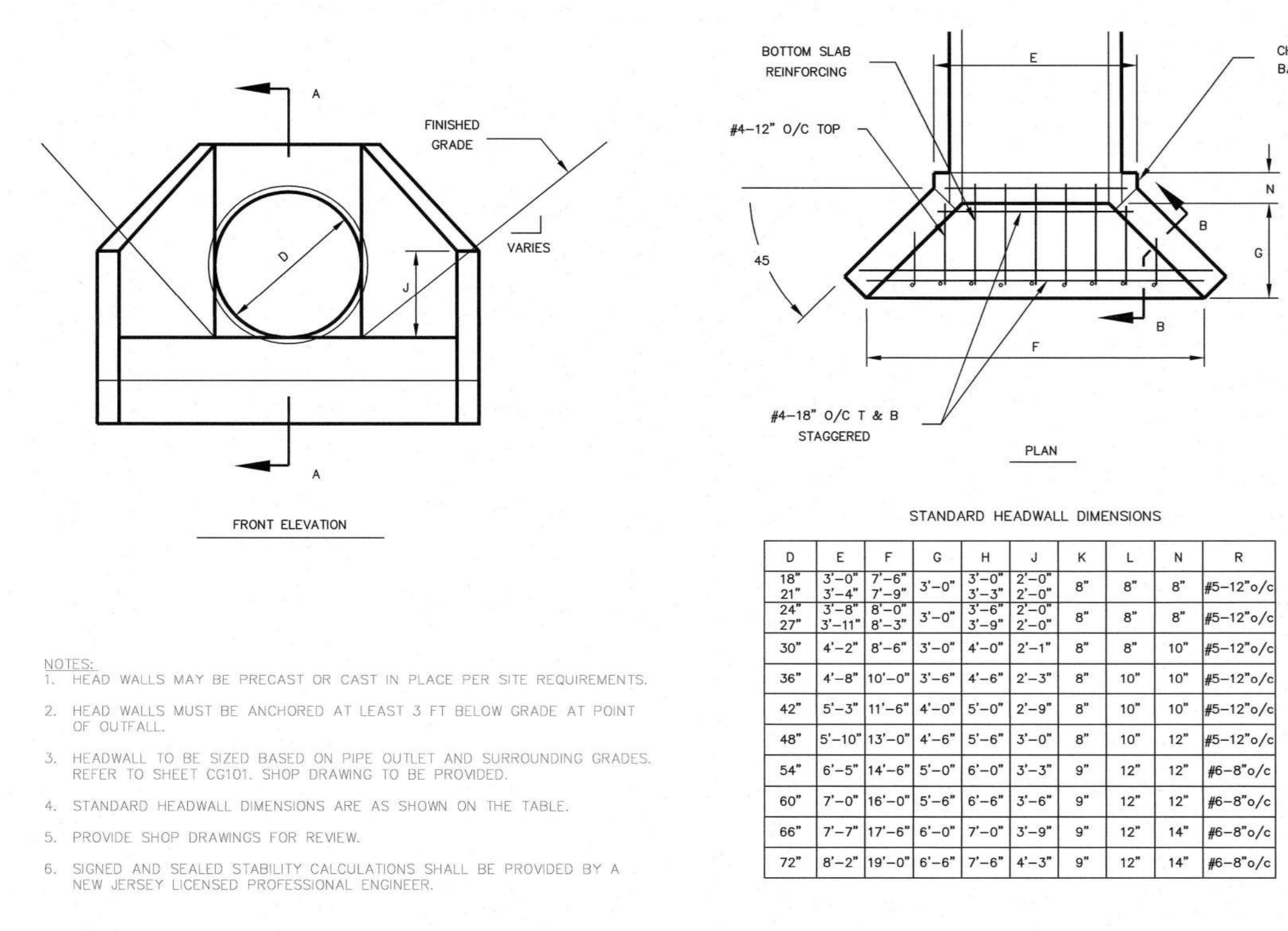
**CONCRETE SIDEWALK**



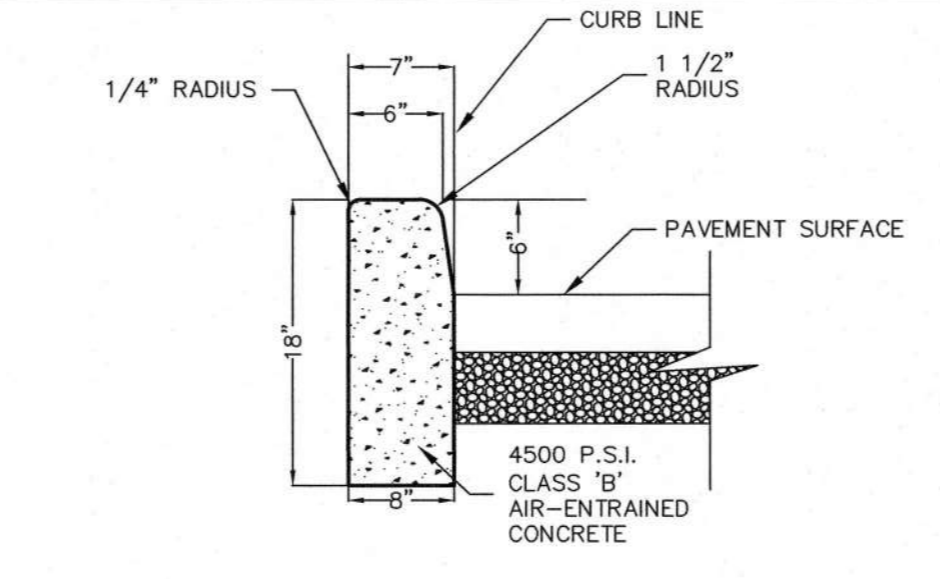
**FLUSH/DEPRESSED CURB**

**CHAIN-LINK SECURITY FENCE**

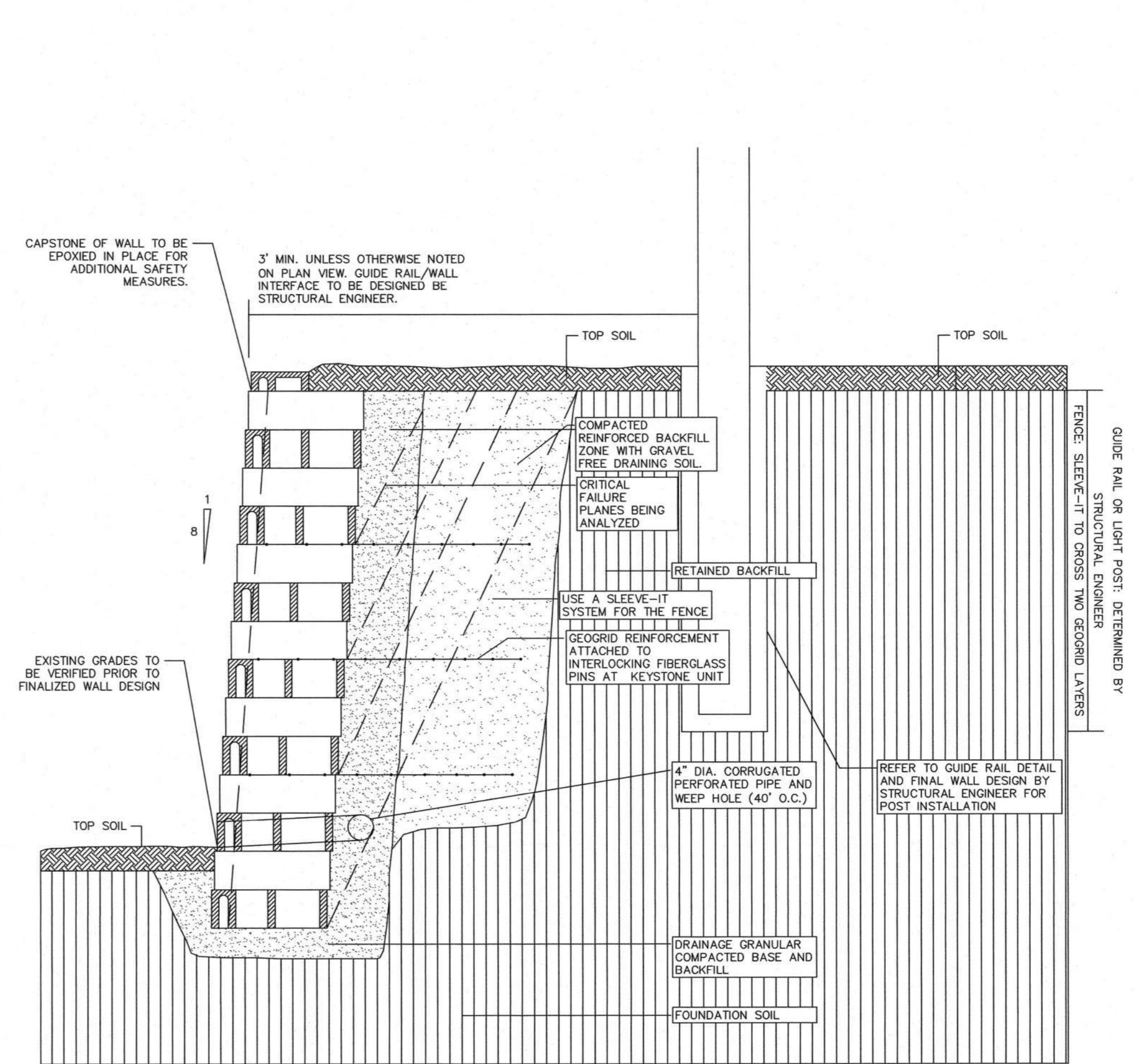
**HEAVY DUTY ASPHALT PAVEMENT SECTION**



**HEADWALL**



**SITE CURB**



**MODULAR BLOCK RETAINING WALL**

Date	Description	No.
06/15/2023	PLANNING BOARD SUBMISSION	2
06/01/2023	NJDEP APPLICATION	1

**REVISIONS**

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NJ CERTIFICATE OF AUTHORIZATION NO. 24GA2796400

