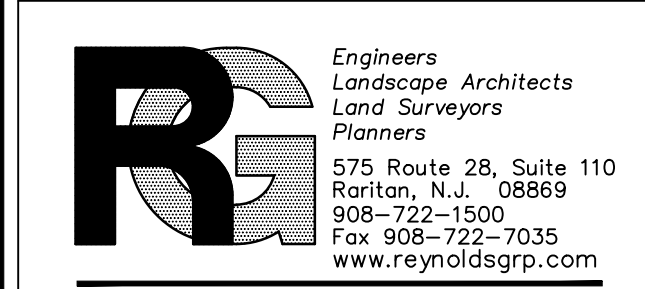
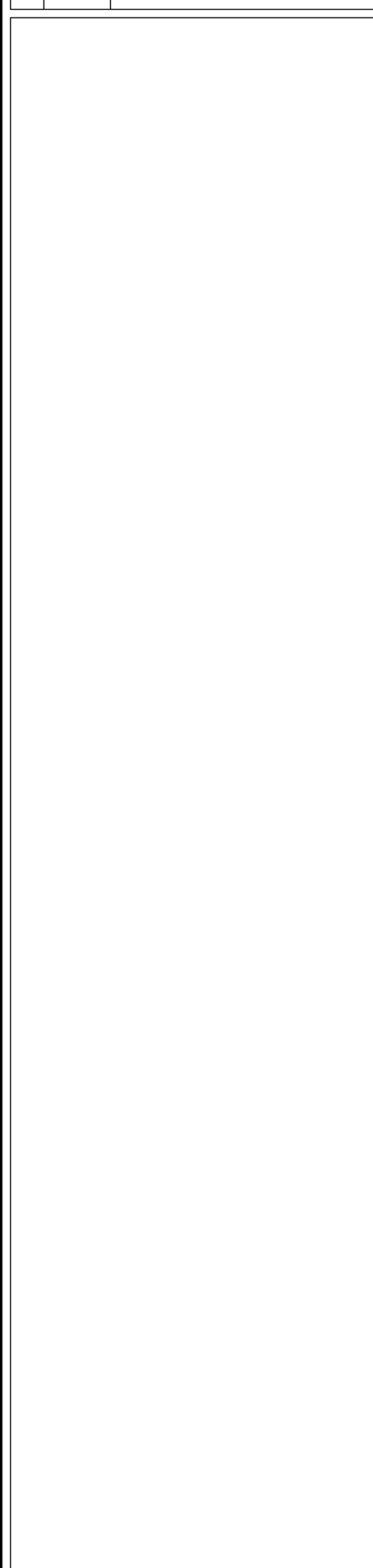


revisions		
no.	date	description



The Reynolds Group Inc.
 State of New Jersey
 Certificate of Authorization
 Number: 240427989200
 21MH00004300

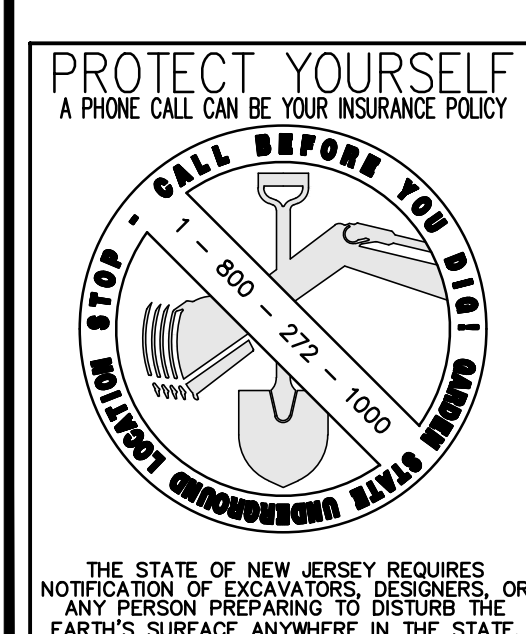
F. Mitchell Ardmán, P.E., P.P.
 Jeffrey D. Reynolds, P.L.A.

F. Mitchell Ardmán
F. MITCHEL ARDMAN
 N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

project
FINAL SITE PLAN
 BLOCK 141 LOT 36.01
 NORTH BRUNSWICK TOWNSHIP
 MIDDLESEX COUNTY - NEW JERSEY

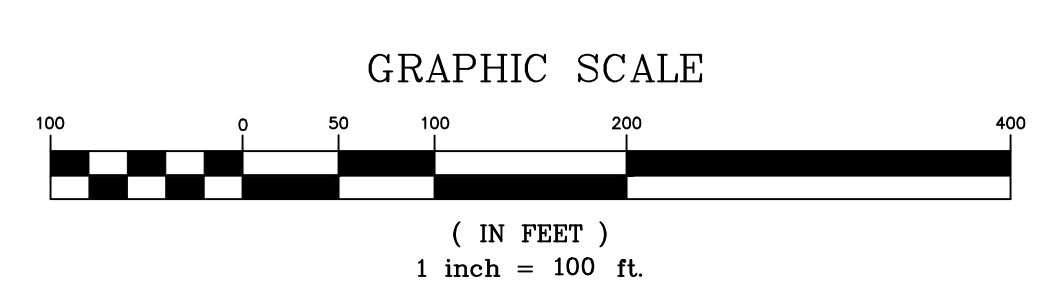
drawing title
**EXISTING CONDITIONS
 PLAN 'A'**

job number 21-042-4	drawing number 2
scale 1"=100'	
checked by FMA/AEC	
drawn by A.A.	
date 01/30/24	sheet 2 of 16



LEGEND	
EXISTING FEATURES	
EXIST. TREE LINE	
EXIST. SANITARY MANHOLE	
EXIST. INLET	
EXIST. UTILITY POLE	
EXIST. FIRE HYDRANT	
EXIST. SPOT ELEVATION	
EXIST. WATER LINE	
EXIST. SANITARY SEWER	
EXIST. STORM SEWER	
EXIST. CONTOUR	
EXIST. FENCE	
EX. TOP CURB/GUTTER GRADE	

- NOTES:
- BOUNDARY INFORMATION SHOWN ON THIS PLAN IS BASED UPON A SURVEY OF PROPERTY BY CREST ENGINEERING ASSOCIATES DATED 4/11/11.
 - OWNER: NORTH BRUNSWICK T.O.D. ASSOCIATES, LLC.
 - TOPOGRAPHIC SURVEY BASED ON AERIAL TOPOGRAPHIC MAPPING PREPARED BY GUMORE & ASSOC. DATED 4/20/03, AND UPDATED BY CREST ENGINEERING ASSOC. IN JANUARY, 2011. VERTICAL DATUM: NAVD83.
 - ASBUILT INFORMATION SHOWN ON THIS PLAN IS BASED UPON AN ASBUILT PREPARED BY CREST ENGINEERING ASSOCIATES INC., DATED 9/18/13, LAST REVISED 8/20/14.
 - WETLANDS DELINEATION AND BUFFERS PER N.J.D.E.P. FILE #215-08-0003.2 FWW00001, DATED NOV. 16, 2010.
 - TOTAL WETLANDS AREA = 28.55 ACRES, TOTAL BUFFER AREA = 12.97 ACRES.
 - THE 100 YEAR FLOOD LIMIT DOES NOT FALL WITHIN THE PROJECT BOUNDARIES (PER LETTER OF MAP REVISION NO. 11-02-1340P, DATED 8-16-11).

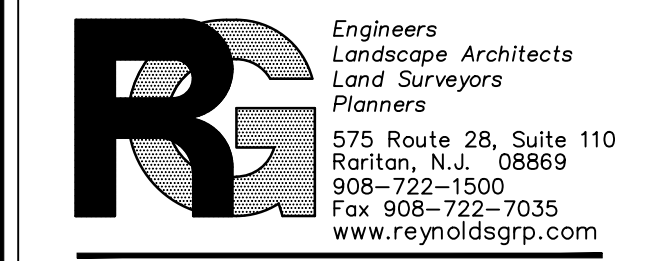


LEGEND	
EXISTING FEATURES	
EXIST. TREE LINE	
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revisions		
no.	date	description

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 N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

project
FINAL SITE PLAN
 BLOCK 141 LOT 36.01
 NORTH BRUNSWICK TOWNSHIP
 MIDDLESEX COUNTY, NEW JERSEY

drawing title
**EXISTING CONDITIONS
 PLAN 'B'**

job number 21-042-4	drawing number 3
scale 1"=100'	checked by FMA/AEC
drawn by A.A.	date 01/30/24
sheet 3 of 16	

NOTES:
 1. BOUNDARY INFORMATION SHOWN ON THIS PLAN IS BASED UPON A SURVEY OF PROPERTY BY CREST ENGINEERING ASSOCIATES DATED 4/11/11.
 2. OWNER: NORTH BRUNSWICK T.O.D. ASSOCIATES, LLC.
 3. TOPOGRAPHIC SURVEY BASED ON AERIAL TOPOGRAPHIC MAPPING PREPARED BY GILMORE & ASSOC. DATED 4/20/03, AND UPDATED BY CREST ENGINEERING ASSOC. IN JANUARY, 2011. VERTICAL DATUM: NAVD83.
 4. ASBUILT INFORMATION SHOWN ON THIS PLAN IS BASED UPON AN ASBUILT PREPARED BY CREST ENGINEERING ASSOCIATES INC., DATED 9/16/13, LAST REVISED 8/20/14.
 5. WETLANDS DELINEATION AND BUFFERS PER N.J.D.E.P. FILE #P215-108-0003.2 FHW00001, DATED NOV. 16, 2010.
 6. TOTAL WETLANDS AREA = 28.55 ACRES, TOTAL BUFFER AREA = 12.97 ACRES.
 7. THE 100 YEAR FLOOD LIMIT DOES NOT FALL WITHIN THE PROJECT BOUNDARIES (PER LETTER OF MAP REVISION NO. 11-02-134QP, DATED 8-16-11).

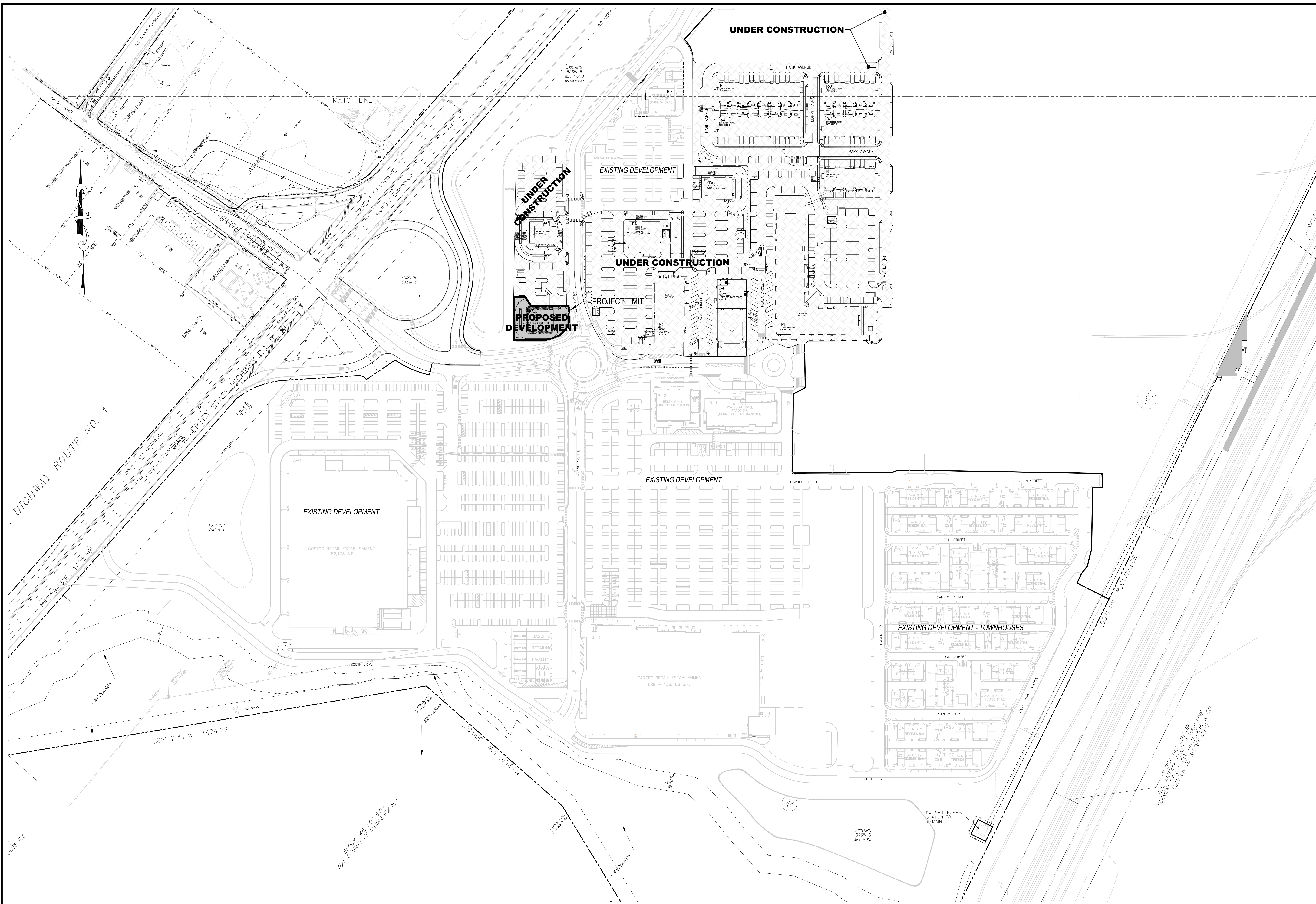
GRAPHIC SCALE
 (IN FEET)
 1 inch = 100 ft.

PROTECT YOURSELF
 A PHONE CALL CAN BE YOUR INSURANCE POLICY

THE STATE OF NEW JERSEY REQUIRES NOTICE TO ANY PERSONS DISTURBING THE EARTH'S SURFACE ANYWHERE IN THE STATE

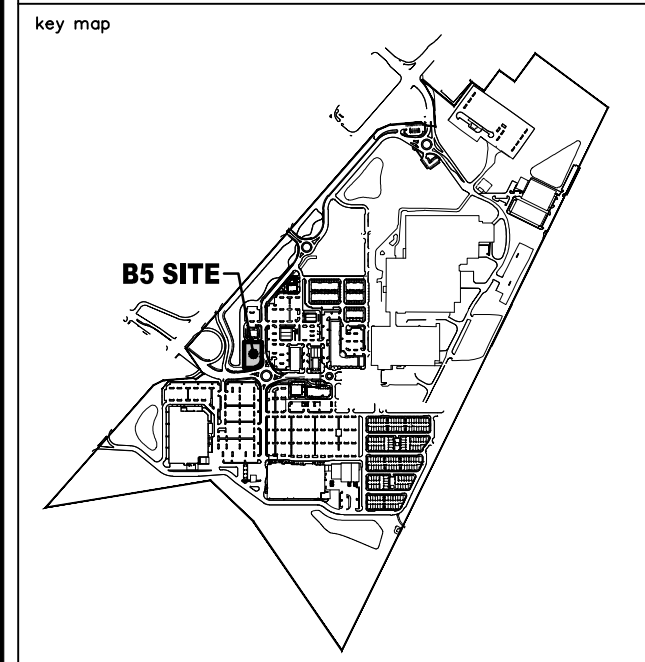
UNDER CONSTRUCTION
 SEE SHEET 4

PROJECT LIMIT



revisions		
no.	date	description

- LEGEND**
- ⊕ GAS VALVE
 - ⊕ GAS METER
 - ⊕ WATER VALVE
 - ⊕ HYDRANT
 - ⊕ WATER METER
 - ⊕ CURB STOP
 - ⊕ FIRE DEPT. CONNECTION
 - ⊕ DRAINAGE MH
 - ⊕ CURB INLET
 - ⊕ LAWN INLET
 - ⊕ SANITARY MH
 - ⊕ CLEANOUT
 - ⊕ BOLLARD
 - ⊕ SIGN
 - ⊕ LIGHT
 - ⊕ MAIL BOX
 - ⊕ GUY WIRE
 - ⊕ UTILITY POLE
 - ⊕ ELECTRIC MH
 - ⊕ CONIFEROUS TREE
 - ⊕ DECIDUOUS TREE
 - X - FENCE
 - RAILING
 - WALL
 - ⊕ GATE POST
 - W - WATER LINE
 - G - GAS LINE
 - E - ELECTRIC LINE
 - S - SANITARY LINE
 - OH - OVERHEAD WIRES



RE Engineers
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The Reynolds Group Inc.

State of New Jersey
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N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

project
FINAL SITE PLAN
BLOCK 141 LOT 36.01
NORTH BRUNSWICK TOWNSHIP
MIDDLESEX COUNTY - NEW JERSEY

drawing title
OVERALL PLAN 'A'

job number
21-042-4

scope
1"=100'

checked by
FMA/AEC

drawn by
A.A.

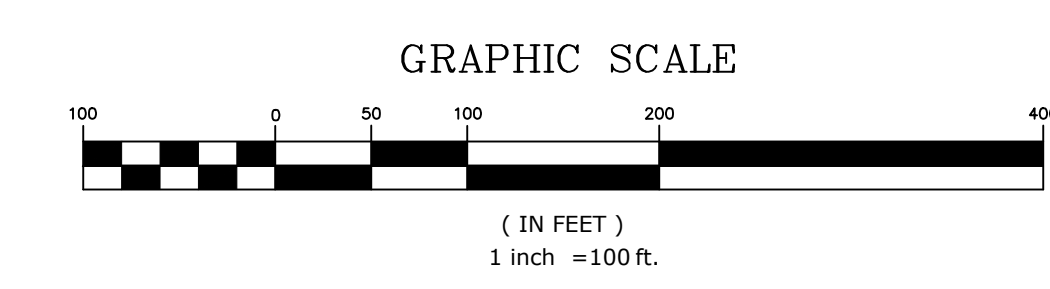
date
01/30/24

drawing number
4

sheet 4 of 16

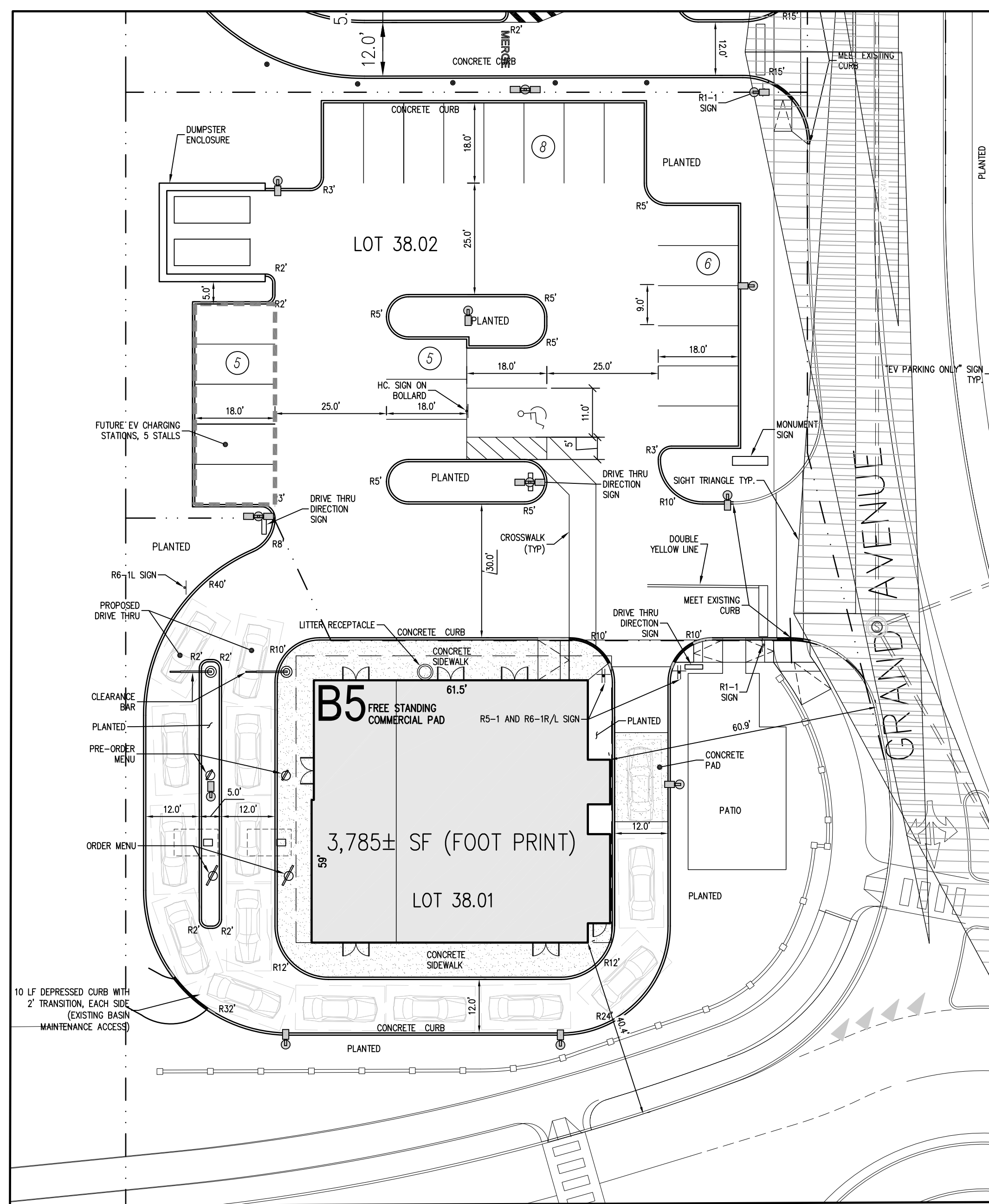
NOTE: MIXED USE RETAIL/COMMERCIAL BUILDINGS SHOWN
HEREON LIST S.F. OF COMMERCIAL SPACE PLUS
THE NUMBER OF UNITS OF RESIDENTIAL SPACE.