**KING ARTHUR COURT WAREHOUSE**

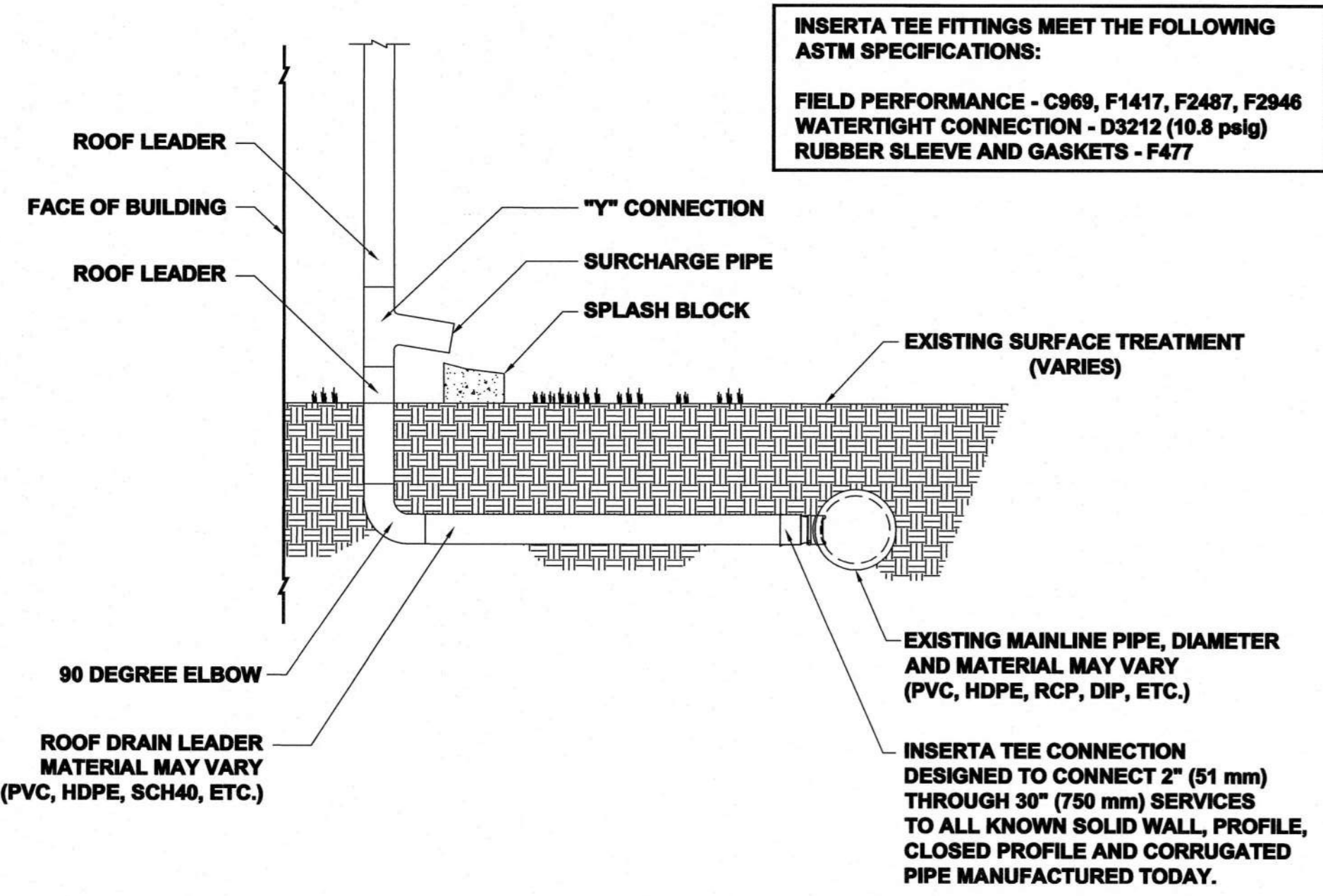
BLOCK No. 252, LOT No. 5.03  
NORTH BRUNSWICK

MIDDLESEX COUNTY NEW JERSEY

**SITE PLAN DETAILS 1**

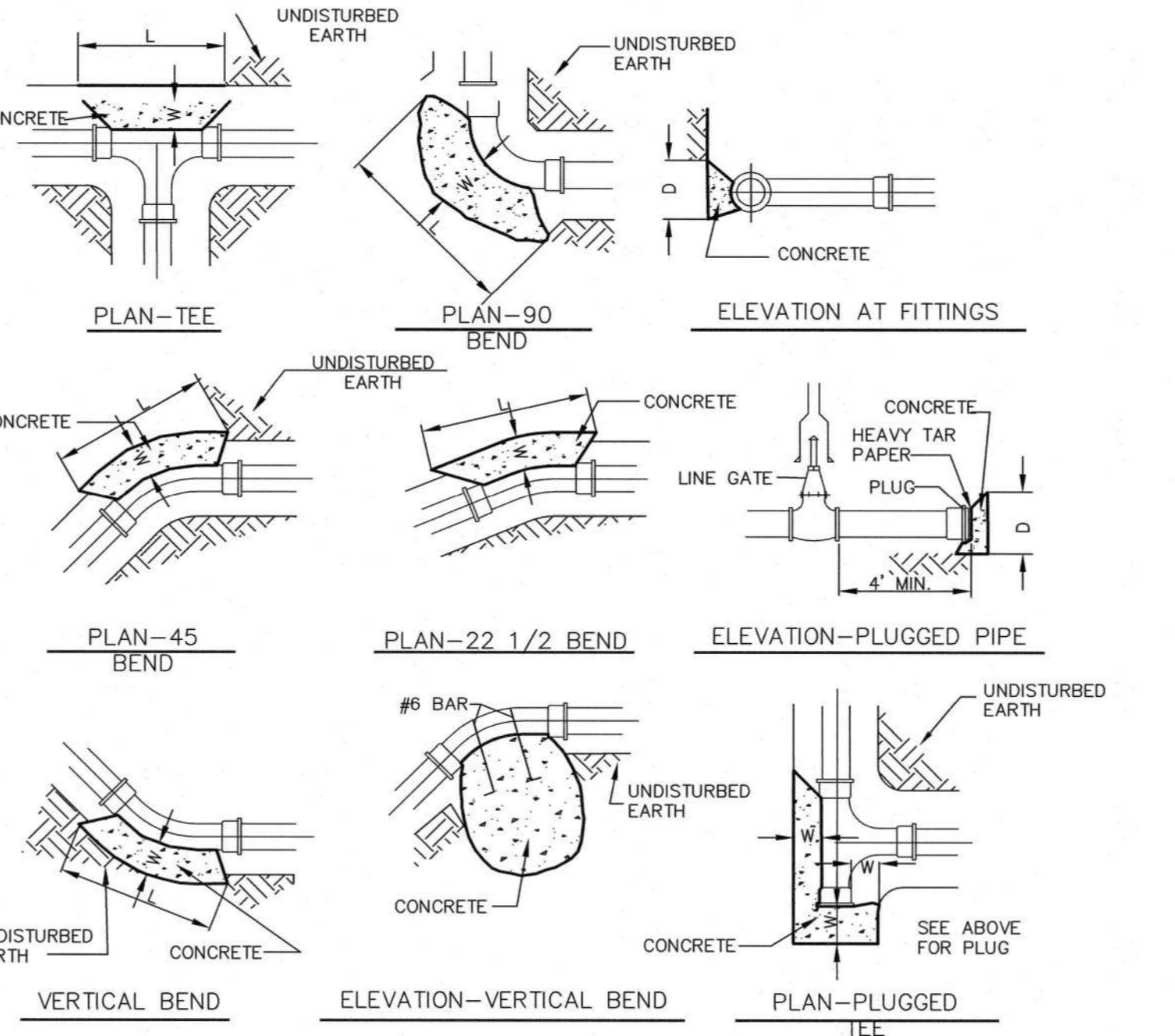
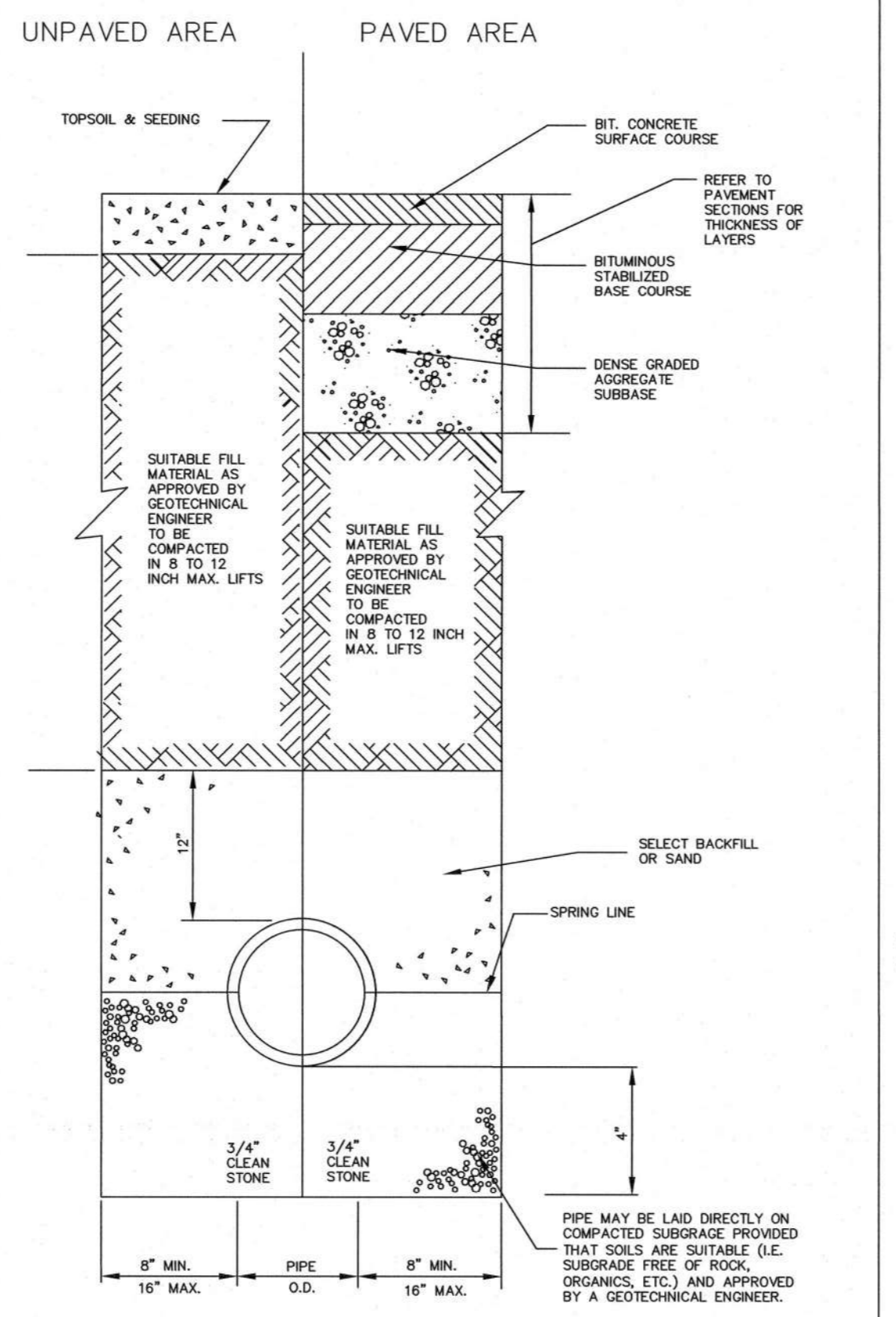
Project No.	100851001	Drawing No.	CS501
Date	FEBRUARY 27, 2023	Drawn By	JPNR
Checked By	PM	Sheet 19 of 22	

Project No. 100851001



**INSERTA TEE FITTINGS MEET THE FOLLOWING ASTM SPECIFICATIONS:**  
**FIELD PERFORMANCE - C989, F1417, F2487, F2946**  
**WATERTIGHT CONNECTION - D3212 (10.9 psi)**  
**RUBBER SLEEVE AND GASKETS - F477**

**INSERTA TEE - ROOF DRAIN LEADER**  
 THIS PRODUCT IS SUBJECT TO THE FOLLOWING CONDITIONS: THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

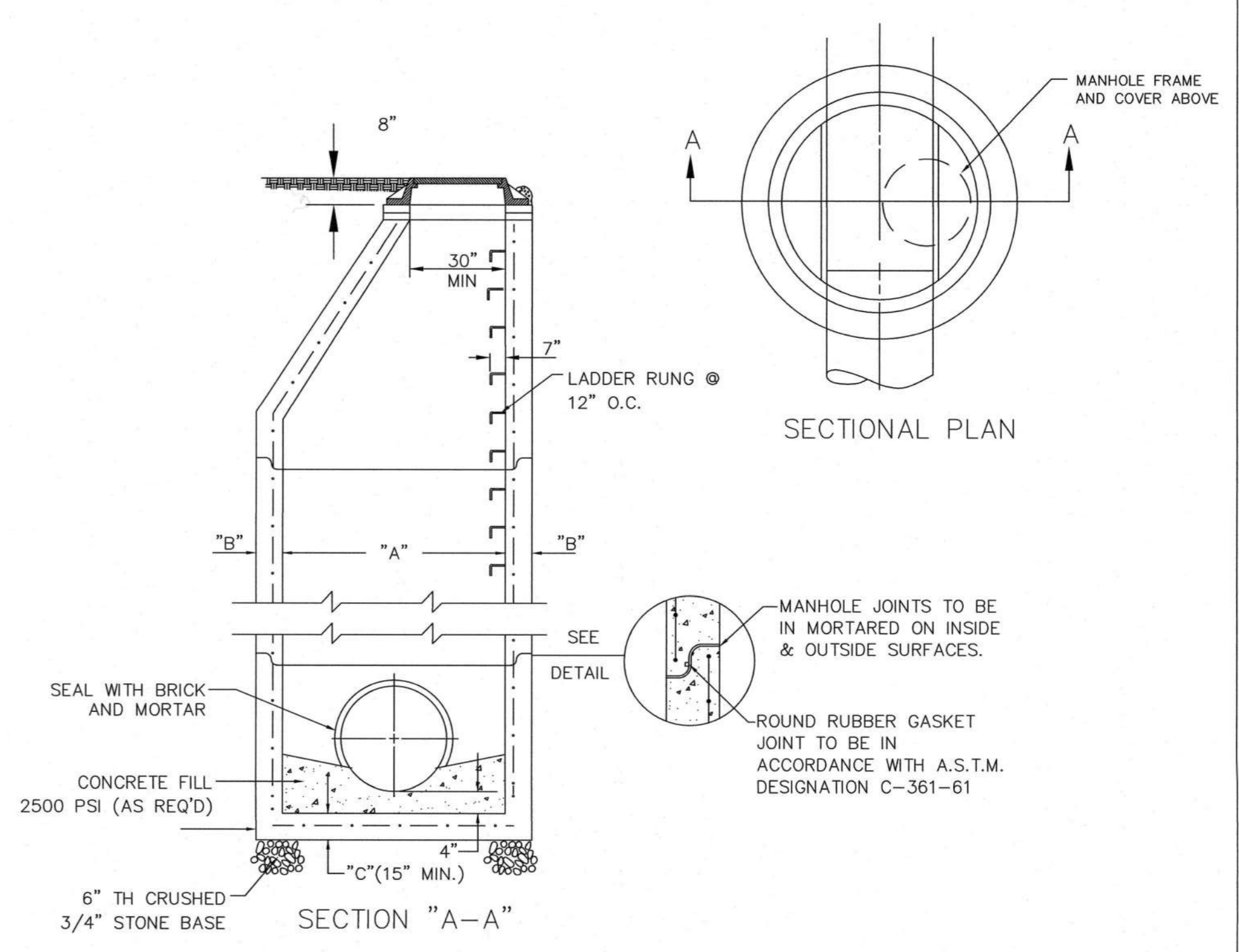


**THRUST BLOCK SCHEDULE**

PIPE SIZE	TEE	22 1/2 BEND	45 BEND	90 BEND	W
4"	18"	15"	12"	12"	21"
6"	18"	15"	12"	12"	21"
8"	2'	18"	12"	12"	2'
12"	3'	2'	2'	2'	28"
16"	4'	2.5'	2'	2.33'	15"
20"	5.25'	3'	2'	18"	3'
24"	7.5'	3'	3'	18"	4'

**BASES:**  
 2,000 LB./SQ.FT. SOIL RESISTANCE 250 PSI WATER PRESSURE CORRECTION FACTORS FOR OTHER SOILS:  
 SOFT CLAY 2  
 SAND & GRAVEL 1.33  
 SHALE 0.4

**NOTE:**  
 1. IF SOFT MATERIALS ARE ENCOUNTERED, THE THRUST BLOCKS SIZES SHALL BE ADJUSTED ACCORDINGLY.  
 2. CONCRETE TO BE 3000 PSI.



**MANHOLE SCHEDULE**

PIPE I.D.	"A" (DIA)	"B"
15"-27"	4'-0" (STD)	5"
27"-33"	5'-0"	6"
33"-42"	6'-0"	8"

**GENERAL NOTES:**  
 1. PROVIDE POLYPROPYLENE STEPS 12" O.C.  
 2. CONCRETE STRUCTURE TO BE DESIGNED TO AASHTO HS-20 LOADING.  
 3. CONCRETE TO TEST TO 4,000 PSI @ 28 DAYS.  
 4. CONCRETE STRUCTURE REINFORCING AS PER ASTM A-185.  
 5. FIRST STEP NOT TO EXCEED 12 INCHES FROM TOP OF RIM.  
 6. PROVIDE SHOP DRAWINGS FOR REVIEW.

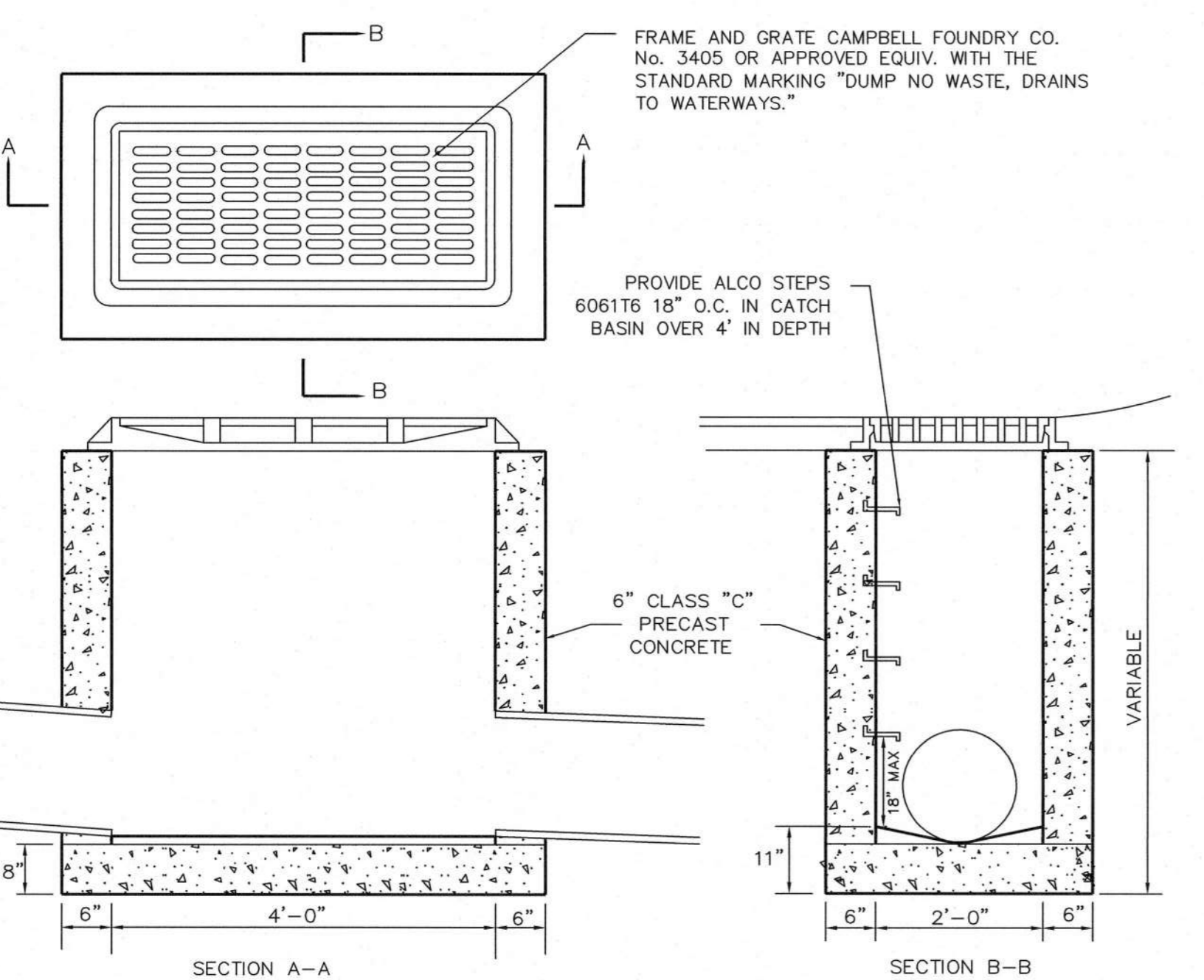
\*PROVIDE SHOP DRAWINGS FOR APPROVAL FOR PIPES LARGER THAN 42-INCH.