⊕ DENOTES DEVELOPMENT AREA - THIS APPLICATION
FOR AMENDED FINAL SITE PLAN APPROVAL.

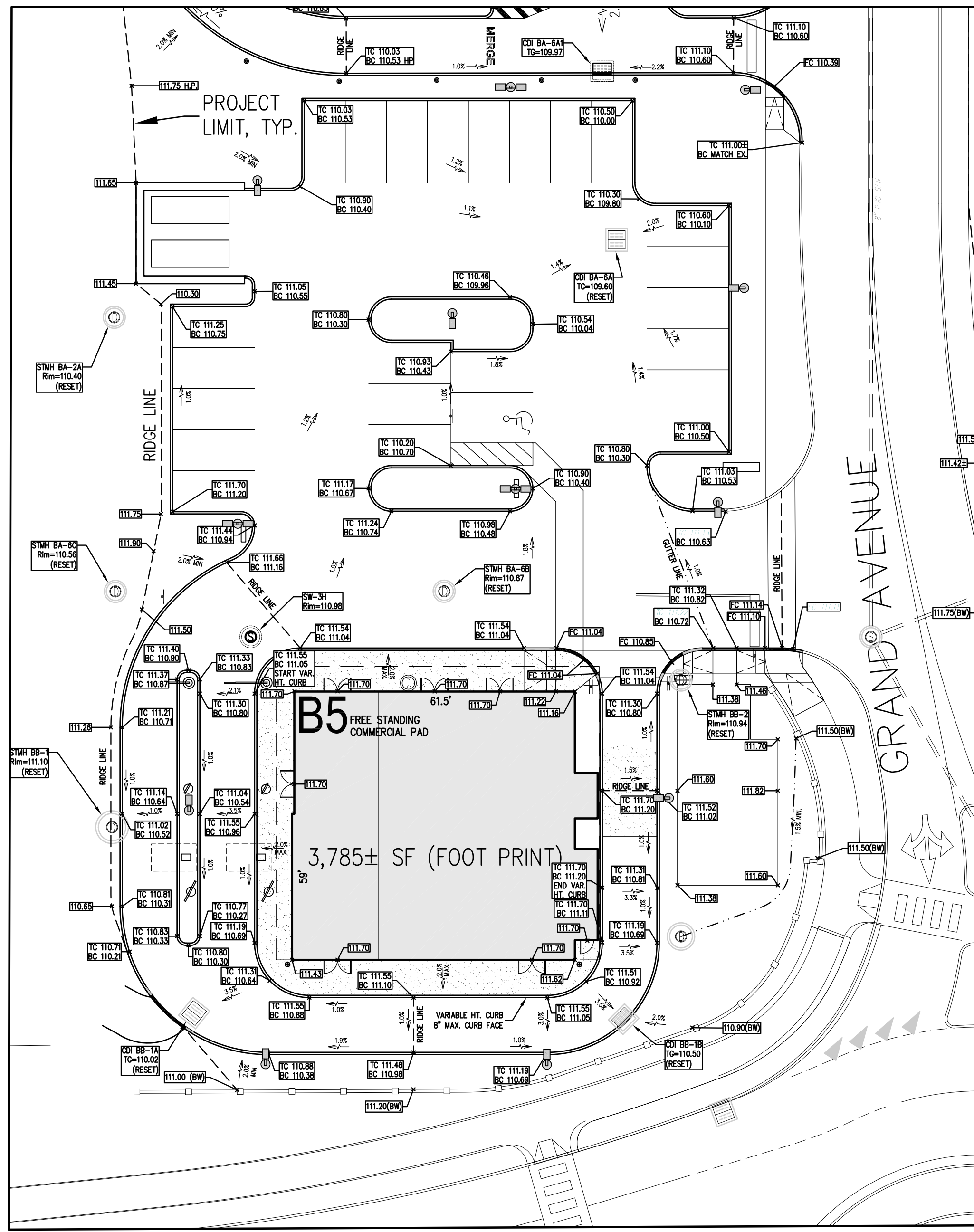


PROTECT YOURSELF
A PHONE CALL CAN BE YOUR INSURANCE POLICY

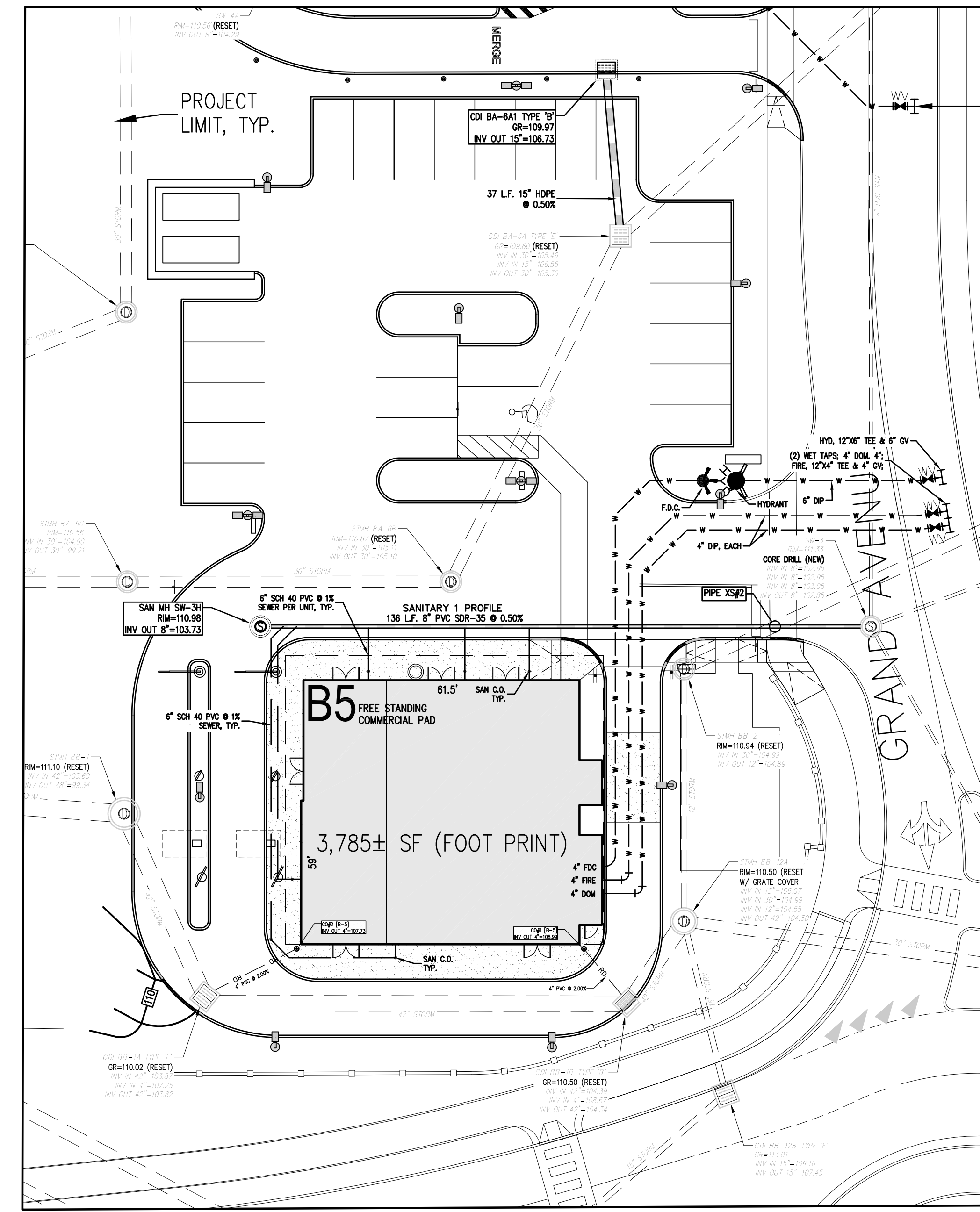
THE STATE OF NEW JERSEY REQUIRES
NONPRACTISING ARCHITECTS, ENGINEERS OR
ANY PERSON PREPARING TO DISTURB THE
EARTH'S SURFACE ANYWHERE IN THE STATE



DIMENSION/LOT LAYOUT PLAN



GRADING PLAN



UTILITY PLAN

GENERAL NOTES:

- SITE INFORMATION SHOWN ARE BASED UPON APPROVED SITE PLANS, SUBDIVISION PLAN AND AS-BUILT PLANS PREPARED BY CREST ENGINEERING.
 - PRELIMINARY AND FINAL SITE PLAN: PANELS D & E DATED 8/2/2011, LAST REVISED 7/12/16.
 - SUBMISSION PLAN: ALTA/NSPS LAND TITLE SURVEY FOR LOTS 36.01, 38, 39, 40, 44.01, 45.01, 47, 48, 48.01, 49, 50.01, 50.02, 50.03, 51, 52, 53, 54, 55, 56, 57.01, 58, 59 & 60; BLOCK 141, SIGNED BY GARY P. YURO, P.L.S. No. 43251, DATED 9/1/2021, NO REVISION.
 - AS-BUILT PLANS: PANEL "D" DATED 9/16/2013, LOTS 5.04, 7.01, 7.03 & 23; BLOCK 148, SIGNED BY GARY P. YURO, P.L.S. No. 43251, SHEET 4 OF 8, DATED 9/16/2013, LAST REVISED 8/20/2014; PANEL "E" DATED 9/16/2013, LOTS 5.04, 7.01, 7.03 & 23; BLOCK 148, SIGNED BY GARY P. YURO, P.L.S. No. 43291, SHEET 5 OF 8, DATED 9/16/2013, LAST REVISED 8/10/2014.
- ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION FOR SITE IMPROVEMENTS SHALL CONFORM TO NORTH BRUNSWICK TOWNSHIP CODES AND STANDARDS, THE STANDARDS OF THE RESPECTIVE UTILITY COMPANIES, AND THE N.J.D.O.T. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2019 (AS UPDATED), AS APPLICABLE.
- PROPOSED DEVELOPMENT SHALL BE IN COMPLIANCE WITH NJ BARRIER FREE AND A.D.A. REQUIREMENTS. RAMPS MUST COMPLY WITH CURRENT REQUIREMENTS IN PLACE DURING TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES, ROADS, PIPELINES, TREES, SHRUBBERY, GRASS AREA, ETC., DURING THE PROGRESS OF HIS WORK AND SHALL REMOVE FROM THE SITE ALL CUTTINGS, DRILLINGS, DEBRIS AND UNUSED MATERIALS. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL RESTORE THE SITE TO ITS ORIGINAL CONDITION, INCLUDING AT THE CONTRACTOR'S SOLE EXPENSE, THE REPLACEMENT OF GRASSED AREAS WHICH HAVE BEEN DAMAGED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SURROUNDING PROPERTY AND SHALL RESTORE ANY PROPERTY DAMAGED AS A RESULT OF HIS OPERATIONS. ALL RESTORATION WILL BE BORNE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SURROUNDING PROPERTY AND SHALL RESTORE ANY PROPERTY DAMAGED AS A RESULT OF HIS OPERATIONS. ALL RESTORATION WILL BE BORNE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL FIRE OFFICIAL FOR APPROPRIATE FIRE LANE MARKINGS.
- TRAFFIC, PARKING SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", U.S.D.O.T., FEDERAL HIGHWAY ADMINISTRATION, 2009 AND AS UPDATED AND ADOPTED BY THE N.J. DEPARTMENT OF TRANSPORTATION.
- THE FREEHOLD SOIL CONSERVATION DISTRICT (FSCD) SHALL BE NOTIFIED A MINIMUM OF 72 HOURS PRIOR TO ANY SOIL DISTURBANCE (F302) 683-8500.
- IN THAT N.J.S.A. 4:24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLETED FOR PERMANENT MEASURES, ALL WORK AROUND INDIVIDUAL BUILDINGS WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY. NOTATION FOR THIS SHOULD BE PROVIDED ON THE SITE PLAN AND WITHIN THE CONSTRUCTION SCHEDULE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY INCLUDING PROVISIONS OF ALL APPROPRIATE SAFETY MEASURES DEVISED AND TRAINING REQUIRED.
- AS-BUILTS AS REQUIRED BY THE TOWNSHIP ENGINEERING DEPARTMENT TO BE PROVIDED PRIOR TO BOND RELEASE OR REDUCTION. THE AS-BUILTS SHALL INCLUDE THE STORMWATER MANAGEMENT SYSTEM AND RETAINING WALLS AS WELL AS THE OTHER STANDARD REQUIREMENTS IN SUFFICIENT DETAIL TO DOCUMENT THE PROJECT AS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED LINES, GRADES AND INTENT. SEE TOWNSHIP ENGINEERING DEPARTMENT FOR SPECIFIC REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON SUCH CONDITIONS COULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
- LITTER RECEPTACLES MAY SHIFT AS FIELD LOCATED BY TENANTS.
- SEE ADDITIONAL CONSTRUCTION NOTES ON OTHER PLAN SHEETS IN THIS SET.
- CLEARANCE BARS FOR EACH DRIVE THROUGH SHALL BE INSTALLED PRIOR TO ISSUANCE OF C.O. FOR THE RESPECTIVE BUILDINGS.
- REFER TO SHEET 9 FOR LOCATIONS OF FUTURE ELECTRIC VEHICLE CHARGING STATION (EVCS) PARKING SPACES INCLUDING EVCS MARKINGS AND SIGNS.
- FUTURE EV SPACES TO BE STRIPED AND HAVE SIGNS INSTALLED MARKING THEM AS EV CHARGING ONLY SPACES AT THE TIME THOSE SPACES ARE TURNED INTO EV CHARGING STALLS, IN ACCORDANCE WITH THE CHART SHOWN ON SHEET 9.

GRADING NOTES:

- THE LIMIT OF GRADING AND DISTURBANCE SHALL BE AS SHOWN ON THE DEVELOPMENT PLANS. ALL AREAS BEYOND SHALL REMAIN UNDISTURBED AND IN THE NATURAL STATE.
- THE CONTRACTOR SHALL GRADE ALL AREAS TO PROVIDE POSITIVE SLOPE TO CATCH BASINS. LAWN AREAS SHALL BE GRADED AT A MINIMUM OF 2.00% AND A MAXIMUM OF 3% (33.33%) ACROSS LAWN AREAS PERPENDICULAR TO THE PROPOSED RESIDENTIAL AND COMMERCIAL BUILDINGS.
- FOR SMOOTH HARD-FINISHED SURFACES OTHER THAN ROADWAYS, MINIMUM SLOPE SHALL BE 0.75%.
- ALL GRADING, EXCAVATION OR EMBANKMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLAN AND SHALL PROVIDE FOR THE DISPOSAL OF ALL STORMWATER RUNOFF AND SUCH GROUNDWATER SEEPAGE AS MAY BE ENCOUNTERED. ALL CLEARING, EXCAVATION AND EMBANKMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE STANDARD SPECIFICATIONS. NO EXCAVATED MATERIAL MAY BE REMOVED FROM THE SITE EXCEPT IN ACCORDANCE WITH AN APPROVED PLAN NOR WITHOUT PRIOR APPROVAL OF THE TOWNSHIP ENGINEER. WHERE BORROW EXCAVATION MATERIALS FROM OFFSITE SOURCES ARE REQUIRED TO COMPLETE THE NECESSARY GRADING, SUCH MATERIAL SHALL MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR BORROW EXCAVATION ZONE 3, AND SHALL BE SUBJECT TO THE APPROVAL OF THE TOWNSHIP ENGINEER.
 - MATERIAL SHALL BE PLACED IN 12" OR LESS LIFTS AND COMPACTED TO A DRY DENSITY OF NOT LESS THAN 95% OF THE LABORATORY STANDARD MAXIMUM SOIL DENSITY (AS DETERMINED BY THE PROCTOR COMPACTION TEST FOR THE MATERIAL BEING COMPACTED).
 - BACKFILL TO BE FREE OF ORGANIC MATTER, ROCKS & COBBLES GREATER THAN 6" AND FROZEN MATERIALS.
- MATERIAL WHICH THE TOWNSHIP ENGINEER JUDGES IS UNSUITABLE FOR USE IN ROADWAY SUBSURFACE MAY BE USED FOR GRADING OUTSIDE THE ROADWAY RIGHT-OF-WAY OF BUILDING AREAS WITH THE PERMISSION OF THE TOWNSHIP ENGINEER. ANY UNSUITABLE MATERIAL WHICH CANNOT BE SATISFACTORILY UTILIZED ON THE SITE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT PLACES TO BE PROVIDED BY THE SUBDIVIDER.
- ALL CONSTRUCTION LAYOUT AND GRADING STAKES SHALL BE SET BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER EMPLOYED BY THE SUBDIVIDER OR HIS CONTRACTOR.
- ALL ROUGH GRADING MUST BE COMPLETED PRIOR TO THE CONSTRUCTION OF THE ROADWAY SUBGRADE. ALL SIDEWALK AREAS AND SLOPE AREAS MUST BE FULLY GRADED PRIOR TO THE CONSTRUCTION OF FINISHED PAVEMENTS OR PAVEMENT BASE COURSES.
- ROADWAYS AND ALL APPURTENANCES, INCLUDING SUBGRADE, SUBBASE, BASE COURSES AND PAVEMENTS, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE STANDARD SPECIFICATIONS AS MODIFIED HEREIN. ALL SUBSURFACE UTILITIES INCLUDING SERVICE CONNECTIONS (TERMINATING AT LEAST TWO FEET BEHIND (BEYOND) THE SIDEWALK, OR IF NO SIDEWALKS ARE TO BE INSTALLED, TERMINATING AT LEAST SEVEN FEET BEHIND THE CURB), AND ALL STORM DRAINS SHALL BE INSTALLED IN ALL ROADWAY AREAS PRIOR TO THE CONSTRUCTION OF FINAL PAVEMENT SURFACES.
- ANY WASTE, DEBRIS OR ANY OTHER SIMILAR MATERIAL FOUND ON THE SITE OR GENERATED BY OPERATIONS DURING THE CONSTRUCTION SEQUENCE, SHALL BE PROPERLY REMOVED AND PROPERLY DISPOSED OF BY THE DEVELOPER.
- SEE ADDITIONAL NOTES CONSTRUCTION ON OTHER PLAN SHEETS.

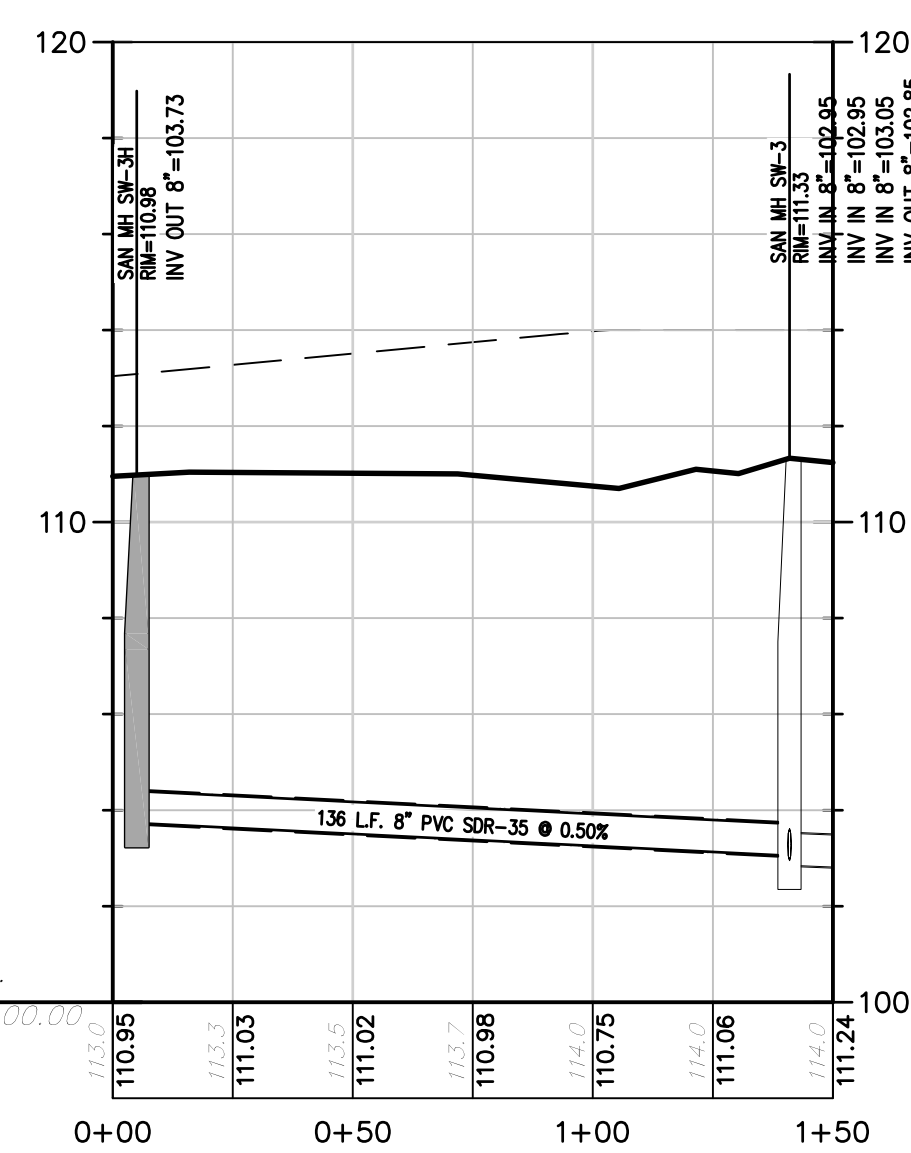
UTILITY NOTES:

- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS AND SIZES. TEST PITS INFORMATION SHALL BE GIVEN TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
- STORM SEWER PIPE SHALL BE ADS #12 OR ASTM C-76 REINFORCED CONCRETE PIPE WITH ASTM C-443 O-RING TYPE GASKETS (1" AND SMALLER MAY USE "KENT SEAL #2" AS AN ALTERNATIVE CLASS III, UNLESS OTHERWISE NOTED, PIPE SHALL BE SIZED AND LAID TO THE LINE AND GRADE, AS SHOWN. ALL STORM PIPES TO BE HOPE, N-12 AS MANUFACTURED BY ADS UNLESS NOTED. LENGTH OF STORM SEWER PIPE IS MEASURED FROM CENTERLINE OF STRUCTURES.
- DRAINAGE INLETS SHALL BE STANDARD NO.12 TYPE "B" INLETS, UNLESS OTHERWISE NOTED OR AS REQUIRED TO ACCOMMODATE ALL PIPES IN AND OUT OF THE STRUCTURE. CASTING CURB HEIGHT SHALL BE 6". ALL INLETS TO HAVE BICYCLE SAFE GRATES.
- ALL STORMWATER STRUCTURES MAY BE PRECAST. SHOP DRAWINGS FOR OVERSIZED STRUCTURES / SPECIAL STRUCTURES TO BE SUBMITTED TO TOWNSHIP ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION. SPECIAL STORM SEWER STRUCTURES MAYBE REQUIRED WHERE PIPE EXCEEDS 30" OR WITH MULTIPLE PIPES. CONTRACTOR TO PROVIDE SHOP DRAWINGS AS REQUIRED. ALL PRECAST DRAINAGE STRUCTURES SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A LICENSED NJ PROFESSIONAL ENGINEER AS TO THEIR ABILITY TO WITHSTAND ASHTO H 20 LOADING AND THEIR SUITABILITY FOR THEIR INTENDED USE.
- STORMWATER RUNOFF SHALL FLOW AWAY FROM BUILDINGS. ALL ROOF RUNOFF TO BE CONNECTED TO STORM SEWER VIA ROOF DRAIN COLLECTION SYSTEM.
- ALL SANITARY SEWER CONSTRUCTION SHALL COMPLY WITH THE CURRENT STANDARDS OF NORTH BRUNSWICK TOWNSHIP UTILITY DEPARTMENTS AS WELL AS NJDEP STANDARDS. THE SANITARY SEWER SYSTEM SHALL BE LOW AIR PRESSURE TESTED AND DEFLECTION TESTED AS PER NORTH BRUNSWICK TOWNSHIP STANDARDS.
- SANITARY SEWER MAIN SHALL BE PVC SDR-35. 4" DIP SEWER PIPE IS USED IN PLACE OF PVC PIPE. DIP SHALL HAVE A HYDROGEN SULFIDE / CORROSION RESISTANT INTERIOR LINING SUITABLE FOR SEWER APPLICATIONS. STANDARD CEMENT LINED DIP WILL NOT BE PERMITTED FOR SANITARY SEWER COLLECTION SYSTEM CONSTRUCTION.
- SANITARY SEWER LATERAL SHALL BE SCHEDULE 40 PVC WITH CLEAN OUS AS REQUIRED BY PLUMBING CODE. ALL CLEANOUTS IN PAVED AREA TO BE CONSTRUCTED IN ACCORDANCE WITH THE "SIGHT TEE" DETAIL. ALL PROPOSED SANITARY SEWER LATERALS SHALL HAVE A MINIMUM DEPTH OF COVER OF 3 FT. SEWER LATERALS, 4" MIN. SLOPE 2.0% 6" MIN. SLOPE 1.0%, AND A DIRECT CONNECTION TO A SANITARY MANHOLE WILL NOT BE PERMITTED.
- THE TOWNSHIP OF NORTH BRUNSWICK UTILITY DEPARTMENT RESERVES THE RIGHT TO REQUIRE INSTALLATION OF A GREASE TRAP AND SAMPLING MANHOLE AND / OR PRETREATMENT FACILITIES IF THE QUALITY OF THE WASTEWATER STREAM DEMONSTRATES A FOOD SERVICE ESTABLISHMENT TYPE DISCHARGE (QUANTITIES OF GREASE AND OIL IN EXCESS OF THAT OF DOMESTIC WASTE) AND / OR THE NEED FOR FLOW EQUALIZATION.
- SANITARY SEWER AND WATER MAINS SHALL BE SEPARATED A MINIMUM OF 10' HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18" BELOW THE BOTTOM OF THE WATER MAIN, WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER MAIN AS POSSIBLE. WHERE A WATER

MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER SHALL BE PROVIDED.

- NO BASEMENT SUMP PUMPS SHALL BE CONNECTED TO THE SANITARY SEWER SYSTEM OR DISCHARGE DIRECTLY TO THE STREET.
- WATER LINES SHALL BE DIP, CLASS 52-CL, SIZES AS NOTED ON PLAN. ALL WATER DISTRIBUTION PIPES, VALVES, FITTINGS AND APPURTENANCES SHALL BE LEAD FREE IN ACCORDANCE TO THE LATEST SAFE DRINKING WATER ACT, NSF/ANSI 61 AND AWWA REQUIREMENTS. CONTRACTOR TO COORDINATE WITH FIRE OFFICIAL FOR APPROVED FDC. DOMESTIC LINE SHALL BE TYPE "K" COPPER. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF A FEET OF COVER ON THE INSTALLATION OF THE NEW WATER MAINS, DOMESTIC AND FIRE SERVICES. THE CONTRACTOR SHALL PROVIDE MECHANICAL JOINT RETAINER GLANDS AND THRUST BLOCKS AT ALL MECHANICAL JOINT FITTINGS. ALL WATER CONSTRUCTION (PIPES, VALVES, HYDRANTS AND APPURTENANCES, PRESSURE TESTING & DISINFECTIONS) AS PER NORTH BRUNSWICK TOWNSHIP STANDARDS.
- IT IS THE INTENT TO PROVIDE GATE VALVES ON ALL LEGS OF "T" AND CROSS FITTINGS ON WATER MAIN CONNECTIONS.
- PROVIDE SHUT OFF VALVE ON ALL FIRE SERVICE CONNECTIONS, CURB BOX / SHUT OFF VALVE ON ALL DOMESTIC SERVICES.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND. DESIGN AND LOCATION REQUIREMENTS PER RESPECTIVE UTILITY COMPANIES.
- EXCAVATIONS OR TRENCHING WITHIN CLOSE PROXIMITY TO UNDERGROUND FACILITIES OR UTILITY POLES WILL REQUIRE PROTECTION IN AN APPROVED MANNER TO PREVENT DAMAGE OR INTERRUPTION OF SERVICE TO UNDERGROUND FACILITIES. THE COST TO PROVIDE THIS PROTECTION WILL BE BORNE BY THE CONTRACTOR.
- ALL TRENCHES SHALL BE BACKFILLED WITHOUT DELAY. OPEN TRENCHES SHALL BE KEPT TO A MINIMUM OPEN TRENCHES SHALL BE STEEL PLATED OR BARRICADED WHEN WORK IS NOT IN PROGRESS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT IN AN APPROVED MANNER EXISTING THRUST BLOCKS WHICH ARE RESTRAINING EXISTING UTILITIES. EXISTING THRUST BLOCKS SHALL NOT BE UNDERMINED.
- STORM & SANITARY IMPROVEMENTS SHALL BE INSTALLED BEFORE OTHER UTILITIES.
- GAS LINE TO BUILDING TO BE INSTALLED BY UTILITY COMPANY.
- NO PIPE, INLET, MANHOLE, CURB, SHALL BE CONSTRUCTED WITHOUT CUT SHEETS. THE CONTRACTOR SHALL ALLOW TWO WORKING DAYS TO CHECK THE PROPOSED ELEVATIONS AGAINST THOSE ON THE CUT SHEET.
- SEE ADDITIONAL CONSTRUCTION NOTES ON OTHER SHEETS.

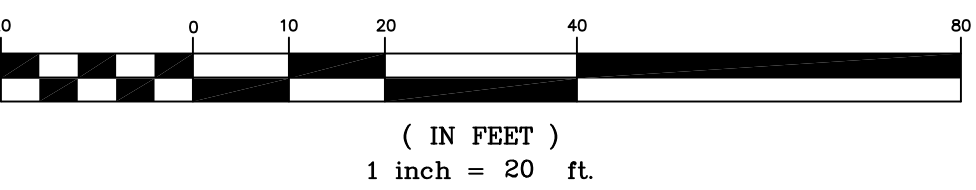
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SANITARY-1 PROFILE

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ELEV. 100.00

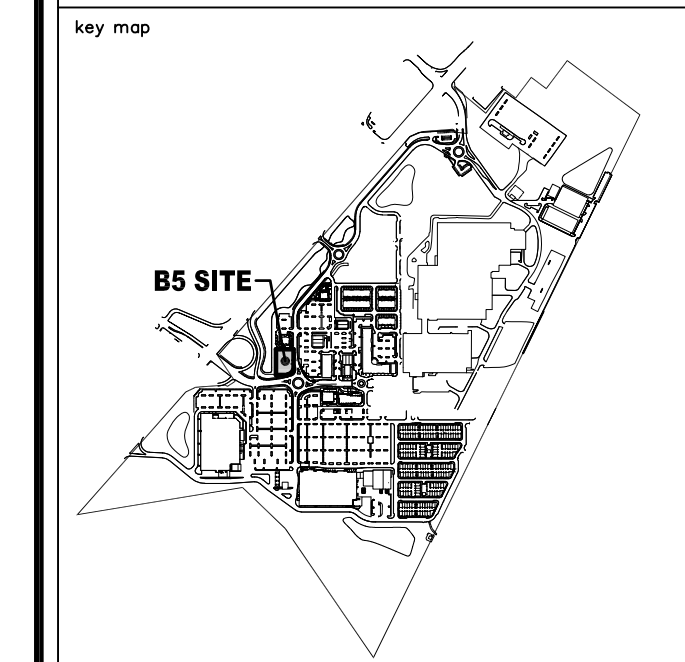
GRAPHIC SCALE



revisions		
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EXISTING LEGEND	
⊕	GAS VALVE
⊕	GAS METER
⊕	WATER VALVE
⊕	HYDRANT
⊕	WATER METER
⊕	CURB STOP
⊕	FIRE DEPT. CONNECTION
⊕	DRAINAGE MH
⊕	CURB INLET
⊕	LAWN INLET
⊕	SANITARY MH
⊕	CLEANOUT
⊕	BOLLARD
⊕	SIGN
⊕	LIGHT
⊕	MAIL BOX
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PROPOSED LEGEND	
⊕	PHASE LINE
⊕	STORM MANHOLE
⊕	STORM "B" INLET
⊕	STORM "E" INLET
⊕	STORM LAWN INLET
⊕	STORM PIPE
⊕	SANITARY MANHOLE
⊕	SANITARY PIPE
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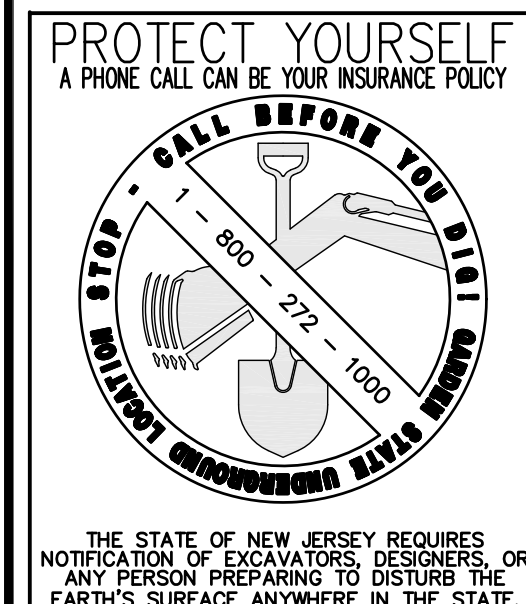


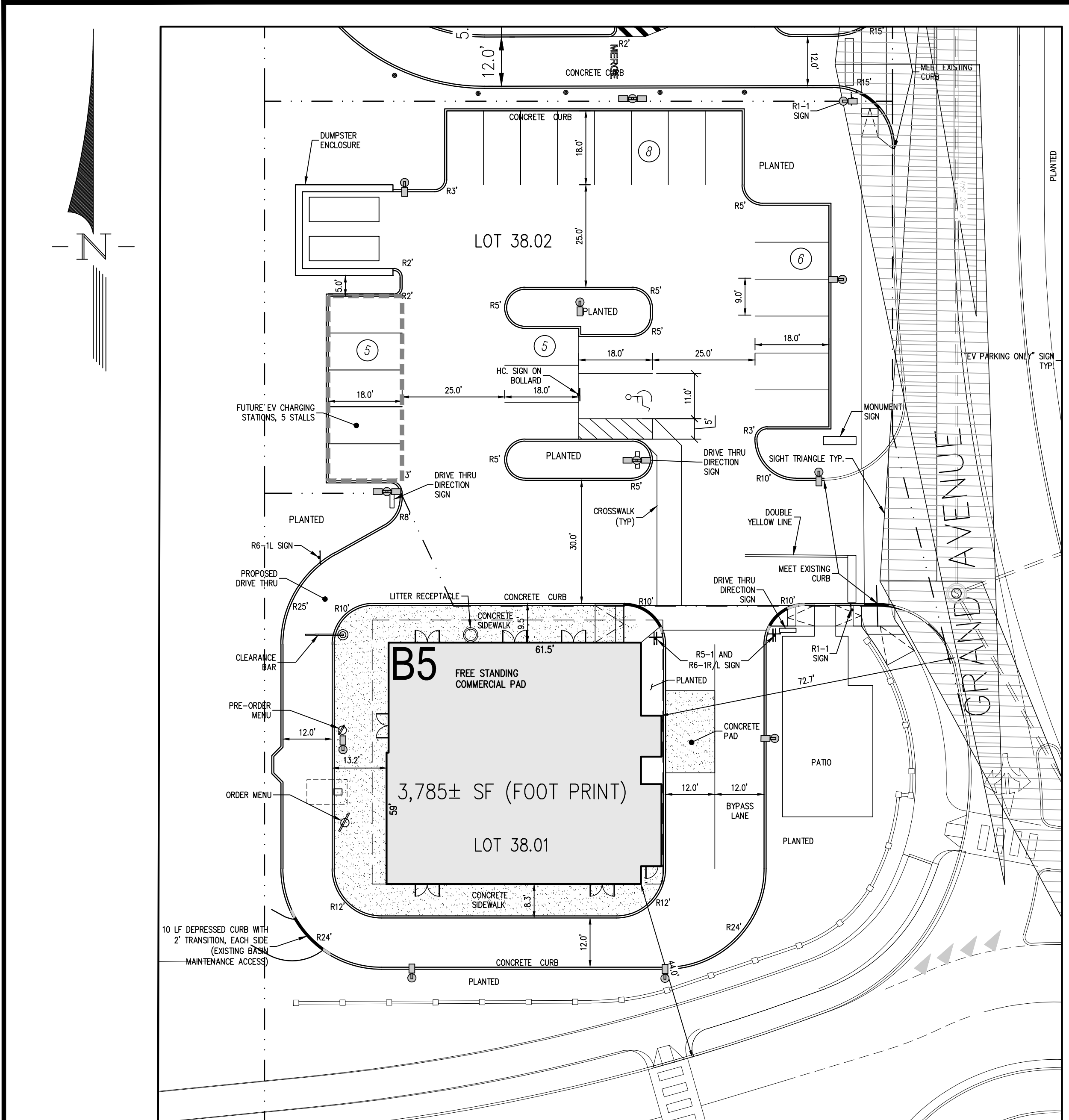
The Reynolds Group Inc.
 State of New Jersey
 Certificate of Authorization
 Number: 24C04798200
 21MH00004300
 F. MITCHEL ARDMAN, P.E., P.P.
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F. MITCHEL ARDMAN
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 N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