**INSERTA TEE CONNECTION**

**SITE TRENCH AND BEDDING**

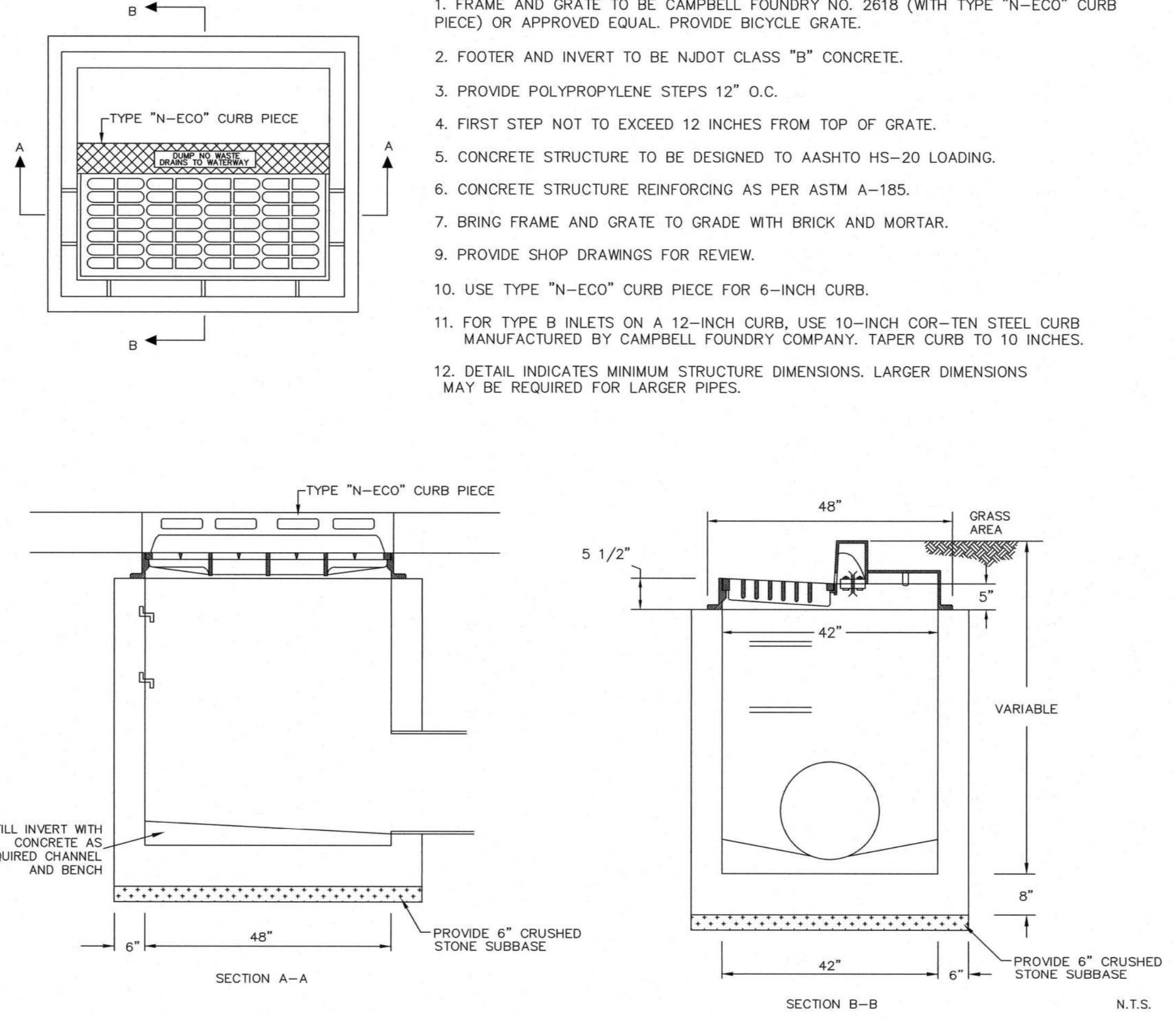
**THRUST BLOCKS FOR WATER OR SEWER**

**STORM MANHOLE**



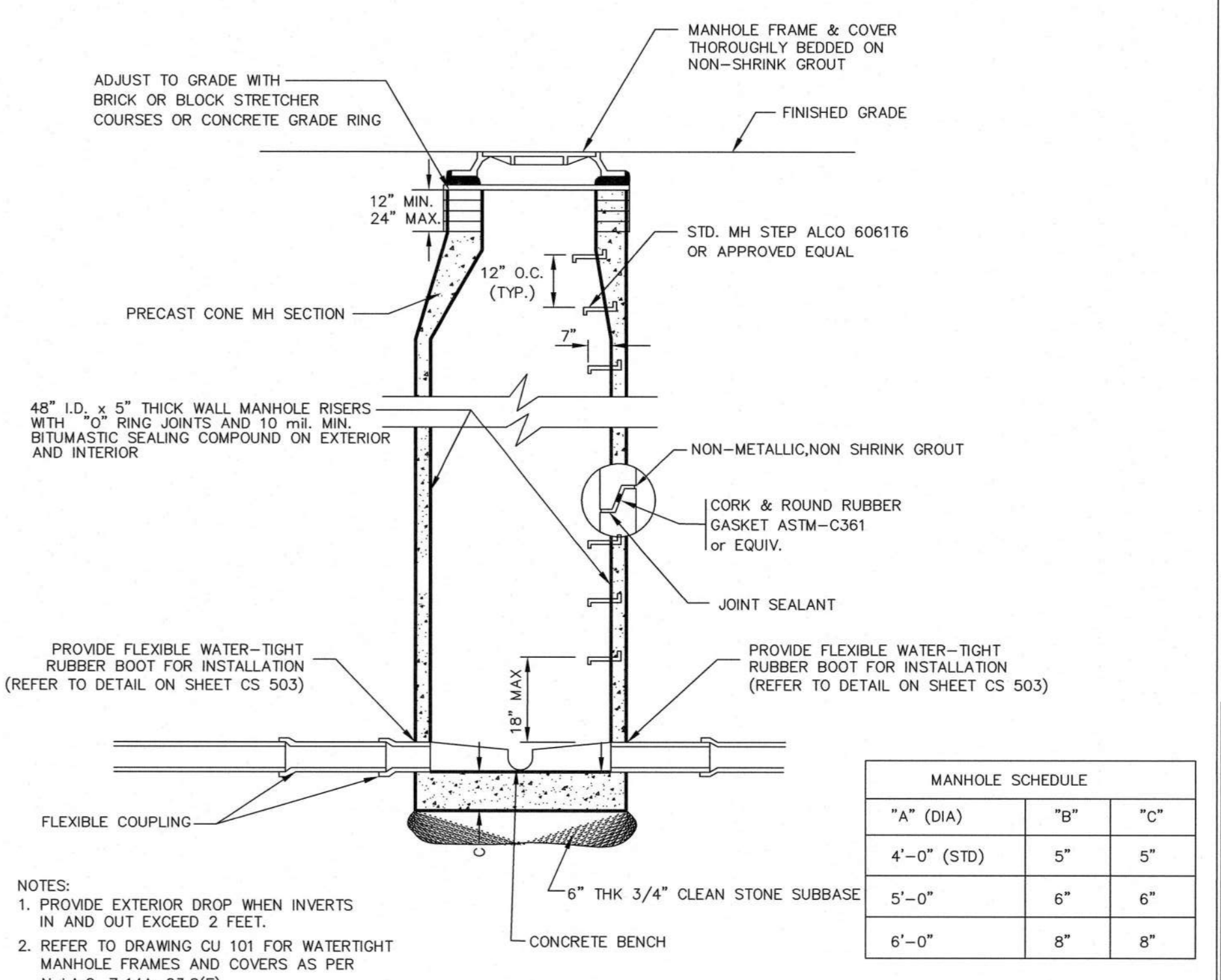
- GENERAL NOTES:**
- FRAME AND GRATE TO BE CAMPBELL FOUNDRY NO. 3405 (TYPE "A") OR APPROVED EQUIV. PROVIDE BICYCLE GRATE.
  - FOOTER AND INVERT TO BE N.J.DOT CLASS "C" CONCRETE.
  - PROVIDE POLYPROPYLENE STEPS 12" O.C.
  - CONCRETE STRUCTURE TO BE DESIGNED TO AASHTO HS-20 LOADING.
  - CONCRETE TO TEST TO 4,000 PSI @ 28 DAYS.
  - CONCRETE STRUCTURE REINFORCING AS PER ASTM A-185.
  - BRING FRAME AND GRATE TO GRADE WITH BRICK AND MORTAR.
  - FIRST STEP NOT TO EXCEED 12 INCHES FROM TOP OF GRATE.
  - PROVIDE SHOP DRAWINGS FOR REVIEW.
  - DETAIL INDICATES MINIMUM STRUCTURE DIMENSIONS. LARGER DIMENSIONS MAY BE REQUIRED FOR LARGER PIPES.

**CATCH BASIN TYPE 'A'**



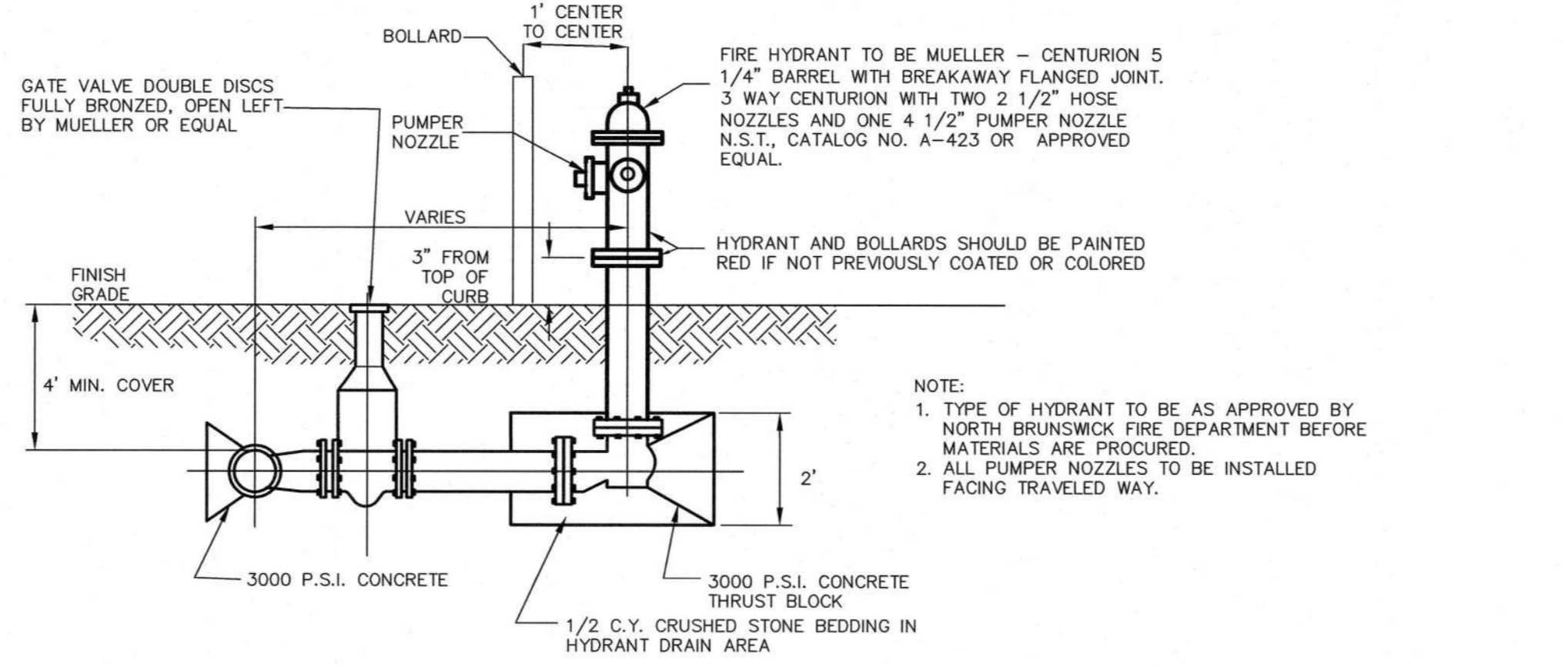
- GENERAL NOTES:**
- FRAME AND GRATE TO BE CAMPBELL FOUNDRY NO. 2618 (WITH TYPE "N-ECO" CURB PIECE) OR APPROVED EQUIV. PROVIDE BICYCLE GRATE.
  - FOOTER AND INVERT TO BE N.J.DOT CLASS "B" CONCRETE.
  - PROVIDE POLYPROPYLENE STEPS 12" O.C.
  - FIRST STEP NOT TO EXCEED 12 INCHES FROM TOP OF GRATE.
  - CONCRETE STRUCTURE TO BE DESIGNED TO AASHTO HS-20 LOADING.
  - CONCRETE STRUCTURE REINFORCING AS PER ASTM A-185.
  - BRING FRAME AND GRATE TO GRADE WITH BRICK AND MORTAR.
  - PROVIDE SHOP DRAWINGS FOR REVIEW.
  - USE TYPE "N-ECO" CURB PIECE FOR 6-INCH CURB.
  - FOR TYPE B INLETS ON A 12-INCH CURB, USE 10-INCH COR-TEN STEEL CURB MANUFACTURED BY CAMPBELL FOUNDRY COMPANY. TAPER CURB TO 10 INCHES.
  - DETAIL INDICATES MINIMUM STRUCTURE DIMENSIONS. LARGER DIMENSIONS MAY BE REQUIRED FOR LARGER PIPES.