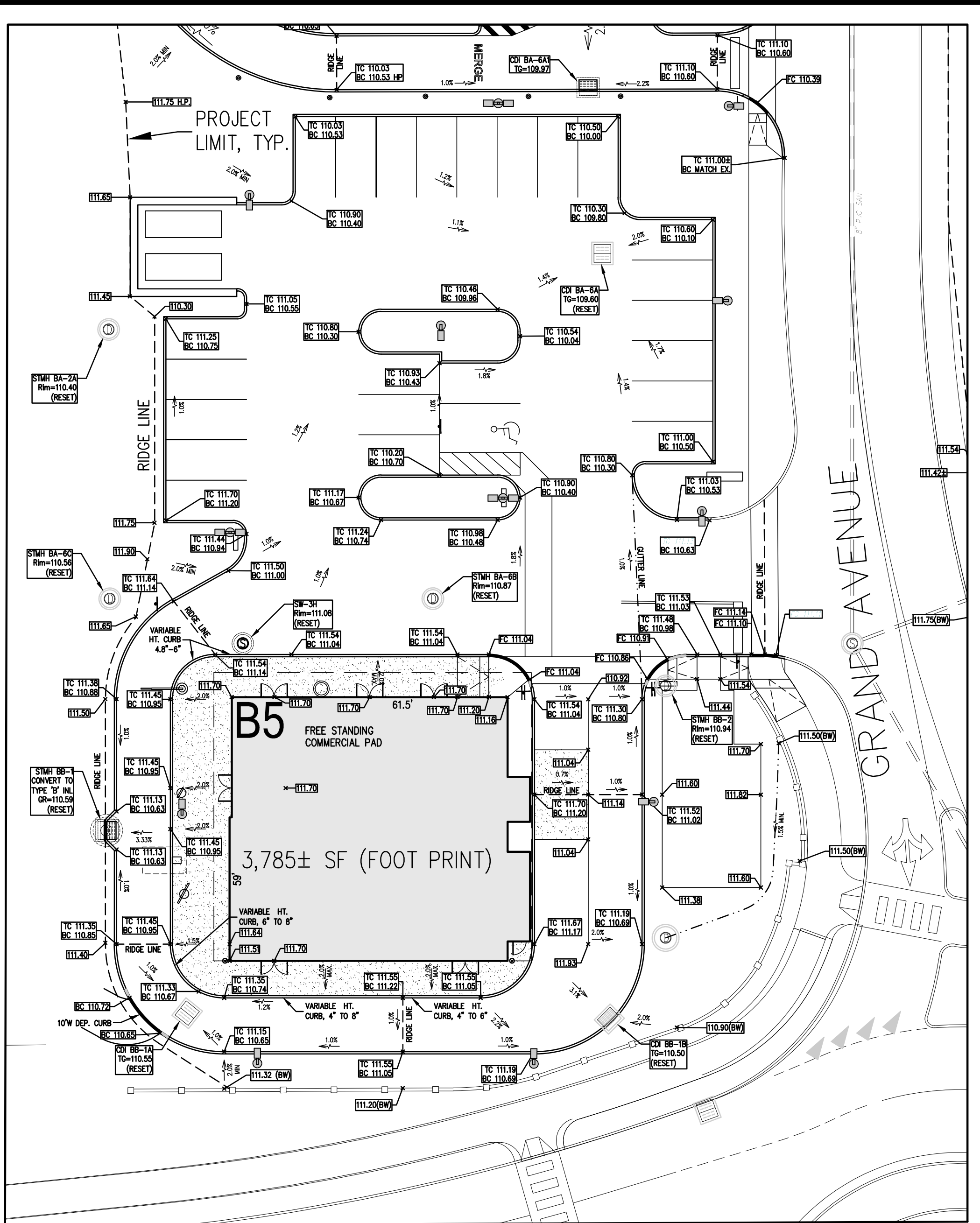
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 sheet 6 of 16

FINAL SITE PLAN
 DIMENSION, GRADING AND UTILITY PLAN
 BLOCK 141 LOT 38.01
 NORTH BRUNSWICK TOWNSHIP
 MIDDLESEX COUNTY, NEW JERSEY
 drawing number
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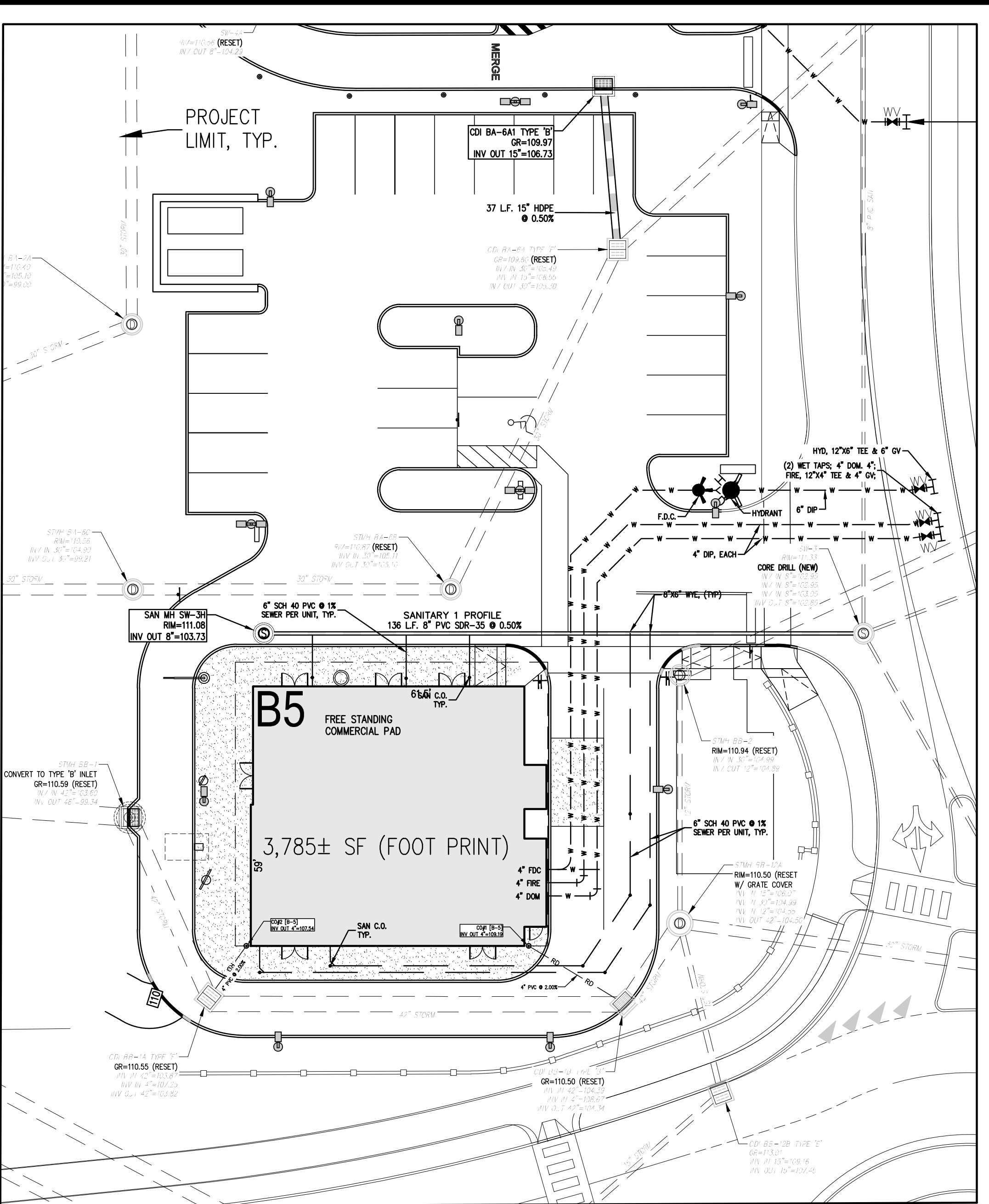




DIMENSION/LOT LAYOUT PLAN



GRADING PLAN



UTILITY PLAN

GENERAL NOTES:

- SITE INFORMATION SHOWN ARE BASED UPON APPROVED SITE PLANS, SUBDIVISION PLAN AND AS-BUILT PLANS PREPARED BY CREST ENGINEERING.
 - PRELIMINARY AND FINAL SITE PLAN: PANELS D & E DATED 8/2/2011, LAST REVISED 7/12/16.
 - SUBDIVISION PLAN: ALTA/NSPS LAND TITLE SURVEY FOR LOTS 36.01, 38, 39, 40, 44.01, 45.01, 47, 48, 48.01, 49, 50.01, 50.02, 50.03, 51, 52, 53, 54, 55, 56, 57.01, 58, 59 & 60, BLOCK 141, SIGNED BY GARY P. YURO, P.L.S. No. 43251, DATED 9/1/2021, NO REVISION.
 - AS-BUILT PLANS: PANEL "D" DATED 9/16/2013, LOTS 5.04, 7.01, 7.03 & 23; BLOCK 148, SIGNED BY GARY P. YURO, P.L.S. No. 43251, SHEET 4 OF 8, DATED 9/16/2013, LAST REVISED 8/20/2014; PANEL "E" DATED 9/16/2013, LOTS 5.04, 7.01, 7.03 & 23; BLOCK 148, SIGNED BY GARY P. YURO, P.L.S. No. 43251, SHEET 5 OF 8, DATED 9/16/2013, LAST REVISED 8/10/2014.
- ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION FOR SITE IMPROVEMENTS SHALL CONFORM TO NORTH BRUNSWICK TOWNSHIP CODES AND STANDARDS, THE STANDARDS OF THE RESPECTIVE UTILITY COMPANIES, AND THE N.J.D.O.T. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2019 (AS UPDATED), AS APPLICABLE.
- PROPOSED DEVELOPMENT SHALL BE IN COMPLIANCE WITH NJ BARRIER FREE AND A.D.A. REQUIREMENTS. RAMPS MUST COMPLY WITH CURRENT REQUIREMENTS IN PLACE DURING TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES, ROADS, PIPELINES, TREES, SHRUBBERY, GRASS AREA, ETC., DURING THE PROGRESS OF HIS WORK AND SHALL REMOVE FROM THE SITE ALL CUTTINGS, DRILLINGS, DEBRIS AND UNUSED MATERIALS. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL RESTORE THE SITE TO ITS ORIGINAL CONDITION, INCLUDING AT THE CONTRACTOR'S SOLE EXPENSE, THE REPLACEMENT OF GRASSED AREAS WHICH HAVE BEEN DAMAGED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SURROUNDING PROPERTY AND SHALL RESTORE ANY PROPERTY DAMAGED AS A RESULT OF HIS OPERATIONS. ALL RESTORATION WILL BE BORNE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
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- THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL FIRE OFFICIAL FOR APPROPRIATE FIRE LANE MARKINGS.
- TRAFFIC, PARKING SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", U.S.D.O.T. FEDERAL HIGHWAY ADMINISTRATION, 2009 AND AS UPDATED AND ADOPTED BY THE N.J. DEPARTMENT OF TRANSPORTATION.
- THE FREEHOLD SOIL CONSERVATION DISTRICT (FSCD) SHALL BE NOTIFIED A MINIMUM OF 72 HOURS PRIOR TO ANY SOIL DISTURBANCE (732) 683-8500.
- IN THAT N.J.S.A. 4:24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLETED FOR PERMANENT MEASURES, ALL WORK AROUND INDIVIDUAL BUILDINGS WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY. NOTATION FOR THIS SHOULD BE PROVIDED ON THE SITE PLAN AND WITHIN THE CONSTRUCTION SCHEDULE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY INCLUDING PROVISIONS OF ALL APPROPRIATE SAFETY MEASURES DEVISED AND TRAINING REQUIRED.
- AS-BUILTS AS REQUIRED BY THE TOWNSHIP ENGINEERING DEPARTMENT TO BE PROVIDED PRIOR TO BOND RELEASE OR REDUCTION. THE AS-BUILTS SHALL INCLUDE THE STORMWATER MANAGEMENT SYSTEM AND RETAINING WALLS AS WELL AS THE OTHER STANDARD REQUIREMENTS IN SUFFICIENT DETAIL TO DOCUMENT THE PROJECT AS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED LINES, GRADES AND INTENT. SEE TOWNSHIP ENGINEERING DEPARTMENT FOR SPECIFIC REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON SUCH CONDITIONS COULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
- LITTER RECEPTACLES MAY SHIFT AS FIELD LOCATED BY TENANTS.
- SEE ADDITIONAL CONSTRUCTION NOTES ON OTHER PLAN SHEETS IN THIS SET.
- CLEARANCE BARS FOR EACH DRIVE THROUGH SHALL BE INSTALLED PRIOR TO ISSUANCE OF C.O. FOR THE RESPECTIVE LOCATIONS.
- REFER TO SHEET 9 FOR LOCATIONS OF FUTURE ELECTRIC VEHICLE CHARGING STATION (EVCS) PARKING SPACES INCLUDING EVCS MARKINGS AND SIGNS.
- FUTURE EV SPACES TO BE STRIPED AND HAVE SIGNS INSTALLED MARKING THEM AS EV CHARGING ONLY SPACES AT THE TIME THOSE SPACES ARE TURNED INTO EV CHARGING STALLS, IN ACCORDANCE WITH THE CHART SHOWN ON SHEET 9.

GRADING NOTES:

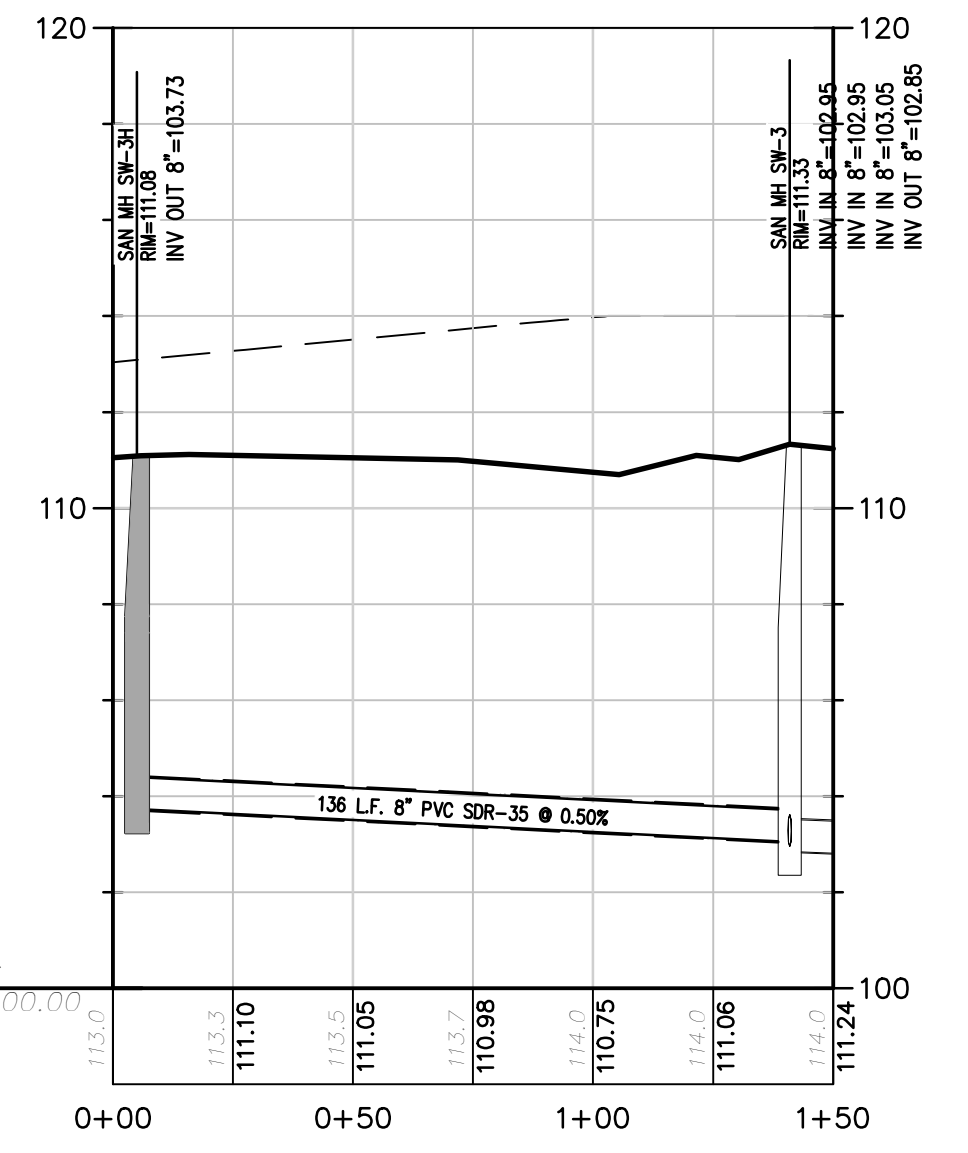
- THE LIMIT OF GRADING AND DISTURBANCE SHALL BE AS SHOWN ON THE DEVELOPMENT PLANS. ALL AREAS BEYOND SHALL REMAIN UNDISTURBED AND IN THE NATURAL STATE.
- THE CONTRACTOR SHALL GRADE ALL AREAS TO PROVIDE POSITIVE SLOPE TO CATCH BASINS. LAWN AREAS SHALL BE GRADED AT A MINIMUM OF 2.00% AND A MAXIMUM OF 3%-1V (33.33%) ACROSS LAWN AREAS PERPENDICULAR TO THE PROPOSED RESIDENTIAL AND COMMERCIAL BUILDINGS.
- FOR SMOOTH HARD-FINISHED SURFACES OTHER THAN ROADWAYS, MINIMUM SLOPE SHALL BE 0.75%.
- ALL GRADING, EXCAVATION OR EMBANKMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLAN AND SHALL PROVIDE FOR THE DISPOSAL OF ALL STORMWATER RUNOFF AND SUCH GROUNDWATER SEEPAGE AS MAY BE ENCOUNTERED. ALL CLEARING, EXCAVATION AND EMBANKMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE STANDARD SPECIFICATIONS. NO EXCAVATED MATERIAL MAY BE REMOVED FROM THE SITE EXCEPT IN ACCORDANCE WITH AN APPROVED PLAN NOR WITHOUT PRIOR APPROVAL OF THE TOWNSHIP ENGINEER. WHERE BORROW EXCAVATION MATERIALS FROM OFFSITE SOURCES ARE REQUIRED TO COMPLETE THE NECESSARY GRADING, SUCH MATERIAL SHALL MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR BORROW EXCAVATION ZONE 3, AND SHALL BE SUBJECT TO THE APPROVAL OF THE TOWNSHIP ENGINEER.
 - MATERIAL SHALL BE PLACED IN 12" OR LESS LIFTS AND COMPACTED TO A DRY DENSITY OF NOT LESS THAN 95% OF THE LABORATORY STANDARD MAXIMUM SOIL DENSITY (OR AS DETERMINED BY THE PROCTOR COMPACTION TEST FOR THE MATERIAL BEING COMPACTED).
 - BACKFILL TO BE FREE OF ORGANIC MATTER, ROCKS & COBBLES GREATER THAN 6" AND FROZEN MATERIALS.
- MATERIAL WHICH THE TOWNSHIP ENGINEER JUDGES IS UNSUITABLE FOR USE IN ROADWAY SUBSURFACE MAY BE USED FOR GRADING OUTSIDE THE ROADWAY RIGHT-OF-WAY OF BUILDING AREAS WITH THE PERMISSION OF THE TOWNSHIP ENGINEER. ANY UNSUITABLE MATERIAL WHICH CANNOT BE SATISFACTORILY UTILIZED ON THE SITE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT PLACES TO BE PROVIDED BY THE SUBDIVIDER.
- ALL CONSTRUCTION LAYOUT AND GRADING STAKES SHALL BE SET BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER EMPLOYED BY THE SUBDIVIDER OR HIS CONTRACTOR.
- ALL ROUGH GRADING MUST BE COMPLETED PRIOR TO THE CONSTRUCTION OF THE ROADWAY SUBGRADE. ALL SIDEWALK AREAS AND SLOPE AREAS MUST BE FULLY GRADED PRIOR TO THE CONSTRUCTION OF FINISHED PAVEMENTS OR PAVEMENT BASE COURSES.
- ROADWAYS AND ALL APPURTENANCES, INCLUDING SUBGRADE, SUBBASE, BASE COURSES AND PAVEMENTS, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE STANDARD SPECIFICATIONS AS MODIFIED HEREIN. ALL SUBSURFACE UTILITIES INCLUDING SEWER CONNECTIONS (TERMINATING AT LEAST TWO FEET BEHIND (BEYOND) THE SIDEWALK, OR IF NO SIDEWALKS ARE TO BE INSTALLED, TERMINATING AT LEAST SEVEN FEET BEHIND THE CURB), AND ALL STORM DRAINS SHALL BE INSTALLED IN ALL ROADWAY AREAS PRIOR TO THE CONSTRUCTION OF FINAL PAVEMENT SURFACES.
- ANY WASTE, DEBRIS OR ANY OTHER SIMILAR MATERIAL FOUND ON THE SITE OR GENERATED BY OPERATIONS DURING THE CONSTRUCTION SEQUENCE, SHALL BE PROPERLY REMOVED AND PROPERLY DISPOSED OF BY THE DEVELOPER.
- SEE ADDITIONAL NOTES CONSTRUCTION ON OTHER PLAN SHEETS.