**CATCH BASIN TYPE 'B'**



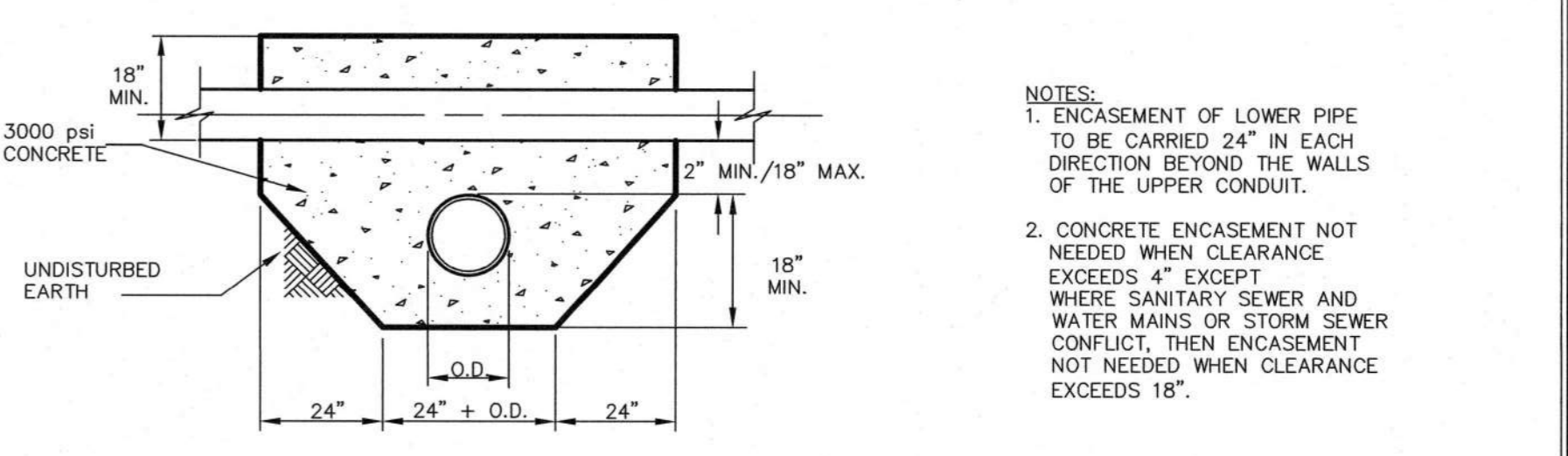
- NOTES:**
- PROVIDE EXTERIOR DROP WHEN INVERTS IN AND OUT EXCEED 2 FEET.
  - REFER TO DRAWING CU 101 FOR WATERTIGHT MANHOLE FRAMES AND COVERS AS PER N.J.A.C. 7-14A-23.6(F).

**SANITARY MANHOLE**



- NOTE:**
- TYPE OF HYDRANT TO BE AS APPROVED BY NORTH BRUNSWICK FIRE DEPARTMENT BEFORE MATERIALS ARE PROCURED.
  - ALL PUMPER NOZZLES TO BE INSTALLED FACING TRAVELED WAY.

**FIRE HYDRANT**



- NOTES:**
- ENCASEMENT OF LOWER PIPE TO BE CARRIED 24" IN EACH DIRECTION BEYOND THE WALLS OF THE UPPER CONDUIT.
  - CONCRETE ENCASEMENT NOT NEEDED WHEN CLEARANCE EXCEEDS 4" EXCEPT WHERE SANITARY SEWER AND WATER MAINS OR STORM SEWER CONFLICT, THEN ENCASEMENT NOT NEEDED WHEN CLEARANCE EXCEEDS 18".

**UTILITY CROSSING**

Date	Description	No.
06/15/2023	PLANNING BOARD SUBMISSION	2
06/01/2023	NJDEP APPLICATION	1

**REVISIONS**

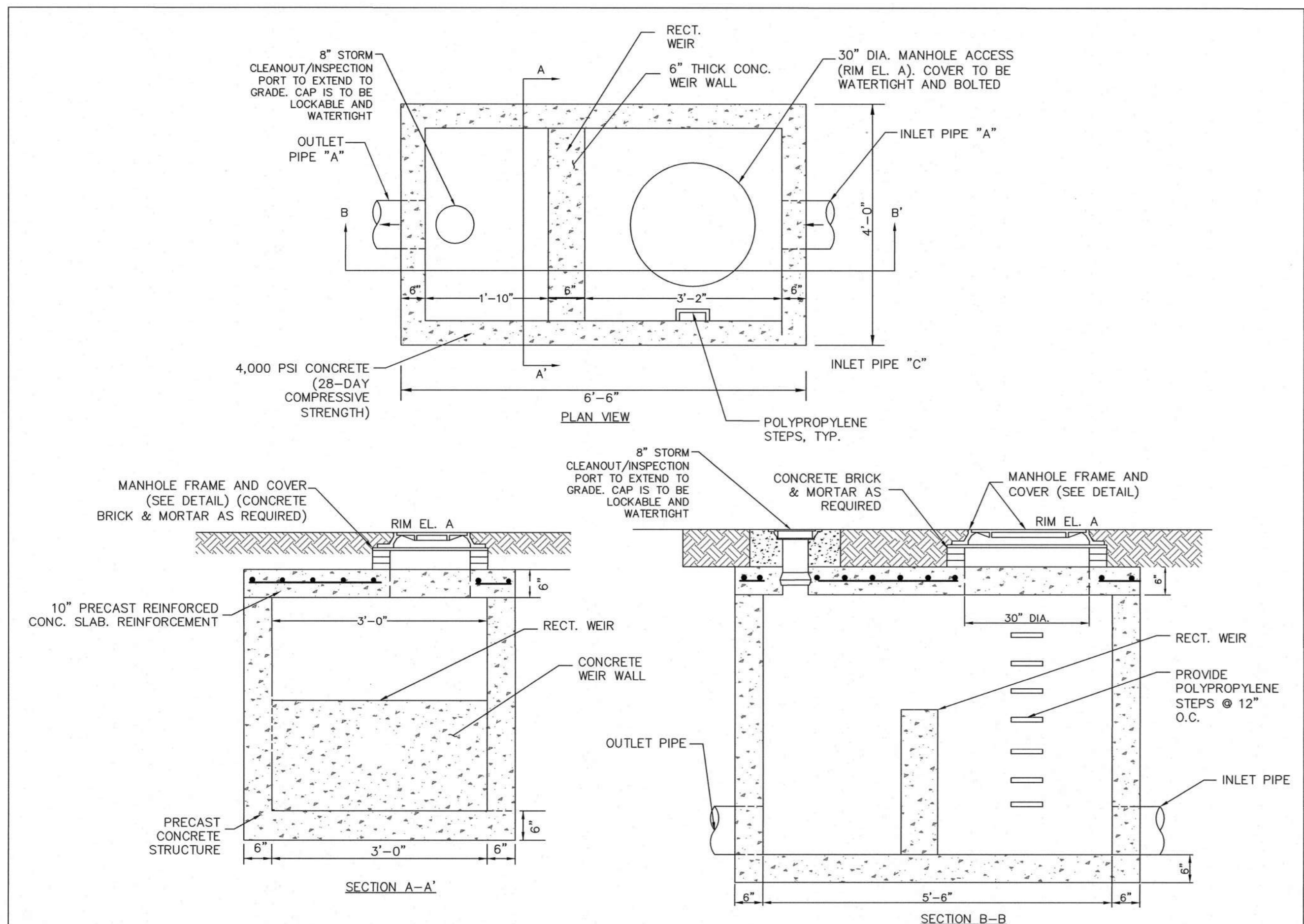
**LANGAN**  
 Langan Engineering and Environmental Services, Inc.  
 300 Kimball Drive  
 Parsippany, NJ 07054  
 T: 973.560.4900 F: 973.560.4901 www.langan.com  
 NJ CERTIFICATE OF AUTHORIZATION NO. 24G02796400

**KING ARTHUR COURT WAREHOUSE**  
 BLOCK No. 252, LOT No. 5.03  
 NORTH BRUNSWICK  
 MIDDLESEX COUNTY NEW JERSEY  
 Drawing Title

**SITE PLAN DETAILS 2**

Project No.	100851001	Drawing No.	CS502
Date	FEBRUARY 27, 2023	Drawn By	JPNR
Checked By	PM	Sheet	20 of 22

Project No. 100851001

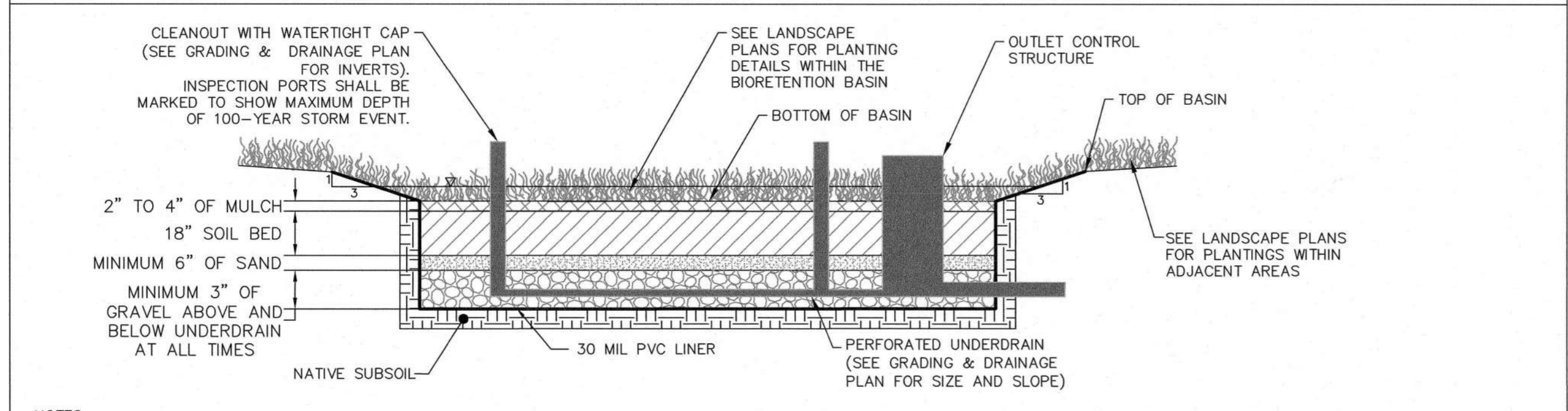


NOTES:

- STRUCTURAL REINFORCEMENT TO BE DESIGNED BY PRECAST MANUFACTURER.
- CONTRACTOR SHALL PROVIDE SHOP DRAWING SUBMITTAL FOR OUTLET CONTROL STRUCTURE TO DESIGN ENGINEER FOR REVIEW.