UTILITY NOTES:

- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS AND SIZES. TEST PITS INFORMATION SHALL BE GIVEN TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
- STORM SEWER PIPE SHALL BE ADS N-12 OR ASTM C-76 REINFORCED CONCRETE PIPE WITH ASTM C-443 O-RING TYPE GASKETS (1" AND SMALLER MAY USE "SEAL SCA" AS AN ALTERNATIVE CLASS III, UNLESS OTHERWISE NOTED, PIPE SHALL BE SIZED AND LAID TO THE LINE AND GRADE, AS SHOWN. ALL STORM PIPES TO BE HOPE, N-12 AS MANUFACTURED BY ADS UNLESS NOTED. LENGTH OF STORM SEWER PIPE IS MEASURED FROM CENTERLINE OF STRUCTURES.
- DRAINAGE INLETS SHALL BE STANDARD NO.12 TYPE "B" INLETS, UNLESS OTHERWISE NOTED OR AS REQUIRED TO ACCOMMODATE ALL PIPES IN AND OUT OF THE STRUCTURE. CASTING CURB HEIGHT SHALL BE 6". ALL INLETS TO HAVE BICYCLE SAFE GRATES.
- ALL STORMWATER STRUCTURES MAY BE PRECAST. SHOP DRAWINGS FOR OVERSIZED STRUCTURES / SPECIAL STRUCTURES TO BE SUBMITTED TO TOWNSHIP ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION. SPECIAL STORM SEWER STRUCTURES MAYBE REQUIRED WHERE PIPE EXCEEDS 30" OR WITH MULTIPLE PIPES. CONTRACTOR TO PROVIDE SHOP DRAWINGS AS REQUIRED. ALL PRECAST DRAINAGE STRUCTURES SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A LICENSED NJ PROFESSIONAL ENGINEER AS TO THEIR ABILITY TO WITHSTAND ASHTO HS 20 LOADING AND THEIR SUITABILITY FOR THEIR INTENDED USE.
- STORMWATER RUNOFF SHALL FLOW AWAY FROM BUILDINGS. ALL ROOF RUNOFF TO BE CONNECTED TO STORM SEWER VIA ROOF DRAIN COLLECTION SYSTEM.
- ALL SANITARY SEWER CONSTRUCTION SHALL COMPLY WITH THE CURRENT STANDARDS OF NORTH BRUNSWICK TOWNSHIP UTILITY DEPARTMENTS AS WELL AS NJDEP STANDARDS. THE SANITARY SEWER SYSTEM SHALL BE LOW AIR PRESSURE TESTED AND DEFLECTION TESTED AS PER NORTH BRUNSWICK TOWNSHIP STANDARDS.
- SANITARY SEWER MAIN SHALL BE PVC SDR-35, 4" DIP SEWER PIPE IS USED IN PLACE OF PVC PIPE, DIP SHALL HAVE A HYDROGEN SULFIDE / CORROSION RESISTANT INTERIOR LINING SUITABLE FOR SEWER APPLICATIONS. STANDARD CEMENT LINED DIP WILL NOT BE PERMITTED FOR SANITARY SEWER COLLECTION SYSTEM CONSTRUCTION.
- SANITARY SEWER LATERAL SHALL BE SCHEDULE 40 PVC WITH CLIPS AS REQUIRED BY PLUMBING CODE. ALL CLEANOUTS IN PAVED AREA TO BE CONSTRUCTED IN ACCORDANCE WITH THE "SIGHT TEE" DETAIL. ALL PROPOSED SANITARY SEWER LATERALS SHALL HAVE A MINIMUM DEPTH OF COVER OF 3 FT. SEWER LATERALS, 4" MIN. SLOPE 2.0% 6" MIN. SLOPE 1.0%, AND A DIRECT CONNECTION TO A SANITARY MANHOLE WILL NOT BE PERMITTED.
- THE TOWNSHIP OF NORTH BRUNSWICK UTILITY DEPARTMENT RESERVES THE RIGHT TO REQUIRE INSTALLATION OF A GREASE TRAP AND SAMPLING MANHOLE AND / OR PRETREATMENT FACILITIES IF THE QUALITY OF THE WASTEWATER STREAM DEMONSTRATES A FOOD SERVICE ESTABLISHMENT TYPE DISCHARGE (QUANTITIES OF GREASE AND OIL IN EXCESS OF THAT OF DOMESTIC WASTE) AND / OR THE NEED FOR FLOW EQUALIZATION.
- SANITARY SEWER AND WATER MAINS SHALL BE SEPARATED A MINIMUM OF 10' HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18" BELOW THE BOTTOM OF THE WATER MAIN, WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER MAIN AS POSSIBLE. WHERE A WATER

MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER SHALL BE PROVIDED.

- NO BASEMENT SUMP PUMPS SHALL BE CONNECTED TO THE SANITARY SEWER SYSTEM OR DISCHARGE DIRECTLY TO THE STREET.
- WATER LINES SHALL BE DIP, CLASS 52-CL, SIZES AS NOTED ON PLAN. ALL WATER DISTRIBUTION PIPES, VALVES, FITTINGS AND APPURTENANCES SHALL BE LEAD FREE IN ACCORDANCE TO THE LATEST SAFE DRINKING WATER ACT, NSF/ANSI 61 AND AWWA REQUIREMENTS. CONTRACTOR TO COORDINATE WITH FIRE OFFICIAL FOR APPROVED FDC. DOMESTIC LINE SHALL BE TYPE "K" COPPER. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF A FEET OF COVER ON THE INSTALLATION OF THE NEW WATER MAINS, DOMESTIC AND FIRE SERVICES. THE CONTRACTOR SHALL PROVIDE MECHANICAL JOINT RETAINER GLANDS AND THRUST BLOCKS AT ALL MECHANICAL JOINT FITTINGS. ALL WATER CONSTRUCTION (PIPES, VALVES, HYDRANTS AND APPURTENANCES, PRESSURE TESTING & DISINFECTIONS) AS PER NORTH BRUNSWICK TOWNSHIP STANDARDS.
- IT IS THE INTENT TO PROVIDE GATE VALVES ON ALL LEGS OF "T" AND CROSS FITTINGS ON WATER MAIN CONNECTIONS.
- PROVIDE SHUT OFF VALVE ON ALL FIRE SERVICE CONNECTIONS, CURB BOX / SHUT OFF VALVE ON ALL DOMESTIC SERVICES.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND. DESIGN AND LOCATION REQUIREMENTS PER RESPECTIVE UTILITY COMPANIES.
- EXCAVATIONS OR TRENCHING WITHIN CLOSE PROXIMITY TO UNDERGROUND FACILITIES OR UTILITY POLES WILL REQUIRE PROTECTION IN AN APPROVED MANNER TO PREVENT DAMAGE OR INTERRUPTION OF SERVICE TO UNDERGROUND FACILITIES. THE COST TO PROVIDE THIS PROTECTION WILL BE BORNE BY THE CONTRACTOR.
- ALL TRENCHES SHALL BE BACKFILLED WITHOUT DELAY. OPEN TRENCHES SHALL BE KEPT TO A MINIMUM OPEN TRENCHES SHALL BE STEEL PLATED OR BARRICADED WHEN WORK IS NOT IN PROGRESS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT IN AN APPROVED MANNER EXISTING THRUST BLOCKS WHICH ARE RESTRAINING EXISTING UTILITIES. EXISTING THRUST BLOCKS SHALL NOT BE UNDERMINED.
- STORM & SANITARY IMPROVEMENTS SHALL BE INSTALLED BEFORE OTHER UTILITIES.
- GAS LINE TO BUILDING TO BE INSTALLED BY UTILITY COMPANY.
- NO PIPE, INLET, MANHOLE, CURB, SHALL BE CONSTRUCTED WITHOUT CUT SHEETS. THE CONTRACTOR SHALL ALLOW TWO WORKING DAYS TO CHECK THE PROPOSED ELEVATIONS AGAINST THOSE ON THE CUT SHEET.
- SEE ADDITIONAL CONSTRUCTION NOTES ON OTHER SHEETS.



SANITARY-1 PROFILE

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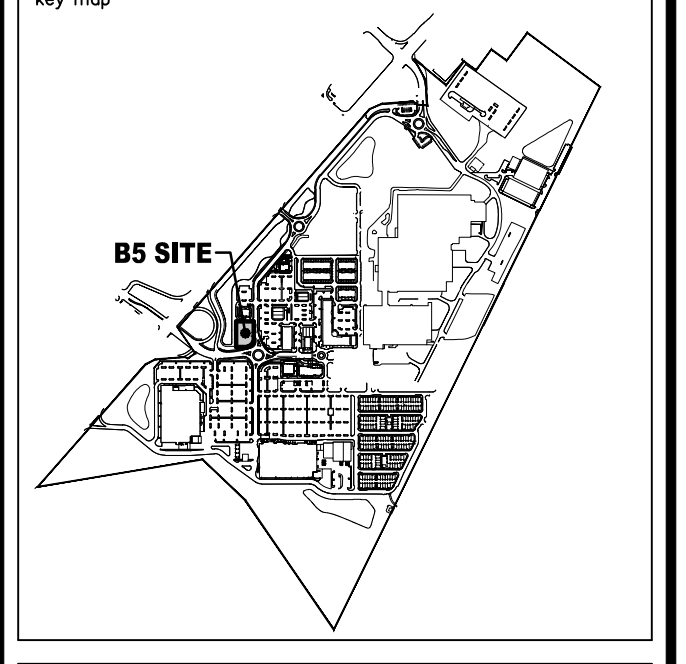
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EXISTING LEGEND

- ▲ GAS VALVE
- ⊗ GAS METER
- ⊕ WATER VALVE
- ⊕ HYDRANT
- ⊕ WATER METER
- ⊕ CURB STOP
- ⊕ FIRE DEPT. CONNECTION
- ⊕ DRAINAGE MH
- ⊕ CURB INLET
- ⊕ LAWN INLET
- ⊕ SANITARY MH
- ⊕ BOLLARD
- ⊕ SIGN
- ⊕ LIGHT
- ⊕ MAIL BOX
- ⊕ GUY WIRE
- ⊕ UTILITY POLE
- ⊕ ELECTRIC MH
- ⊕ CONFEROUS TREE
- ⊕ DECIDUOUS TREE
- X- FENCE
- ⊕ RAILING
- ⊕ WALL
- ⊕ GATE POST
- ⊕ WATER LINE
- ⊕ GAS LINE
- ⊕ ELECTRIC LINE
- ⊕ SANITARY LINE
- ⊕ OVERHEAD WIRES

PROPOSED LEGEND

- ⊕ PHASE LINE
- ⊕ STORM MANHOLE
- ⊕ STORM "B" INLET
- ⊕ STORM "E" INLET
- ⊕ STORM LAWN INLET
- ⊕ STORM PIPE
- ⊕ SANITARY MANHOLE
- ⊕ SANITARY PIPE
- ⊕ WATER LINE
- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ F.D.C.
- ⊕ STREET SIGN



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State of New Jersey
Certificate of Authorization
Number 24042789200
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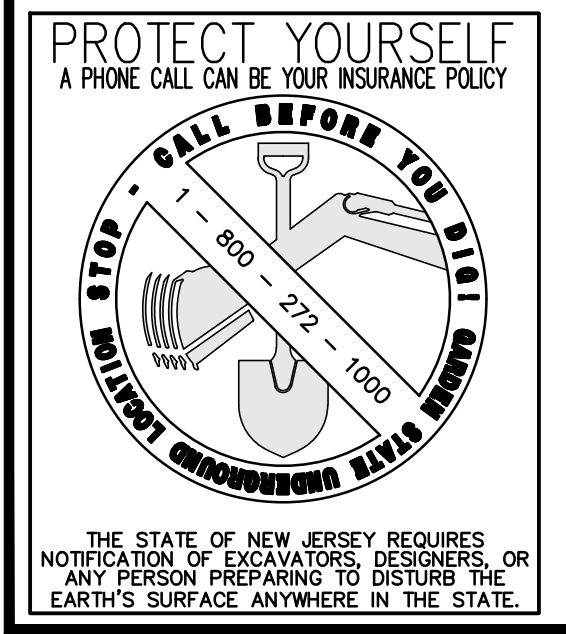
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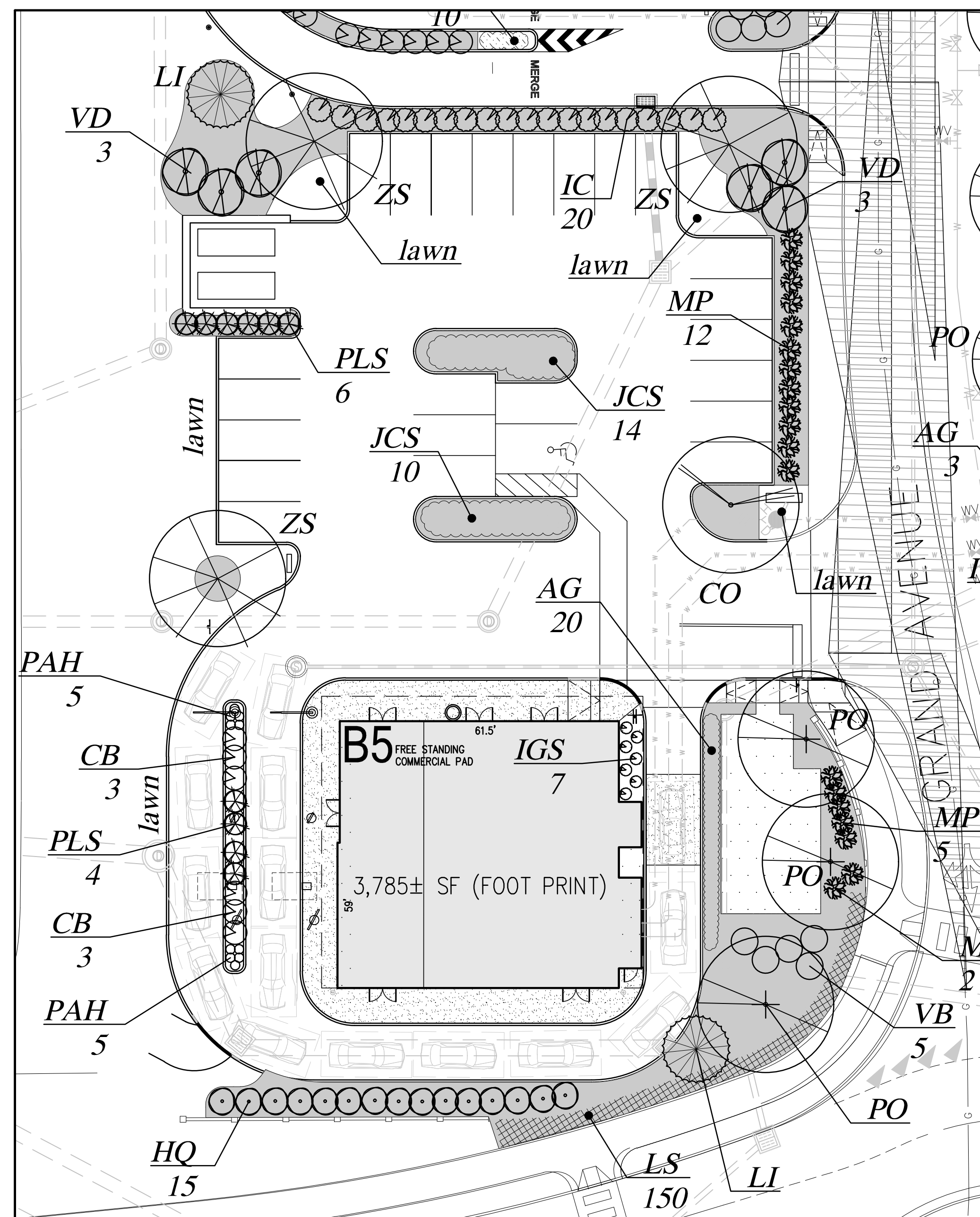
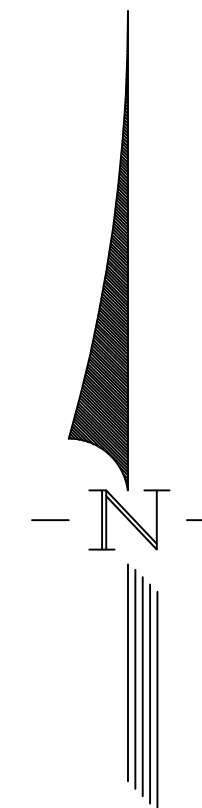
FINAL SITE PLAN

BLOCK 141 LOT 38.01
NORTH BRUNSWICK TOWNSHIP
MIDDLESEX COUNTY, NEW JERSEY

DIMENSION, GRADING AND UTILITY PLAN (ALTERNATE)

job number: 21-042-4 drawing number: 6A
scale: 1"=20'
checked by: FMA/AEC
drawn by: A.A.
date: 01/30/24 sheet 6 of 16





LANDSCAPE PLAN

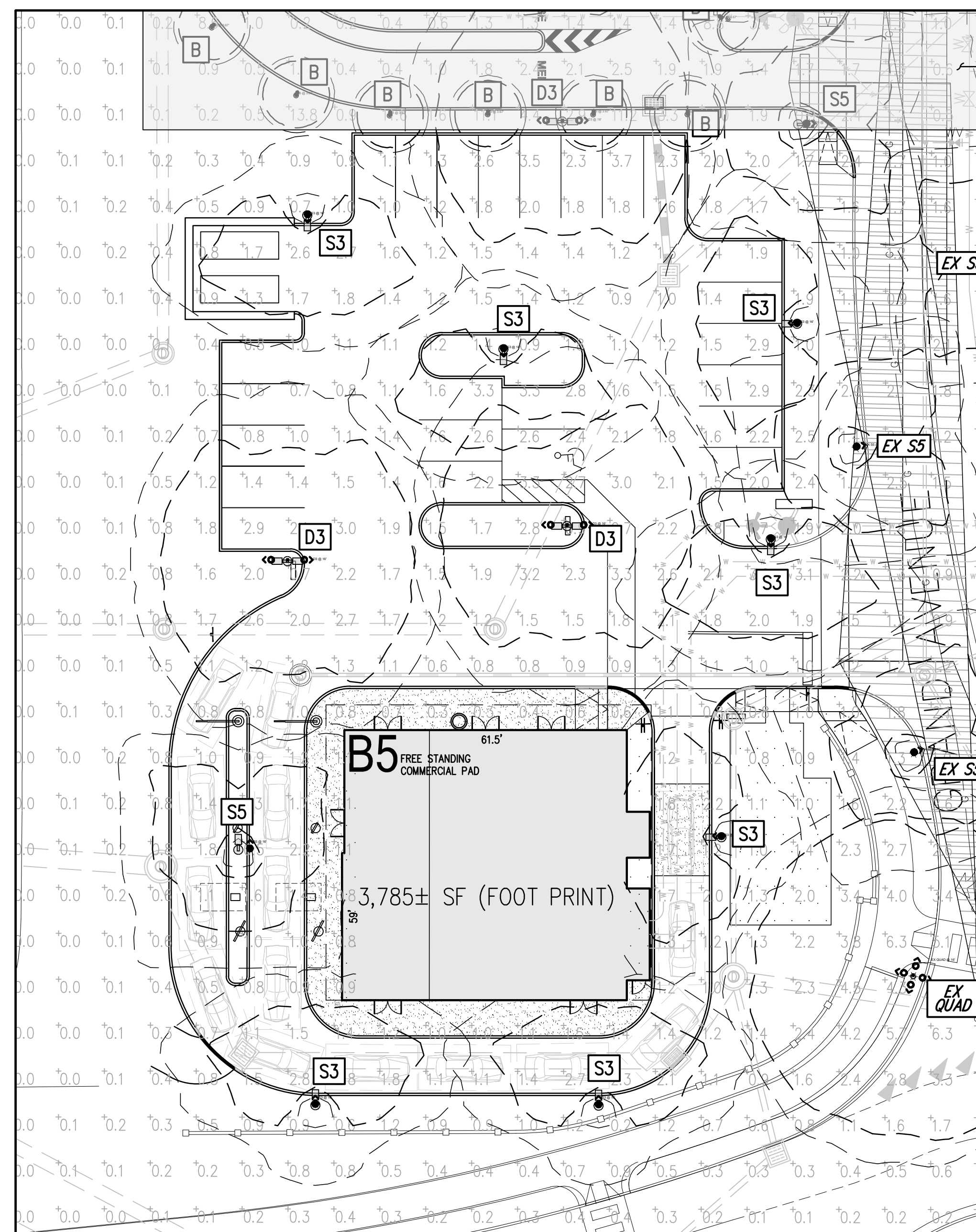
NOTE: ALL PARKING ISLANDS TO BE MULCHED.