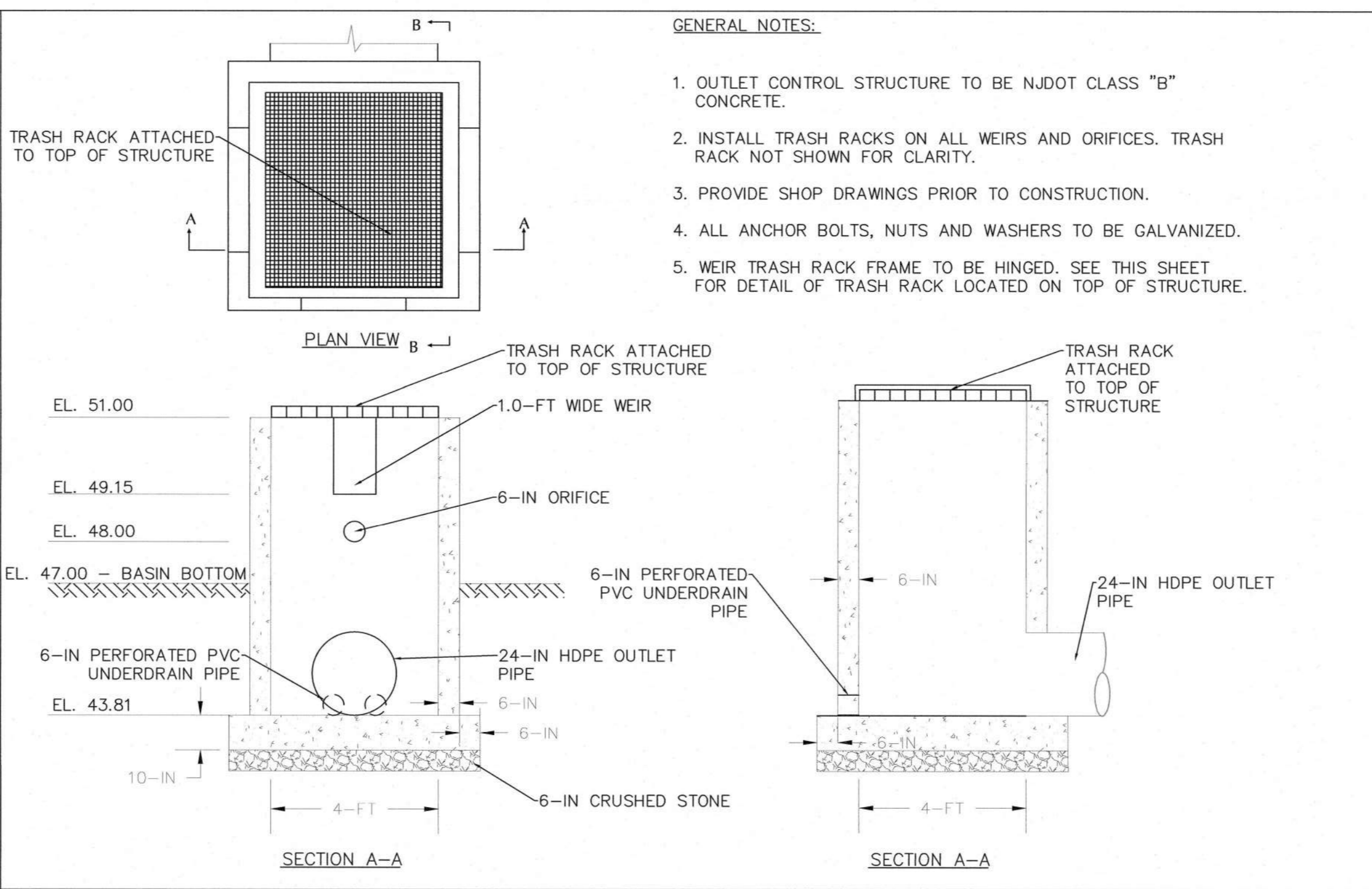
	INLET PIPE	OUTLET PIPE	RECT. WEIR	RIM EL. A				
	SIZE	INVERT	SIZE	INVERT	LENGTH	INVERT	EL.	EL.
OCS-300	24" HDPE	EL. 49.50	24" HDPE	EL. 49.00	3 FT	EL. 50.00	EL. 56.86	
OCS-400	24" HDPE	EL. 51.50	24" HDPE	EL. 51.00	3 FT	EL. 52.00	EL. 55.47	

**OCS STRUCTURES 300 & 400**



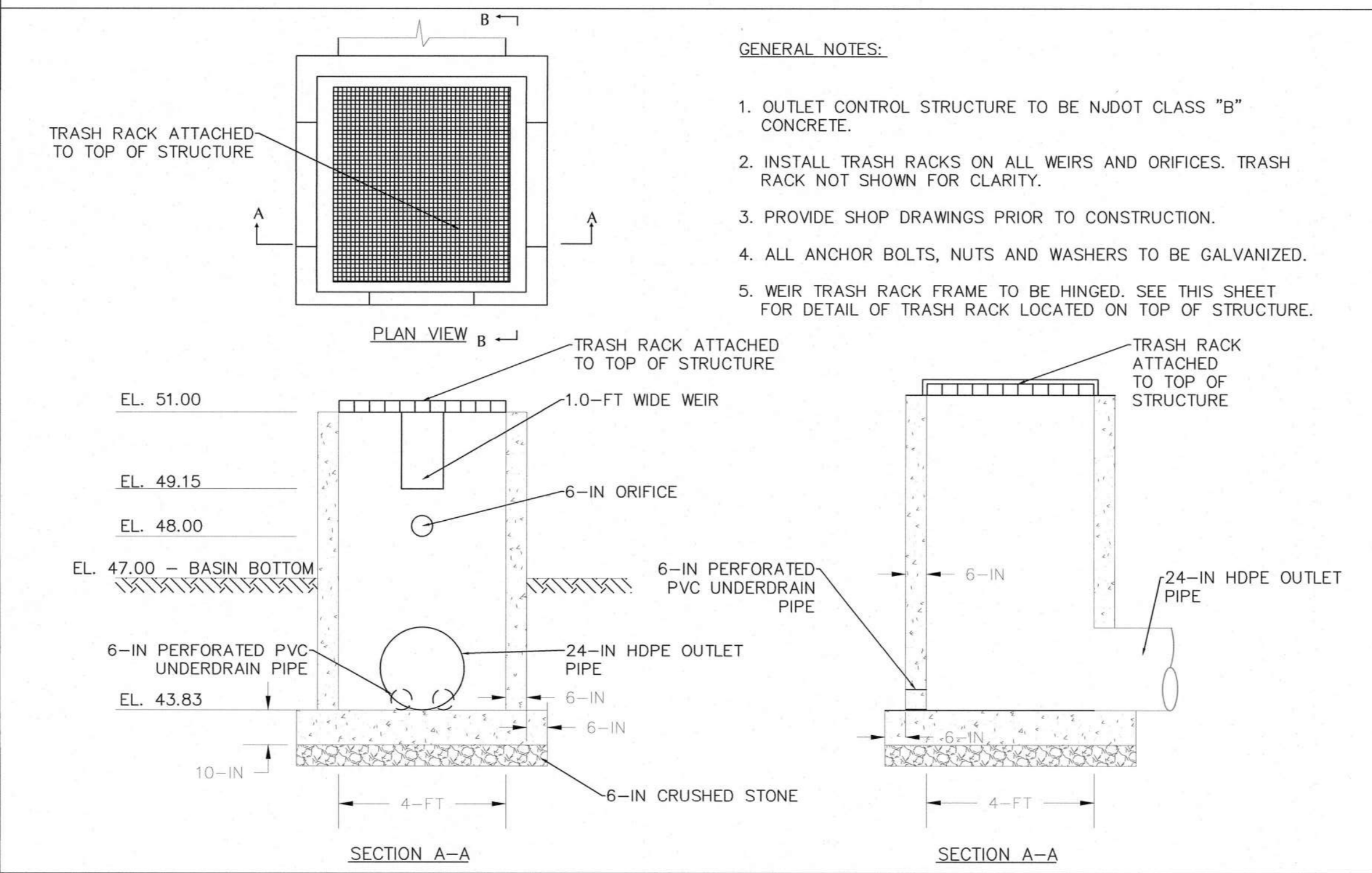
- NOTES:
- BIORETENTION BASINS (INCLUDING THE MULCH, SOIL BED, SAND AND GRAVEL LAYER) SHALL BE CONSTRUCTED IN CONFORMANCE WITH NEW JERSEY STORMWATER BEST MANAGEMENT PRACTICES MANUAL SECTION 9.7 FOR SMALL-SCALE BIORETENTION SYSTEMS AND SECTION 10.1 FOR LARGE-SCALE BIORETENTION SYSTEMS.
  - LINER SHALL BE INSTALLED DURING TIME OF LOW GROUNDWATER. DEWATERING MAY BE NECESSARY TO INSTALL LINER.
  - LINER SHALL BE A MINIMUM 30 MIL GEOMEMBRANE OR 60 MIL HDPE WITH A MAXIMUM PERMEABILITY OF  $1 \times 10^{-7}$  CM/SEC AND A MINIMUM 30-YEAR DESIGN LIFE.
  - LINER SHALL BE INSTALLED WHOLLY BELOW THE AVERAGE DEPTH OF FROST PENETRATION IN THE AREA AS DETERMINED BY UNITED STATES DEPARTMENT OF AGRICULTURE.
  - AT LEAST ONE (1) INSPECTION PORT, WITH A REMOVABLE CAP, MUST BE PROVIDED AT THE UPSTREAM AND DOWNSTREAM ENDS OF THE PERFORATED SECTION OF THE NETWORK OF PIPES. INSPECTION PORTS SHALL BE MARKED TO SHOW MAXIMUM DEPTH OF 100-YEAR STORM EVENT - SEE CROSS SECTION DETAILS THIS SHEET.

**BIORETENTION BASIN TYPICAL CROSS SECTION**



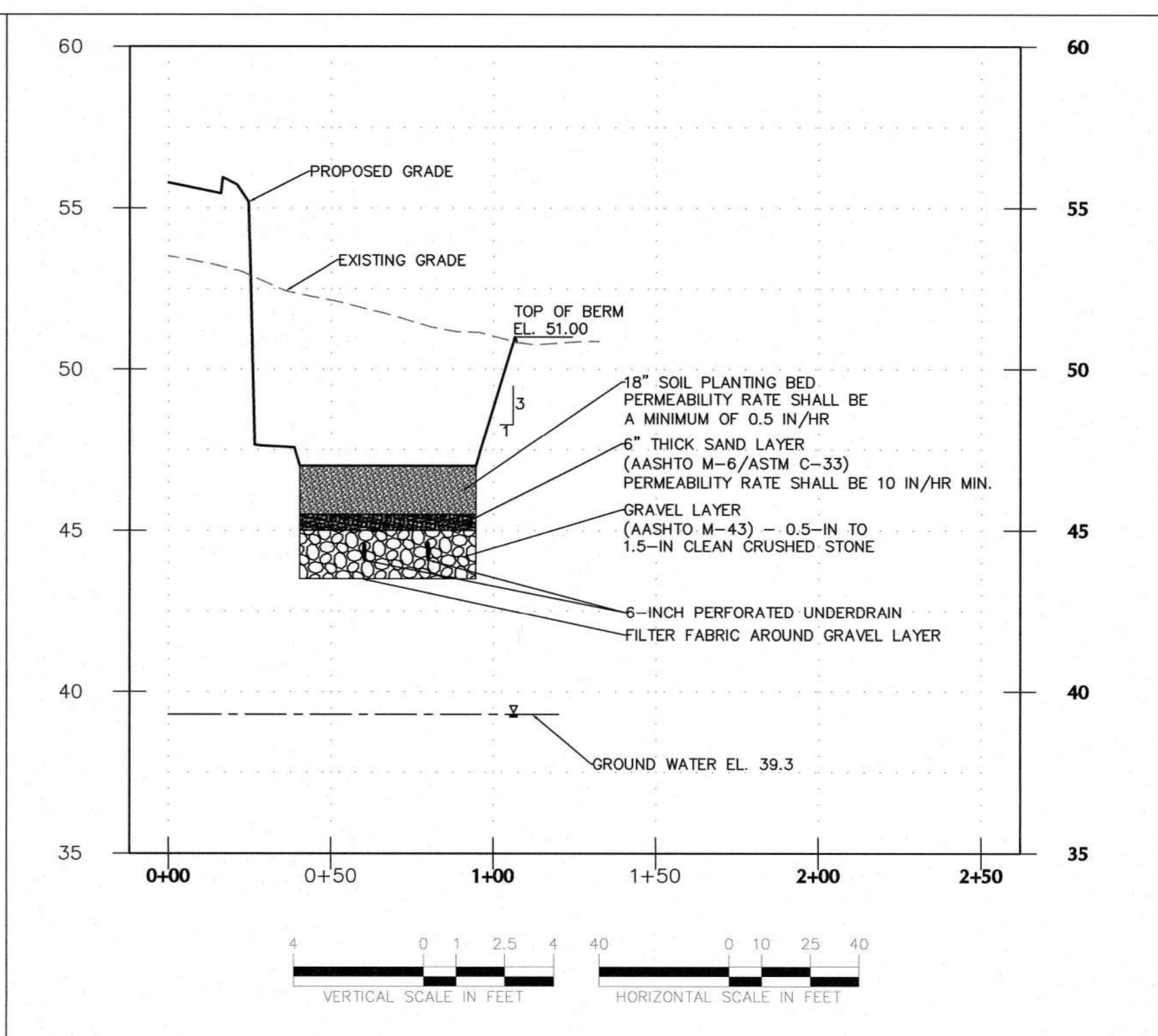
- GENERAL NOTES:
- OUTLET CONTROL STRUCTURE TO BE NJDOT CLASS "B" CONCRETE.
  - INSTALL TRASH RACKS ON ALL WEIRS AND ORIFICES. TRASH RACK NOT SHOWN FOR CLARITY.
  - PROVIDE SHOP DRAWINGS PRIOR TO CONSTRUCTION.
  - ALL ANCHOR BOLTS, NUTS AND WASHERS TO BE GALVANIZED.
  - WEIR TRASH RACK FRAME TO BE HINGED. SEE THIS SHEET FOR DETAIL OF TRASH RACK LOCATED ON TOP OF STRUCTURE.