THIS PLAN TO BE USED FOR LANDSCAPE PURPOSES ONLY

SEE PLANT LIST THIS SHEET

PLANTING SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT SPACING
TREES					
OD	1	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2.5'-3" GAL.	B&B As Shown
PO	3	PLATANUS OCCIDENTALIS	AMERICAN PLANE TREE	2.5'-3" GAL.	B&B As Shown
ZS	3	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	2.5'-3" GAL.	B&B As Shown
ORNAMENTAL TREES					
LI	2	LAGERSTROEMIA INDICA	CRAPE MYRTLE	12-14' HT.	B&B As Shown
SHRUBS					
AG	20	ABELIA X GRANDIFLORA	GLOSSY ABELIA	24-30" HT.	CONT. 4' OC
HQ	15	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	SNOW QUEEN OAKLEAF HYDRANGEA	18-24" HT.	CONT. 5' OC
VB	5	VIBURNUM X BURKWOODII	BURKWOOD VIBURNUM	3-4' HT.	B&B 5' OC
VD	6	VIBURNUM DENTATUM 'BLUE MUFFIN'	BLUE MUFFIN ARROWWOOD VIBURNUM	3-4' HT.	B&B 8' OC
EVERGREEN SHRUBS					
IG	20	ILEX GRENATA 'CONVEX'	CONVEX JAPANESE HOLLY	3-4' HT.	B&B 5' OC
IG	1	ILEX GLABRA	INKBERRY HOLLY	24-30" HT.	5 GAL. 4' OC
IGS	7	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	18-24" HT.	CONT. 3' OC
MP	19	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	3-4' HT.	B&B 4' OC
PLS	10	PRUNUS LAUROCERASUS 'SCHIPKAENSIS'	SCHIPKAENSIS CHERRY LAUREL	4-5' HT.	B&B 5' OC
GROUND COVERS					
JCS	24	JUNIPERUS CHINENSIS VAR. SARGENTII	SARGENT JUNIPER	3 GAL.	6' OC
LS	150	LIRIOIDE SPICATA	CREeping LILY TURF	BAREROOT	18" OC
PERENNIALS					
CB	6	CALAMAGROSTIS BRACHYTRICHA	KARL FOSTER FEATHER REED GRASS	18-24" HT.	1 GAL. 3' OC
PAH	10	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	24-30" HT.	1 GAL. 24" OC



LIGHTING PLAN

THIS PLAN TO BE USED FOR LIGHTING PURPOSES ONLY

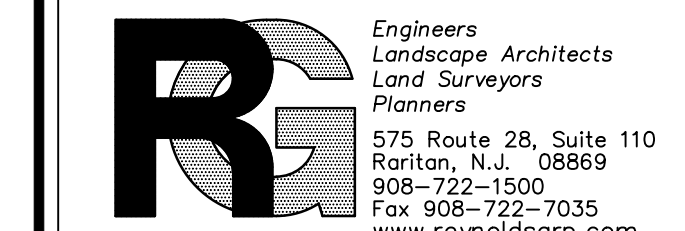
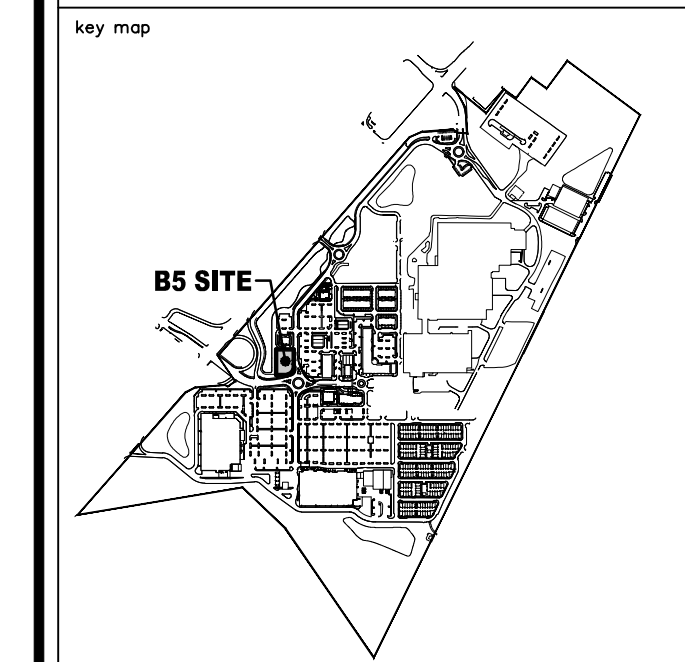
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Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
D3	D3	3	NERMLD	Light 500-LED 740 4500lm NLG02 BACK TO BACK - 16" MOUNTING HEIGHT - TYPE 3 DIST.	XX500L023P6		1	XX500L023P6 4500lm 4000K Type III.LDT	4500	0.9	96
S3	S3	7	NERI	Light 500-LED 740 4500lm NLG02 - 16" MOUNTING HEIGHT - TYPE 3 DIST.	XX500L023P6		1	XX500L023P6 4500lm 4000K Type III.LDT	4500	0.9	48
S5	S5	1	NERI	Light 500-LED 740 4500lm NLG06 - 16" MOUNTING HEIGHT - TYPE 5 DIST.	XX500L063P6 ght	P6-740 - 48.00 W	1	XX500L063P6 4500lm 4000K Type V.IES	3751	0.9	48

no.	date	description

⊕	GAS VALVE
⊕	GAS METER
⊕	WATER VALVE
⊕	HYDRANT
⊕	WATER METER
⊕	CURB STOP
⊕	FIRE DEPT. CONNECTION
⊕	DRAINAGE MH
⊕	CURB INLET
⊕	LAWN INLET
⊕	SANITARY MH
⊕	CLEANOUT
⊕	BOLLARD
⊕	SIGN
⊕	LIGHT
⊕	MAIL BOX
⊕	GUY WIRE
⊕	UTILITY POLE
⊕	ELECTRIC MH
⊕	CONIFEROUS TREE
⊕	DECIDUOUS TREE
-X-	FENCE
-R-	RAILING
-W-	WALL
-G-	GATE POST
-W-	WATER LINE
-G-	GAS LINE
-E-	ELECTRIC LINE
-S-	SANITARY LINE
-OH-	OVERHEAD WIRES

—	PHASE LINE
⊕	STORM MANHOLE
⊕	STORM 'B' INLET
⊕	STORM 'E' INLET
⊕	STORM LAWN INLET
⊕	STORM PIPE
⊕	SANITARY MANHOLE
⊕	SANITARY PIPE
-W-	WATER LINE
⊕	WATER VALVE
⊕	FIRE HYDRANT
⊕	F.D.C.
+	STREET SIGN



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Land Surveyors
Planners
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908-722-1500
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State of New Jersey
Certificate of Authorization
Number: 240427989200
21MH00004300

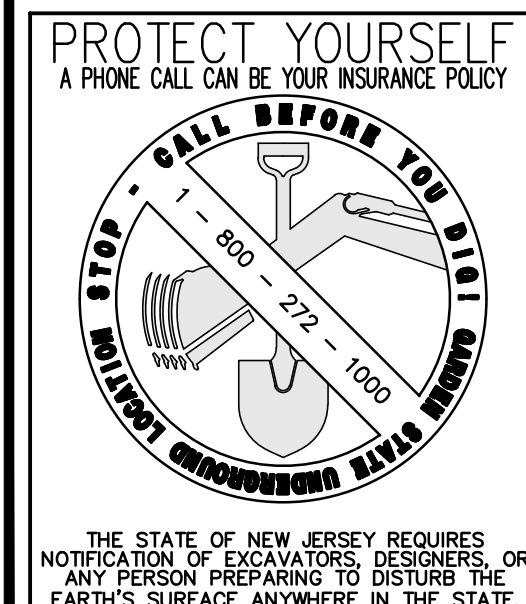
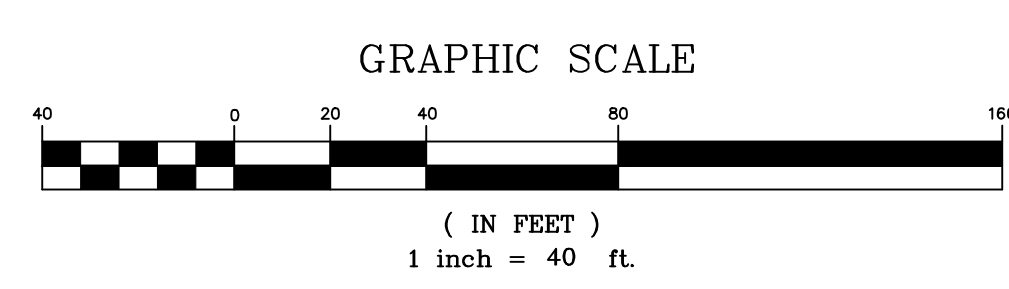
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Jeffrey D. Reynolds, P.L.A.

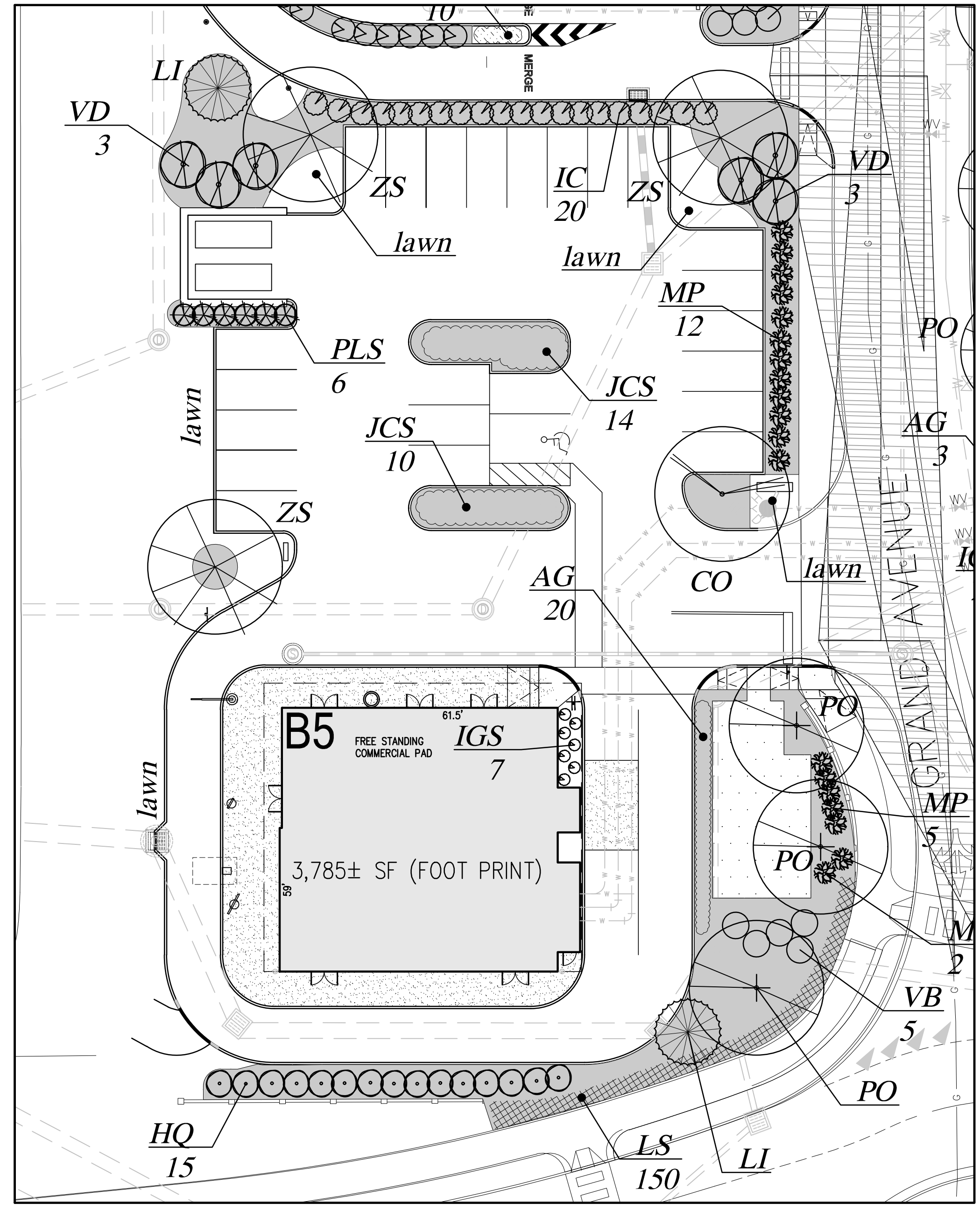
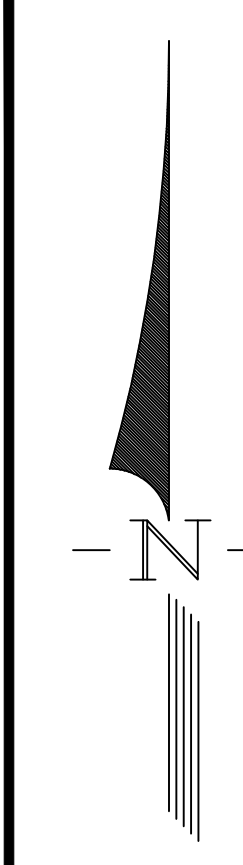
project
FINAL SITE PLAN

BLOCK 141 LOT 36.01
NORTH BRUNSWICK TOWNSHIP
MIDDLESEX COUNTY - NEW JERSEY

drawing title
LANDSCAPING PLAN AND LIGHTING PLAN

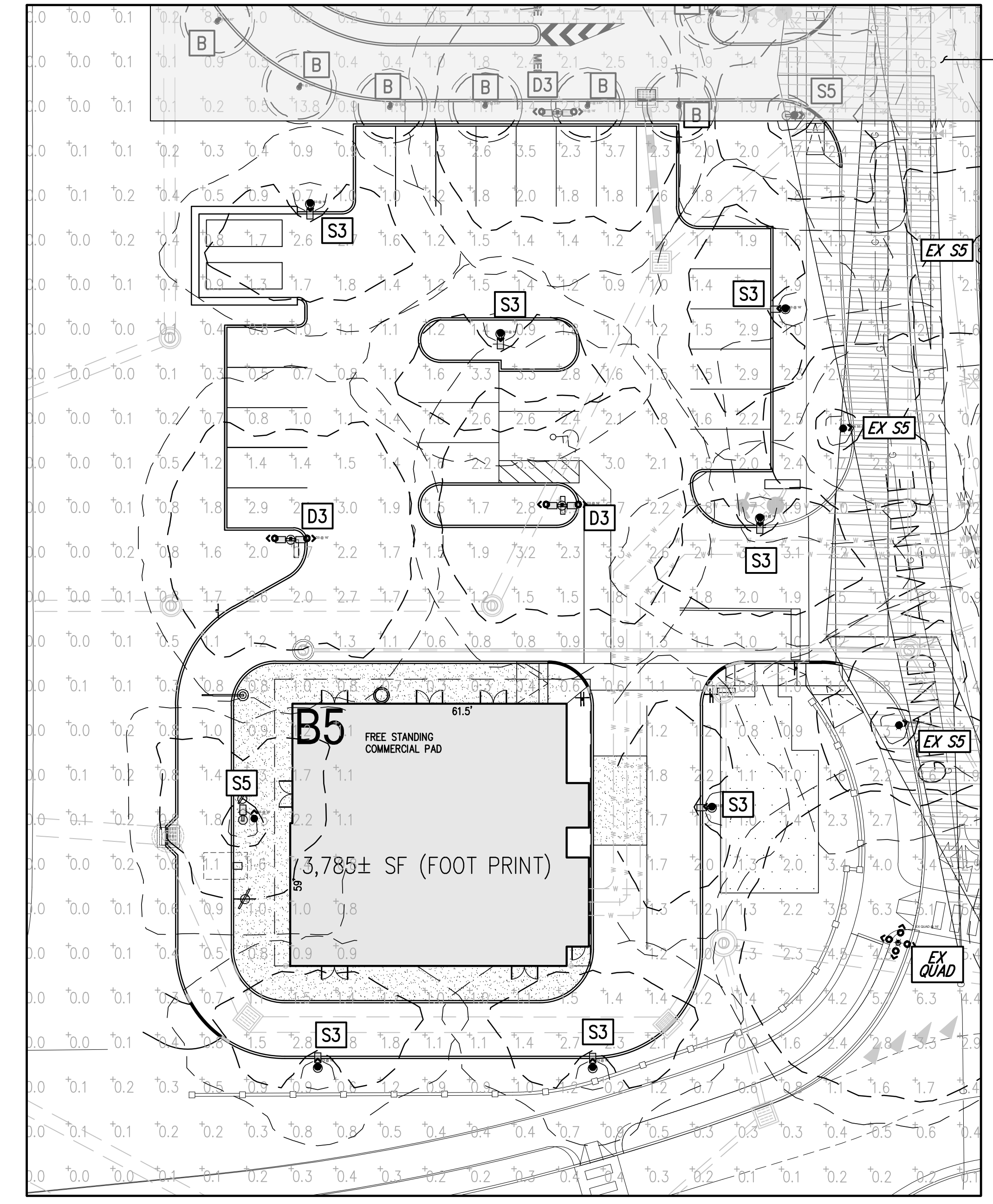
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checked by FMA/AEC	
drawn by A.A.	
date 01/30/24	sheet 7 of 16





LANDSCAPE PLAN

NOTE: ALL PARKING ISLANDS TO BE MULCHED.
 THIS PLAN TO BE USED FOR LANDSCAPE PURPOSES ONLY
 SEE PLANT LIST THIS SHEET



LIGHTING PLAN

THIS PLAN TO BE USED FOR LIGHTING PURPOSES ONLY

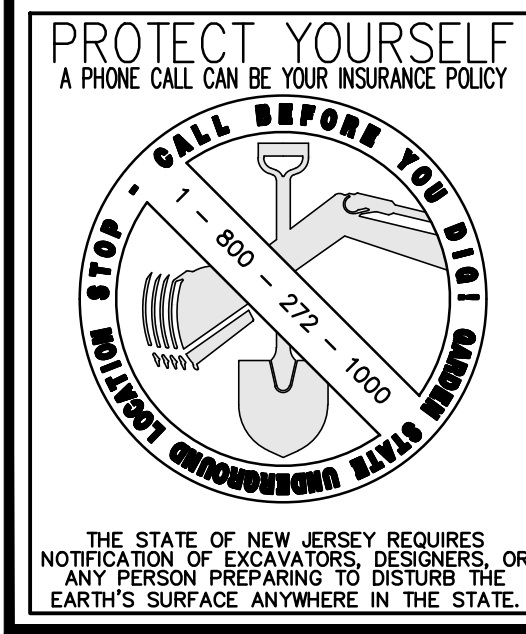
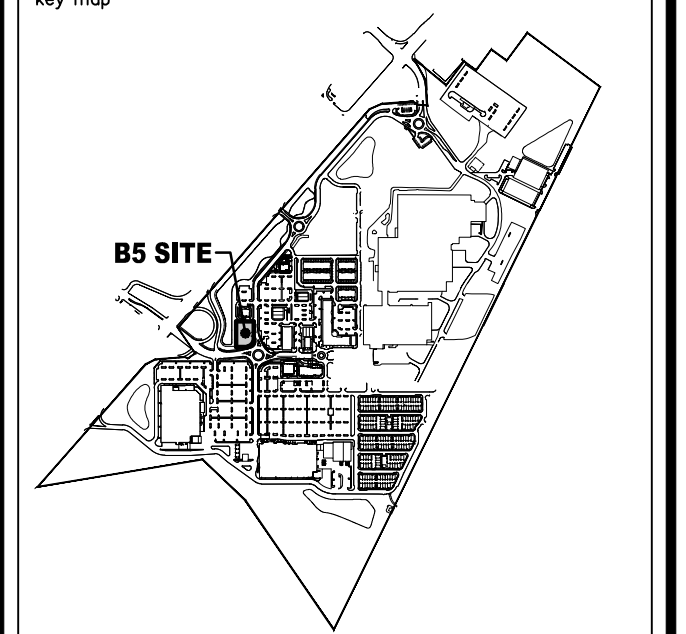
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AVERAGE	1.5

PLANTING SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT SPACING
TREES					
OD	1	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2.5-3" GAL.	B&B As Shown
PO	3	PLATANUS OCCIDENTALIS	AMERICAN PLANE TREE	2.5-3" GAL.	B&B As Shown
ZS	3	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	2.5-3" GAL.	B&B As Shown
ORNAMENTAL TREES					
LI	2	LACERIS TROEMIA INDICA	CRAPE MYRTLE	12-14 HT.	B&B As Shown
SHRUBS					
AG	20	ABELIA X GRANDIFLORA	GLOSSY ABELIA	24-30" HT.	CONT. 4" OC
HQ	15	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	SNOW QUEEN OAKLEAF HYDRANGEA	18-24" HT.	CONT. 5" OC
VB	5	VIBURNUM X BURKWOODII	BURKWOOD VIBURNUM	3-4 HT.	B&B 5" OC
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	S5	1	NERI	Light 500-LED 740 4500lm NLG06 - 16" MOUNTING HEIGHT - TYPE 5 DIST.	XX500L063P6 ght	P6-740 - 48.00 W	1	XX500L063P6 4500lm 4000K Type V.IES	3751	0.9	48

revisions		
no.	date	description

- EXISTING LEGEND**
- GAS VALVE
 - GAS METER
 - WATER VALVE
 - HYDRANT
 - WATER METER
 - CURB STOP
 - FIRE DEPT. CONNECTION
 - DRAINAGE MH
 - CURB INLET
 - LAWN INLET
 - SANITARY MH
 - CLEANOUT
 - BOLLARD
 - SIGN
 - LIGHT
 - MAIL BOX
 - GUY WIRE
 - UTILITY POLE
 - ELECTRIC MH
 - CONIFEROUS TREE
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 - FENCE
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 - WALL
 - GATE POST
 - WATER LINE
 - GAS LINE
 - ELECTRIC LINE
 - SANITARY LINE
 - OVERHEAD WIRES
- PROPOSED LEGEND**
- PHASE LINE
 - STORM MANHOLE
 - STORM 'B' INLET
 - STORM 'E' INLET
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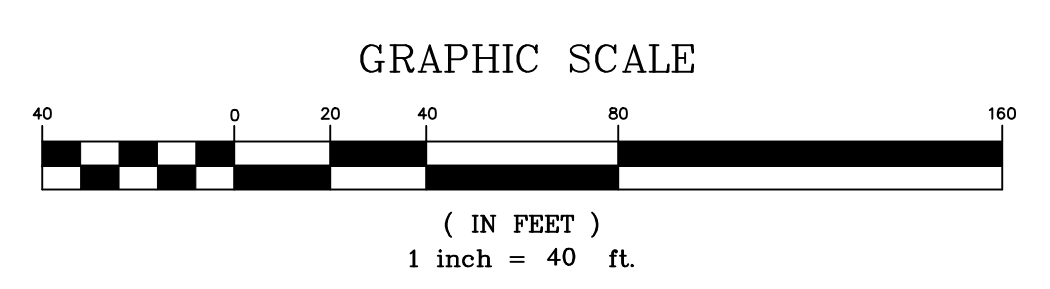
State of New Jersey
 Certificate of Authorization
 Number: 240427989200
 21MH00004300
 F. Mitchell Ardmán, P.E., P.P.
 Jeffrey D. Reynolds, P.L.A.

FINAL SITE PLAN

BLOCK 141 LOT 36.01
 NORTH BRUNSWICK TOWNSHIP
 MIDDLESEX COUNTY - NEW JERSEY

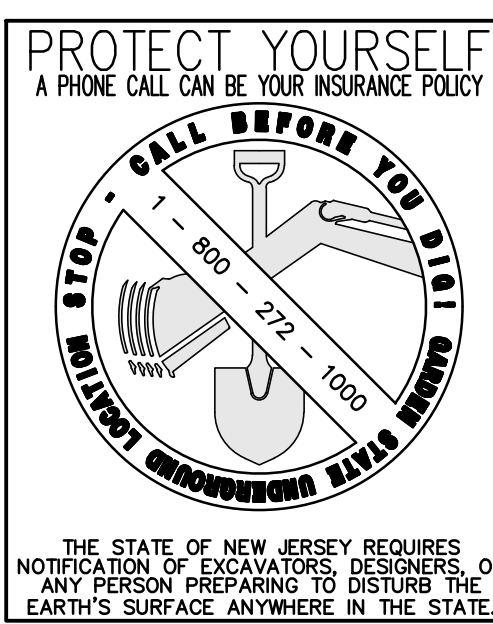
LANDSCAPING PLAN AND LIGHTING PLAN (ALTERNATE)

job number: 21-042-4
 drawing number: 7A
 scale: 1"=40'
 checked by: FMA/AEC
 drawn by: A.A.
 date: 01/30/24
 sheet: 7 of 16



FREEHOLD SOIL CONSERVATION DISTRICT NOTES:

- FSD #2011-0558 ENCOMPASSED THE WHOLE ENTIRE PROJECT ACCEPT PHASE 1F AS DESCRIBED BELOW. THE MAIN COMPONENTS OF THE STORMWATER MANAGEMENT SYSTEM HAVE BEEN OR ARE BEING CONSTRUCTED UNDER THIS PROJECT INCLUDING THE COLLECTION SYSTEM AND BASINS A, B, C, D & E.
- FSD #2015-0876 ENCOMPASSED THE AREA WITHIN THE INSIDE CURB OF SOUTH DRIVE, TENTH AVENUE, GREEN STREET AND EAST END AVENUE. AS OF DECEMBER 2015, THESE STREETS HAVE BASE COURSE INSTALLED. THE RESPONSIBILITY OF MAINTENANCE OF SEASO MEASURES SEPARATES BETWEEN THE TWO PROJECTS AT THE CURB LINE.
- FSD #2015-0876 SEDIMENT BARRIERS WILL BE PROVIDED AS NECESSARY BASED ON LOCATION OF CURRENT CONSTRUCTION.

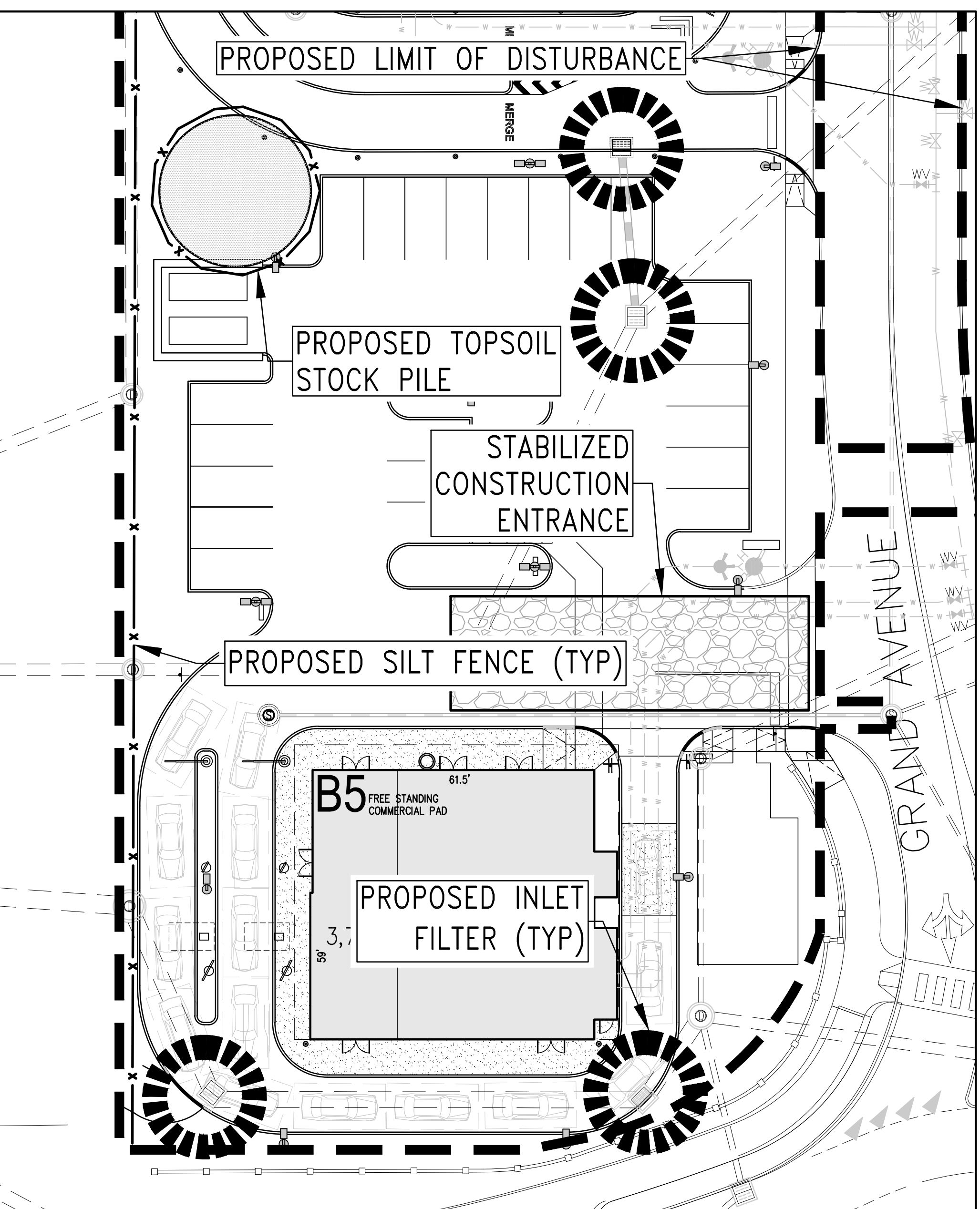


FREEHOLD SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

- THE FREEHOLD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBANCE ACTIVITY.
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
- N.J.S.A. 4:24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT HAS REVIEWED A PROJECT OR PORTION THEREOF IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL. IN NEW JERSEY, A REPORT OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS, PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO THE STANDARD FOR STABILIZATION WITH MULCH ONLY.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. SOIL STOCKPILES, STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS.
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
- THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ACCESS CONSISTING OF ONE INCH TO TWO INCH (1" - 2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.
- ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS WILL BE REMOVED IMMEDIATELY.
- PERMANENT VEGETATION IS TO BE SEEDED OR SOODED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.
- AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS/ACRE, (OR 450 LBS/1,000 SQ FT OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12" OF SETTLED SOIL WITH A PH OF 5 OR MORE, OR 24" WHERE TREES OR SHRUBS ARE TO BE PLANTED.
- CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
- UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING.
- SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.
- STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THESE ACTIVITIES, IF AN AREA GREATER THAN 5,000 SQUARE FEET IS DISTURBED.
- ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

STANDARD FOR PERMANENT AND TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

- SITE PREPARATION:**
 - GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDING PREPARATION. SEEDING MULCH APPLICATION AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.
 - IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.
 - TOPSOIL SHALL BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 6 INCHES (UNWEETED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
 - INSTALL NEEDED EROSION CONTROL PRACTICES FOR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS IN ACCORDANCE WITH STATE STANDARDS.
- SEEDING PREPARATION:**
 - UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE ANALYSES ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 50 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 (PERMANENT) AND 10-20-10 (TEMPORARY) OR EQUIVALENT WITH SOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED APPLY ONE-HALF THE RATE DISCORDED ABOVE DURING SEEDING PREPARATION AND REPEAT ANOTHER ONE-HALF RATE. APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING.
 - WORK LINE AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED. HIGH ACID PRODUCING SOILS.
 - SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE SEEDING PREPARATION. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS.
- SEEDING:**
 - PERMANENT SEEDING: USE MIXTURE SHOWN IN THE PERMANENT SEEDING TABLE OR USE MIXTURE RECOMMENDED BY RUTGERS CO-OPERATIVE EXTENSION OR NATURAL RESOURCES CONSERVATION SERVICE WHICH IS APPROVED BY THE SOIL CONSERVATION DISTRICT. SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS REJECTED.
 - SEEDING RATES SPECIFIED ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED. PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION UP TO 50% REDUCTION IN RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO A REPORT OF COMPLIANCE INSPECTION. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS BOX VEGETATIVE COVER WITH THE SPECIFIED SEED MIXTURE FOR THE SEEDING AREA AND MOVED ONCE.
 - WARM SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT HIGH TEMPERATURES, GENERALLY 80° AND ABOVE. SEE PERMANENT SEEDING TABLE. PLANTING RATES FOR WARM SEASON GRASSES SHALL BE AMOUNT OF PURE LIVE SEED (PLS) AS DETERMINED BY GERMINATING TESTING RESULTS.
 - COOL SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT TEMPERATURES BELOW 80°. MANY GRASSES BECOME ACTIVE AT 65°. ADJUSTMENT OF PLANTING RATES TO COMPENSATE FOR THE AMOUNT OF PURE LIVE SEED IS NOT REQUIRED FOR COOL SEASON GRASSES.
- TEMPORARY SEEDING:** TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON SOILS EXPOSED FOR PERIODS OF 2 TO 6 MONTHS WHICH ARE NOT BEING GRADED, NOT UNDER ACTIVE CONSTRUCTION, OR NOT SCHEDULED FOR PERMANENT SEEDING WITHIN 90 DAYS. SELECT A SEED FROM THE TEMPORARY VEGETATIVE SEEDING TABLE.
 - CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDER OR CULTIPACKER SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDING PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE TEXTURED SOIL.
 - AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.
 - HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK OR TRAILER MOUNTED TANK WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION 4 MULCHING BELOW). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. WHEN POOR SEED TO SOIL CONTACT OCCURS, THERE IS REDUCED SEED GERMINATION AND GROWTH.



THERE IS NO SCD APPROVAL REQUIRED WITH THIS APPLICATION. NOTHING CHANGED FROM THE FULL PHASE 1F APPROVAL. THIS PAGE SHOWN FOR INFORMATION PURPOSES ONLY.

AREAS TO BE SCARIFIED/TILLED:

PURSUANT TO NJ SOIL EROSION AND SEDIMENT CONTROL STANDARD FOR LAND GRADING (CHAPTER 19), THE FOLLOWING ON-SITE AREAS SHALL BE SCARIFIED/TILLED TO A MINIMUM DEPTH OF 6":

- DISTURBED AREAS OF SITE WITH CONTIGUOUS AREA > 500 SF.
- AREAS THAT WILL NOT BE IMPROVED.
- PERVIOUS AREA 20' OUTSIDE BUILDING WITH BASEMENT OR 12' OUTSIDE BUILDING ON SLAB.

SOIL EROSION AND SEDIMENT CONTROL PLAN

NOTE: SCARIFICATION/TILLAGE IS NOT REQUIRED IN AREAS WITH SHALLOW BEDROCK CONDITIONS OR WHERE THERE IS A DANGER TO UNDERGROUND UTILITIES.

FOR ADDITIONAL REQUIREMENTS REGARDING SOIL COMPACTION AND TESTING, SEE SOIL COMPACTION NOTES AND SOIL DE-COMPACTION AND TESTING REQUIREMENTS.

SOIL COMPACTION NOTES:

- TO ENSURE SUBGRADE SOILS ARE FREE OF EXCESSIVE COMPACTION, DEEP SCARIFICATION/TILLAGE (MINIMUM DEPTH 6"; MAXIMUM 12") SHALL BE PERFORMED BY THE CONTRACTOR PRIOR TO THE APPLICATION OF TOPSOIL AND PERMANENT SEEDING. THE AREAS OF THE SITE SUBJECT TO THIS SCARIFICATION ARE NOTED ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN. NOTE THAT SCARIFICATION IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
- IF TESTING INDICATES EXCESSIVE COMPACTION, THEN THE CONTRACTOR/OWNER SHALL EITHER PERFORM COMPACTION MITIGATION, IN ACCORDANCE WITH NJ SCSO STANDARDS, OVER THE ENTIRE DISTURBED AREA (EXCLUDING EXEMPT AREAS), OR TO PERFORM ADDITIONAL TILLAGE TO ESTABLISH THE LIMITS OF THE EXCESSIVELY COMPACTED AREAS WHICH WOULD REQUIRE THE MITIGATION.
- THE CONTRACTOR SHALL SUBMIT A SOIL COMPACTION MITIGATION VERIFICATION FORM TO THE DISTRICT AND COMPLY WITH ALL DISTRICT REQUIREMENTS REGARDING COMPACTION MITIGATION AND TESTING.
- FOR COMPACTION IN STORMWATER MANAGEMENT FACILITIES, SEE BASIN COMPACTION NOTES.

STANDARD FOR STABILIZATION WITH MULCH ONLY

- METHODS AND MATERIALS**
- SITE PREPARATION:** FOLLOW REQUIREMENTS FOR PERMANENT VEGETATIVE COVER.
 - PROTECTIVE MATERIALS:**
 - UNWEETED SMALL-GRAIN STRAW AT 2.0 TO 2.5 TONS PER ACRE IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SQ. FEET AND ANCHORED WITH A MULCH ANCHORING TOOL. LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT. THE APPROVED RATES ABOVE HAVE BEEN MET WHEN THE MULCH COVERS THE.
 - SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
 - WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER.
 - MULCH NETTING, SUCH AS PAPER JUTE, EXCELOR, COTTON, OR PLASTIC MAY BE USED.
 - WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED. WOODCHIPS WILL NOT BE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT.
 - GRAVEL, CRUSHED STONE, OR SLAG AT THE RATE OF 9 CU. YDS. PER 1,000 SQ. FT. APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3 INCHES MAY BE USED. SIZE 2 OR 3 (ASTM C-33) IS RECOMMENDED.
 - MULCH ANCHORING SHALL BE ACCOMPLISHED AS DIRECTED FOR PERMANENT VEGETATION.