**OCS STRUCTURE 100**

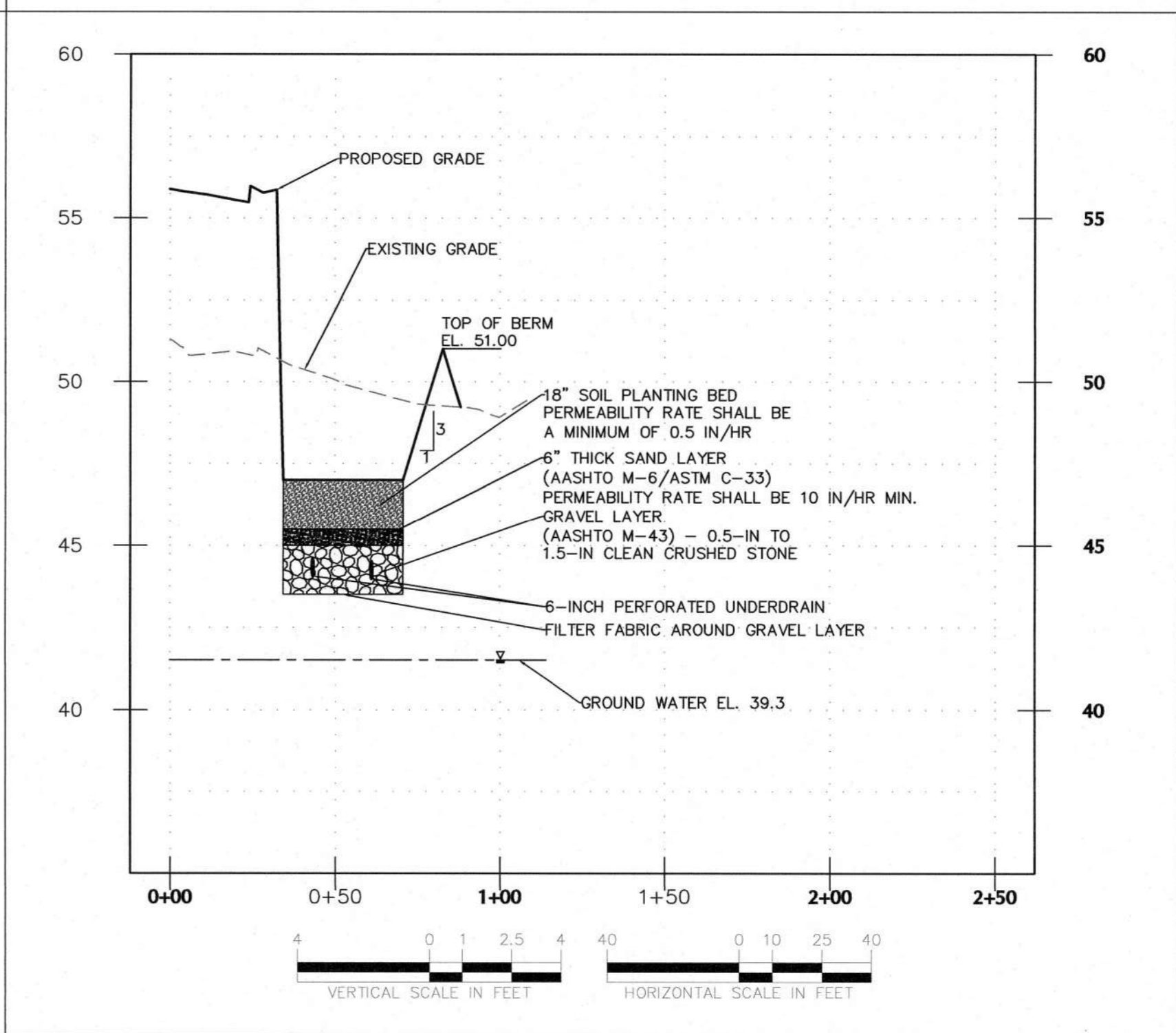


- GENERAL NOTES:
- OUTLET CONTROL STRUCTURE TO BE NJDOT CLASS "B" CONCRETE.
  - INSTALL TRASH RACKS ON ALL WEIRS AND ORIFICES. TRASH RACK NOT SHOWN FOR CLARITY.
  - PROVIDE SHOP DRAWINGS PRIOR TO CONSTRUCTION.
  - ALL ANCHOR BOLTS, NUTS AND WASHERS TO BE GALVANIZED.
  - WEIR TRASH RACK FRAME TO BE HINGED. SEE THIS SHEET FOR DETAIL OF TRASH RACK LOCATED ON TOP OF STRUCTURE.

**OCS STRUCTURE 200**



**BIORETENTION BASIN CROSS SECTION A-A'**



**BIORETENTION BASIN CROSS SECTION B-B'**

06/15/2023	PLANNING BOARD SUBMISSION	2
06/01/2023	NJDEP APPLICATION	1
Date	Description	No.

REVISIONS

SIGNATURE: *[Signature]* DATE SIGNED: 6/16/23  
 PROFESSIONAL ENGINEER NJ Lic. No. 24GE04676300

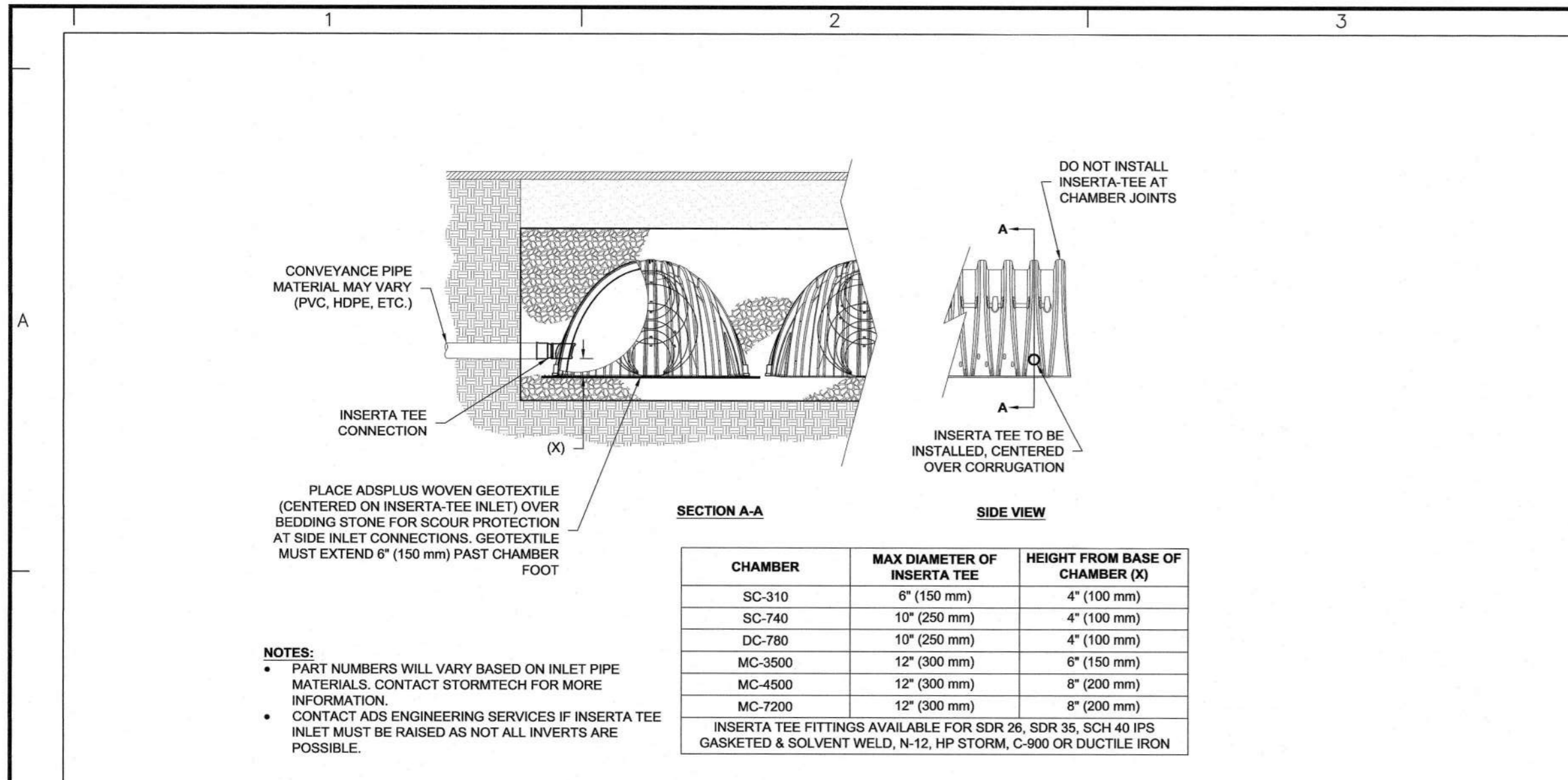
**LANGAN**  
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T: 973.560.4900 F: 973.560.4901 www.langan.com  
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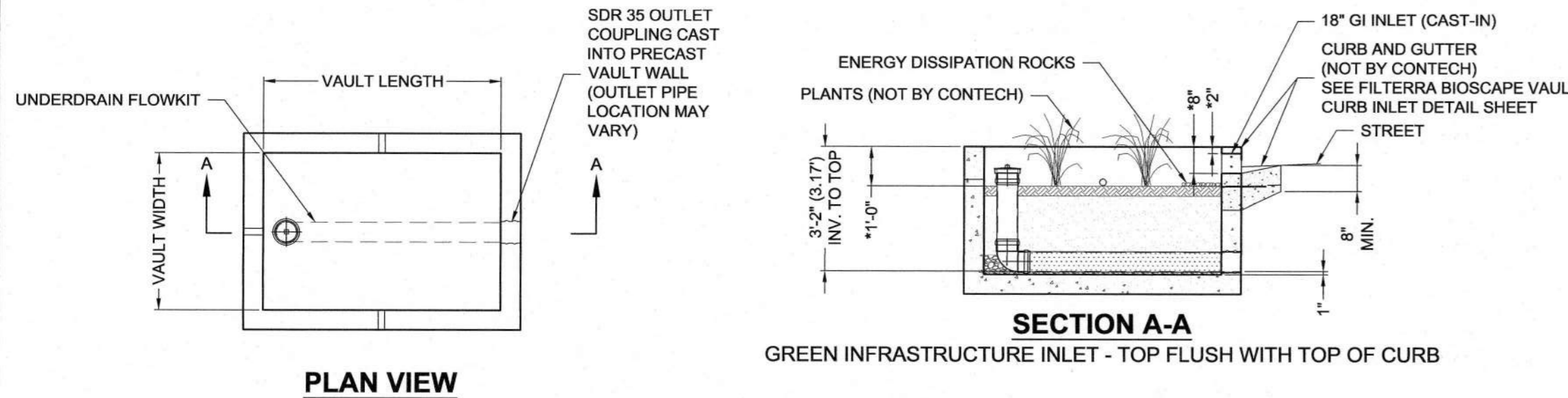
Project  
**KING ARTHUR COURT WAREHOUSE**  
 BLOCK No. 252, LOT No. 5.03  
 NORTH BRUNSWICK  
 MIDDLESEX COUNTY NEW JERSEY

**SITE PLAN DETAILS 3**

Project No.	Drawing No.
100851001	CS503
Date	
FEBRUARY 27, 2023	
Drawn By	
JPNR	
Checked By	
PM	



**ADS STORMTECH INSERTA-TEE SIDE INLET**



**CONTECH OFFLINE HC BIOSCAPE VAULT**

**SC-310 STORMTECH CHAMBER SPECIFICATIONS**

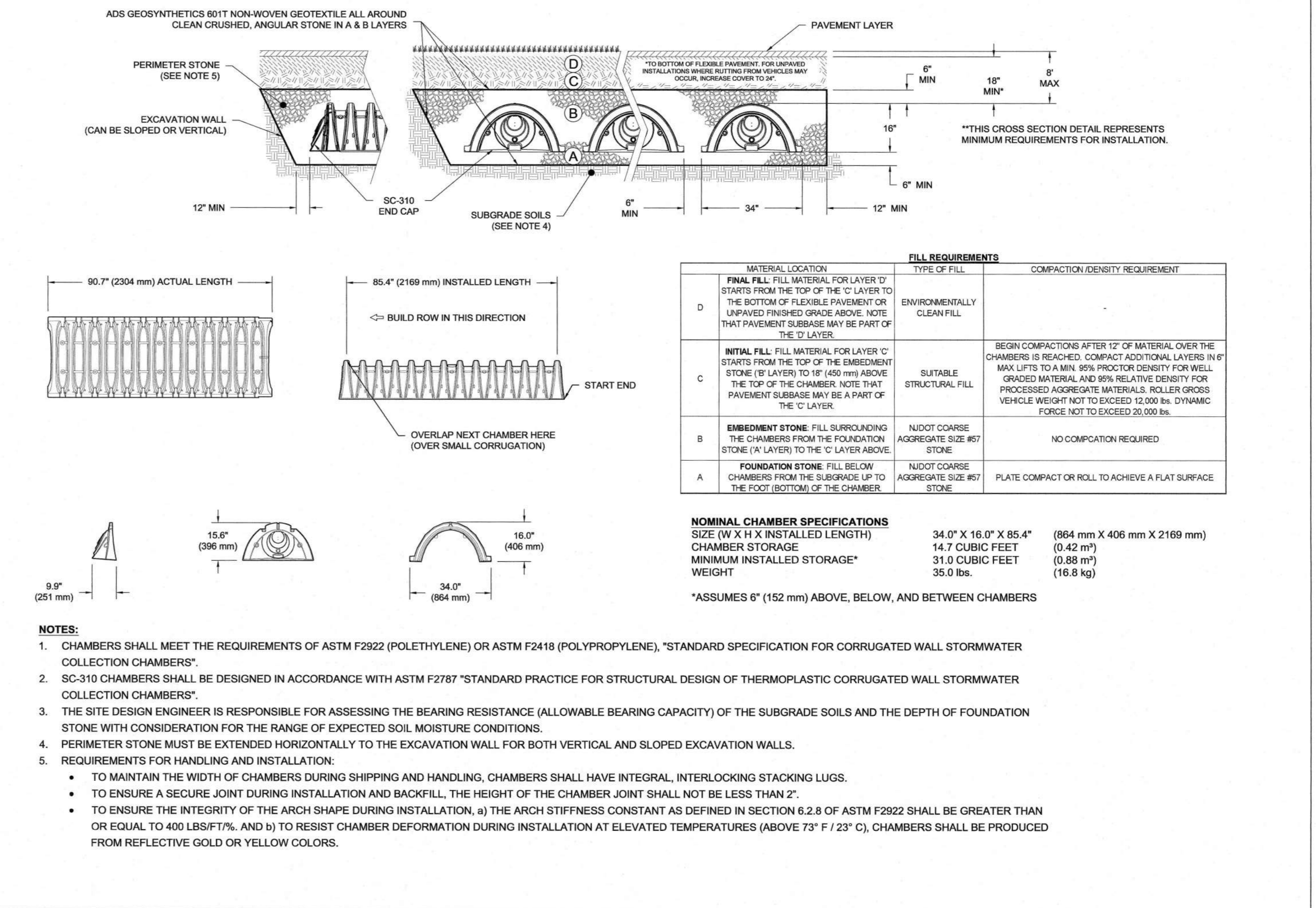
- CHAMBERS SHALL BE STORMTECH SC-310.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE OR POLYETHYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2922 (POLETHYLENE) OR ASTM F2418 (POLYPROPYLENE), "STANDARD SPECIFICATION FOR CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
  - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
  - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
  - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 400 LBS/FT<sup>2</sup>, THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418, AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
  - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
  - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
  - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2922 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

**NOTES FOR CONSTRUCTION EQUIPMENT:**

- STORMTECH SC-310 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- THE USE OF CONSTRUCTION EQUIPMENT OVER SC-310 & SC-740 CHAMBERS IS LIMITED:
  - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
  - NO RUBBER Tired LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
  - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

**USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.**

CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



**ADS STORMTECH SC-310 CHAMBERS**

**SC-740 STORMTECH CHAMBER SPECIFICATIONS**

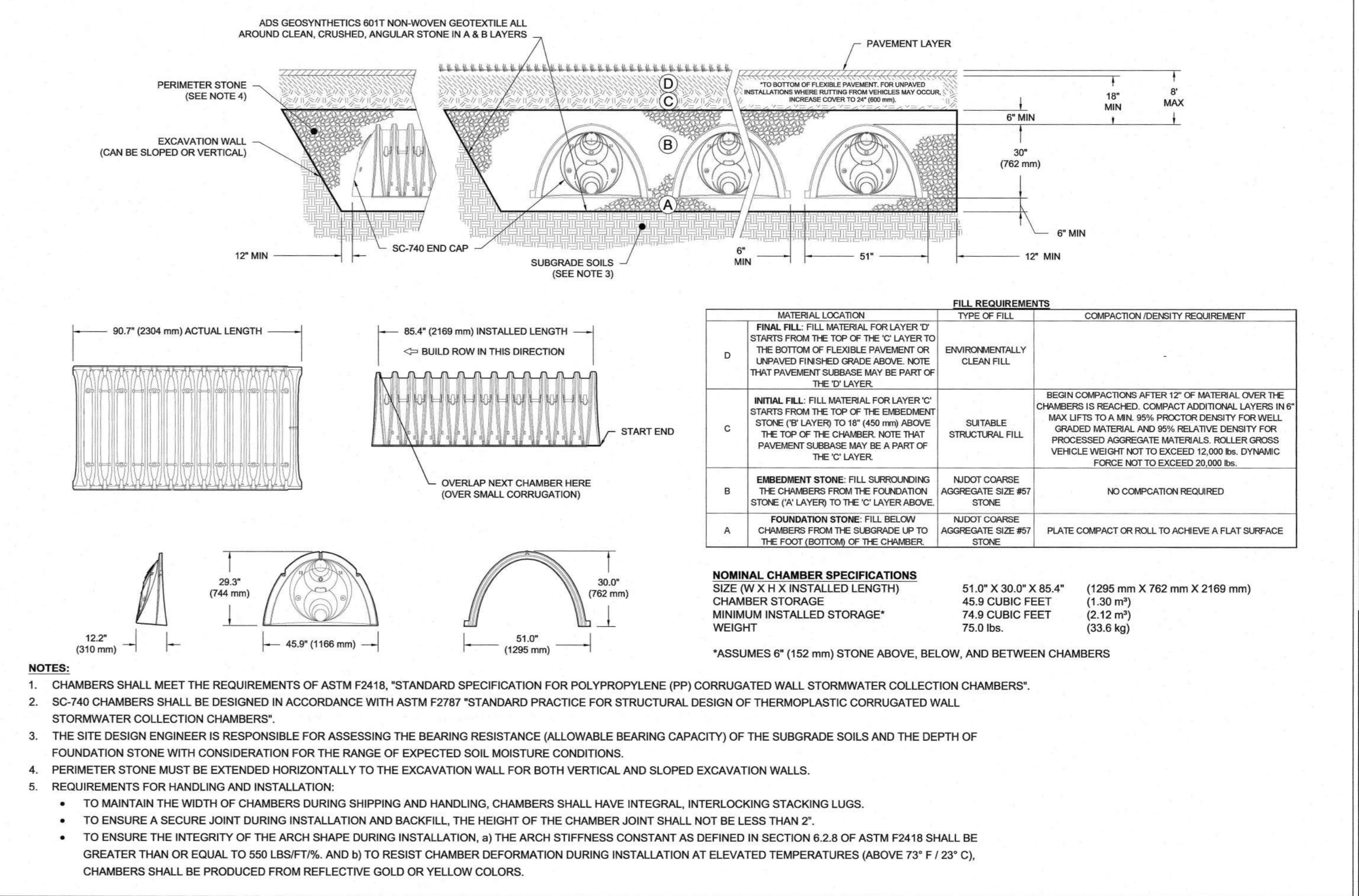
- CHAMBERS SHALL BE STORMTECH SC-740.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE OR POLYETHYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
  - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
  - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
  - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 550 LBS/FT<sup>2</sup>, THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418, AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
  - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
  - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
  - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

**NOTES FOR CONSTRUCTION EQUIPMENT:**

- STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- THE USE OF CONSTRUCTION EQUIPMENT OVER SC-740 CHAMBERS IS LIMITED:
  - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
  - NO RUBBER Tired LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
  - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

**USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.**

CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



**ADS STORMTECH SC-740 CHAMBERS**

Date	Description	No.
06/15/2023	PLANNING BOARD SUBMISSION	2
06/01/2023	NJDEP APPLICATION	1

REVISIONS

6/16/23  
 SIGNATURE DANIEL MIOLA DATE SIGNED  
 PROFESSIONAL ENGINEER NJ Lic. No. 24GE04676300

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 NJ CERTIFICATE OF AUTHORIZATION NO. 24G02799640

Project  
**KING ARTHUR COURT WAREHOUSE**  
 BLOCK No. 252, LOT No. 5.03  
 NORTH BRUNSWICK  
 MIDDLESEX COUNTY NEW JERSEY

Drawing Title  
**SITE PLAN DETAILS 4**

Project No. <b>100851001</b>	Drawing No. <b>CS504</b>
Date <b>FEBRUARY 27, 2023</b>	
Drawn By <b>JPNR</b>	
Checked By <b>PM</b>	Sheet 22 of 22

Project No. 100851001

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