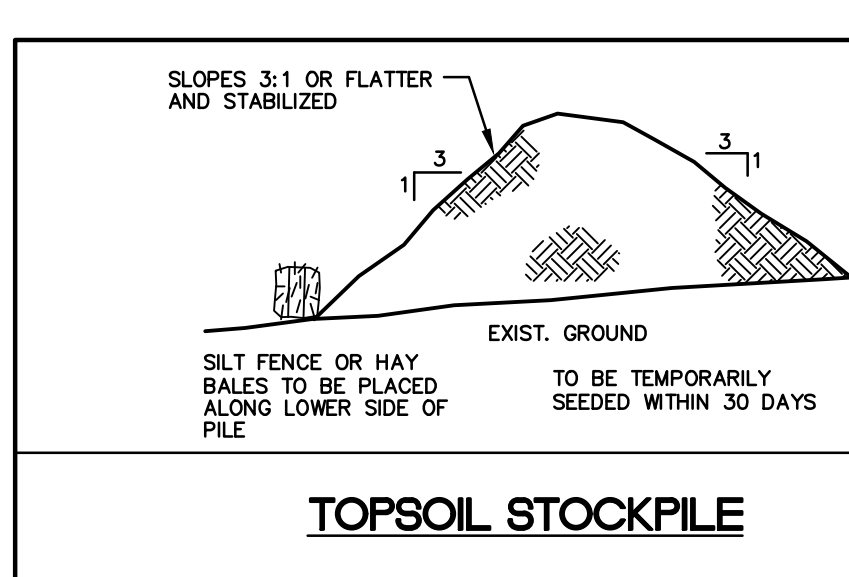
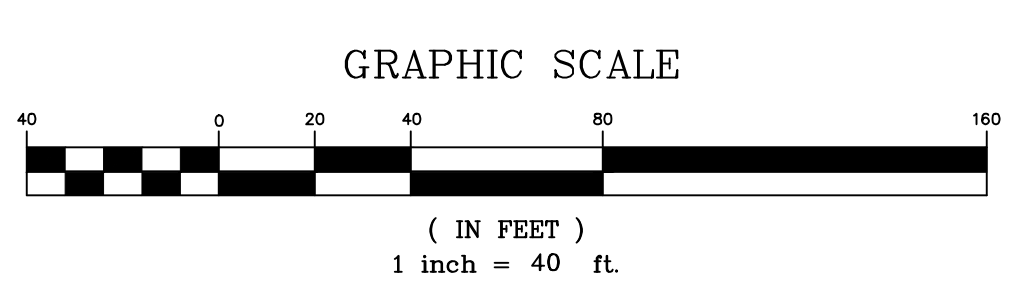
Permanent Seeding Table

SEED MIXTURE	PLANTING RATE	PLANTING DATES		PLANTING DATES		REMARKS
		Zone 5(a)	Zone 5(b)	Zone 6(a)	Zone 6(b)	
1. Turf-Type Tall Fescue (Seed of 3 latex cultures)	350	A	A	A	A	Use in a mowed filter strip for residential upland.
2. Dextropage Wild Rye (Dextropage)	30 15	A	A	A	A	Native wet mix.

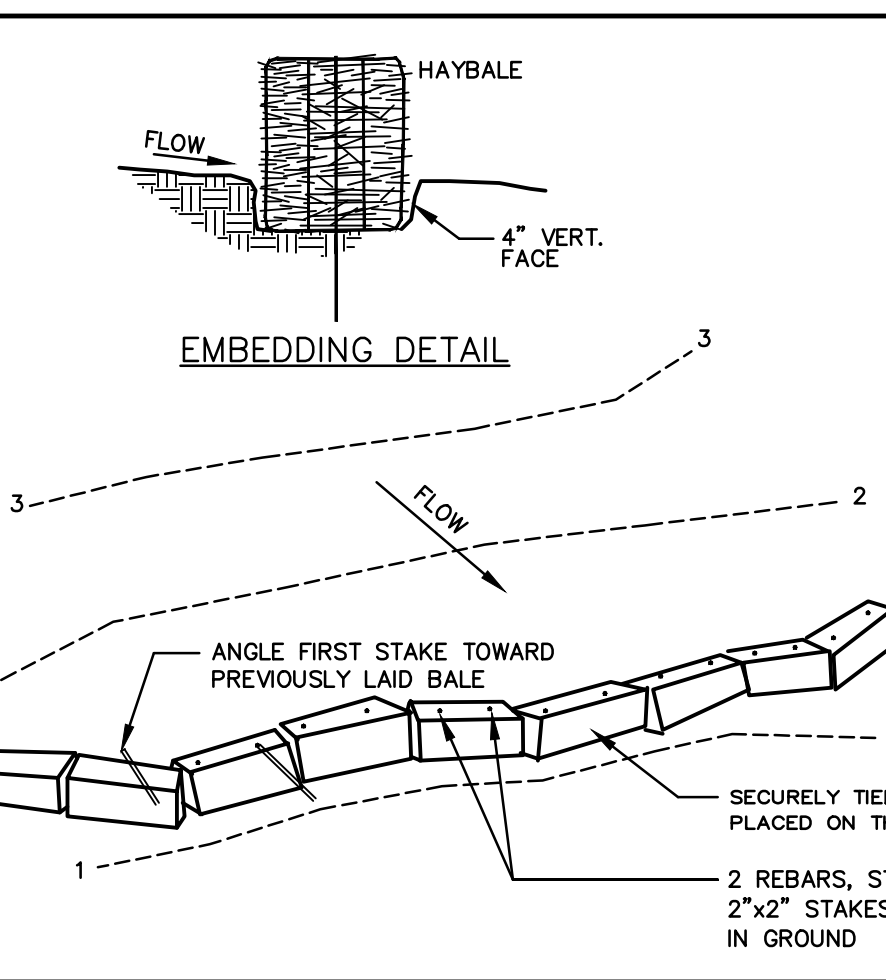
DUST CONTROL NOTES

- THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:
- MULCHES - SEE STANDARD FOR STABILIZATION WITH MULCHES ONLY (PG. 5-1).
 - VEGETATIVE COVER - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER (PG. 7-1), PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION (PG. 4-1), AND PERMANENT STABILIZATION WITH SOIL (PG. 6-1).
 - SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS), KEEP TRAFFIC OFF THESE AREAS.
- | MATERIAL | WATER DILUTION | TYPE OF NOZZLE | APPLY GALLONS/ACRE |
|----------------------------------|---|----------------|--------------------|
| ANIONIC ASPHALT EMULSION | 7:1 | COARSE SPRAY | 1200 |
| LATEX EMULSION | 12.5:1 | FINE SPRAY | 235 |
| RESIN IN WATER | 4:1 | FINE SPRAY | 300 |
| POLYACRYLAMIDE (PAM) - SPRAY ON | APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD (PG. 26-1) | | |
| POLYACRYLAMIDE (PAM) - DRY SPRAY | APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD (PG. 26-1) | | |
| ACIDULATED SOY BEAN SOAP STICK | NONE | COARSE SPRAY | 1200 |
- TILLAGE** - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EROSION MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGON FLOWING ON WINDWARD SIDE OF SITE. CHISEL TYPE PLOWS SPACES ABOUT 12 INCHES APART, AND SPRING-TOOTH HARROWS ARE TYPES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- SPRINKLING** - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
- BARRIERS** - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
- CALCIUM CHLORIDE** - SHALL BE USED IN THE FORM OF LOOSE, DRY GRANULATES OF FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACCUMULATION AROUND PLANTS.
- STONE** - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

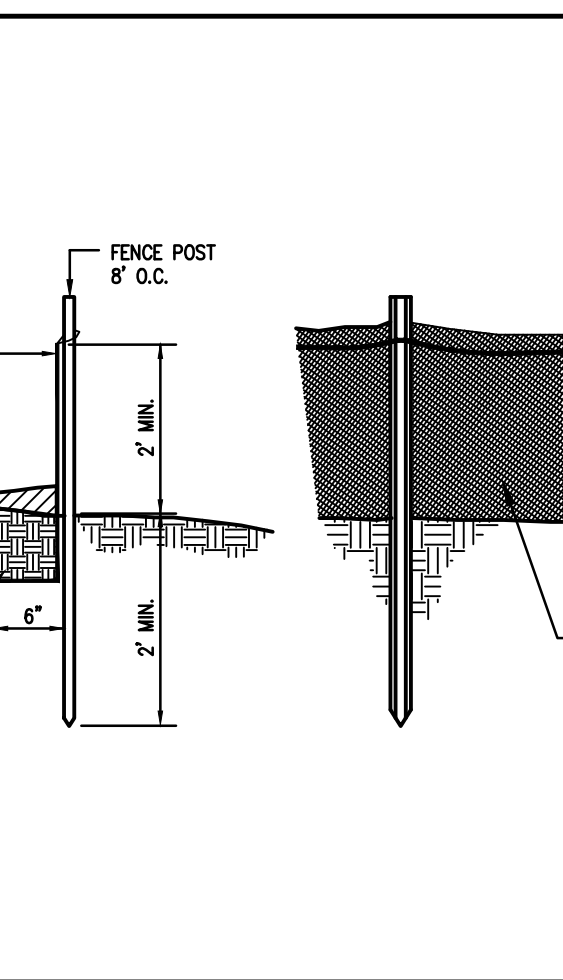
THIS PLAN TO BE USED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY. SEE THIS SHEET FOR DETAILS



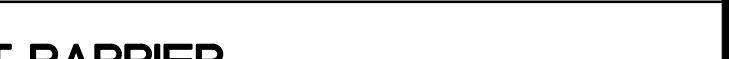
STABILIZED CONSTRUCTION ACCESS



INLET FILTERS



SILT FENCE SEDIMENT BARRIER



revisions

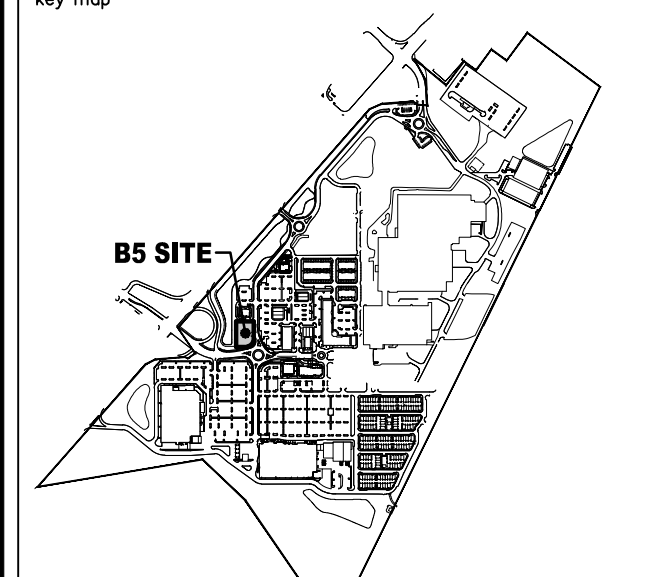
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EXISTING LEGEND

⊕	GAS VALVE
⊕	GAS METER
⊕	WATER VALVE
⊕	HYDRANT
⊕	WATER METER
⊕	CURB STOP
⊕	FIRE DEPT. CONNECTION
⊕	DRAINAGE MH
⊕	CURB INLET
⊕	LAWN INLET
⊕	SANITARY MH
⊕	CLEANOUT
⊕	BOLLARD
⊕	SIGN
⊕	LIGHT
⊕	MAIL BOX
⊕	GUY WIRE
⊕	UTILITY POLE
⊕	ELECTRIC MH
⊕	CONIFEROUS TREE
⊕	DECIDUOUS TREE
⊕	FENCE
⊕	RAILING
⊕	WALL
⊕	GATE POST
⊕	WATER LINE
⊕	SANITARY PIPE
⊕	GAS LINE
⊕	ELECTRIC LINE
⊕	SANITARY LINE
⊕	OVERHEAD WIRES

PROPOSED LEGEND

⊕	PHASE LINE
⊕	STORM MANHOLE
⊕	STORM 'E' INLET
⊕	STORM 'E' INLET
⊕	STORM LWN INLET
⊕	STORM PIPE
⊕	SANITARY MANHOLE
⊕	SANITARY PIPE
⊕	WATER LINE
⊕	WATER VALVE
⊕	FIRE HYDRANT
⊕	F.D.C.
⊕	STREET SIGN



Engineers
Landscape Architects
Land Surveyors
Planners

The Reynolds Group Inc.

State of New Jersey
Certificate of Authorization
Number: 24C047982020
21MH0004300

F. Mitchell Ardman, P.E., P.P.
Jeffrey D. Reynolds, P.L.A.

F. Mitchell Ardman

F. MITCHEL ARDMAN
N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

project

FINAL SITE PLAN

drawing title

SOIL EROSION AND SEDIMENT CONTROL PLAN AND DETAILS

job number: 21-042-4

scale: 1"=40'

checked by: FMA/AEC

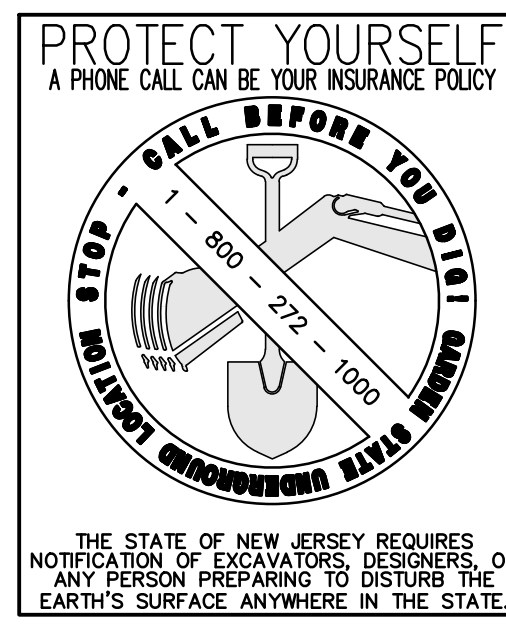
drawn by: A.A.

date: 01/30/24

sheet 8 of 16

FREEHOLD SOIL CONSERVATION DISTRICT NOTES:

- FSD #2011-0558 ENCOMPASSES THE WHOLE ENTIRE PROJECT ACCEPT PHASE 1F AS DESCRIBED BELOW. THE MAIN COMPONENTS OF THE STORMWATER MANAGEMENT SYSTEM HAVE BEEN OR ARE BEING CONSTRUCTED UNDER THIS PROJECT INCLUDING THE COLLECTION SYSTEM AND BASINS A, B, C, D & E.
- FSD #2015-0876 ENCOMPASSES THE AREA WITHIN THE INSIDE CURB OF SOUTH DRIVE, TENTH AVENUE, GREEN STREET AND EAST END AVENUE. AS OF DECEMBER 2015, THESE STREETS HAVE BASE COURSE INSTALLED. THE RESPONSIBILITY OF MAINTENANCE OF SEASO MEASURES SEPARATES BETWEEN THE TWO PROJECTS AT THE CURB LINE.
- FSD #2015-0876 SEDIMENT BARRIERS WILL BE PROVIDED AS NECESSARY BASED ON LOCATION OF CURRENT CONSTRUCTION.

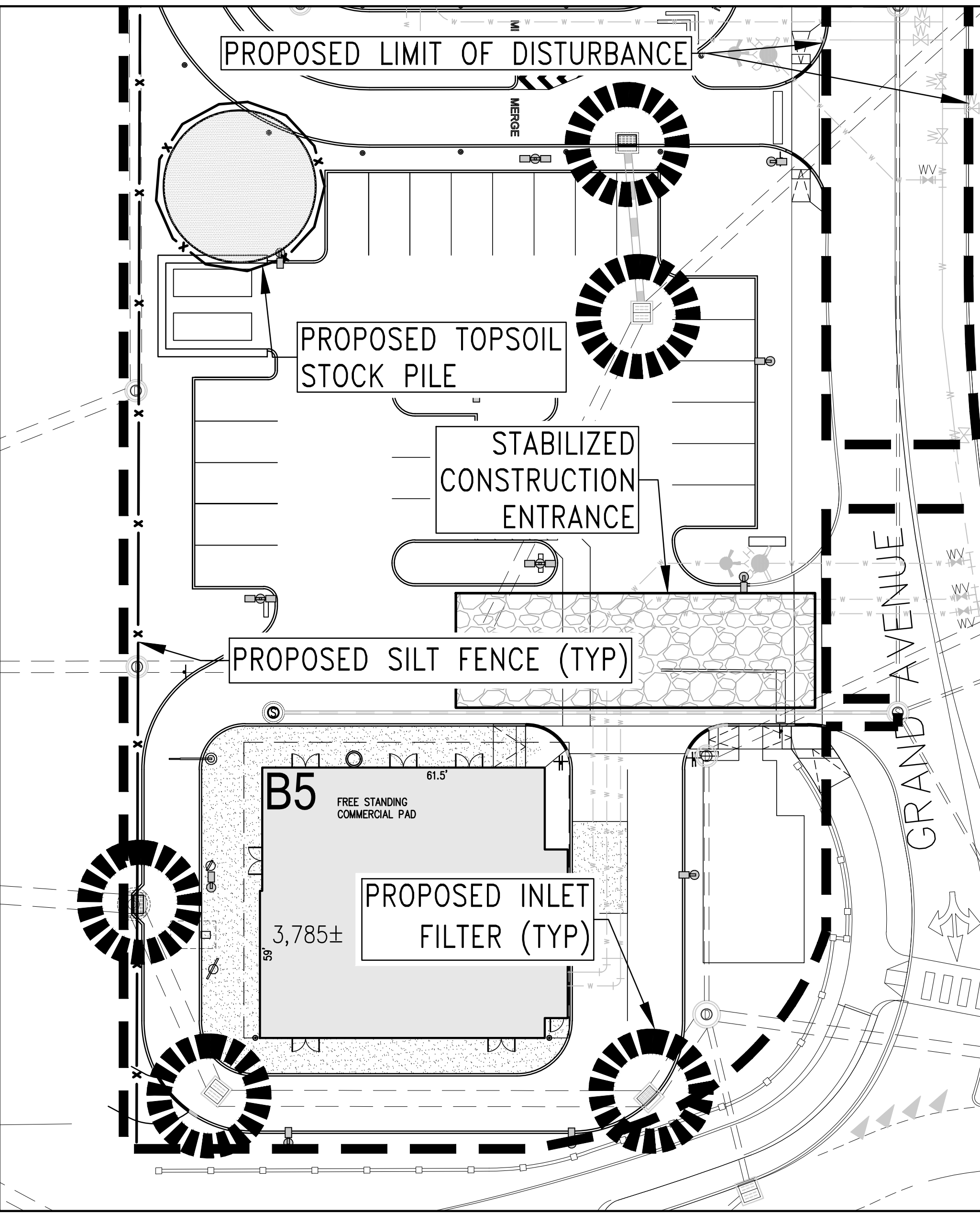


FREEHOLD SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

- THE FREEHOLD SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBANCE ACTIVITY.
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
- N.J.S.A. 4:24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT APPROVES THE PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL. IN NEW JERSEY, A REPORT OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS, PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE SEQUENCE OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO THE STANDARD FOR STABILIZATION WITH MULCH ONLY.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. SOIL STOCKPILES, STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS.
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS, IN AREAS WHERE NO UTILITIES ARE PRESENT. THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
- THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ACCESS CONSISTING OF ONE INCH TO TWO INCH (1" - 2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10') EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.
- ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS WILL BE REMOVED IMMEDIATELY.
- PERMANENT VEGETATION IS TO BE SEEDED OR SOODED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.
- AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS/ACRE, (OR 450 LBS/1,000 SQ FT OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12" OF SETTLED SOIL WITH A PH OF 5 OR MORE, OR 24" WHERE TREES OR SHRUBS ARE TO BE PLANTED.
- CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
- UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING.
- SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.
- STOCKPILE AND STAGING LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THESE ACTIVITIES, IF AN AREA GREATER THAN 500 SQUARE FEET IS DISTURBED.
- ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

STANDARD FOR PERMANENT AND TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

- SITE PREPARATION:**
 - GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDING PREPARATION. SEEDING MULCH APPLICATION AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.
 - IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.
 - TOPSOIL SHALL BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 6 INCHES (UNTESTED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
 - INSTALL NEEDED EROSION CONTROL PRACTICES FOR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS IN ACCORDANCE WITH STATE STANDARDS.
- SEEDING PREPARATION:**
 - UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE ANALYSES ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 50 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 (PERMANENT) AND 10-20-10 (TEMPORARY) OR EQUIVALENT WITH SOLE WATER SOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DISCORDED ABOVE DURING SEEDING PREPARATION AND REPEAT ANOTHER ONE-HALF RATE. APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING.
 - WORK LINE AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED. HIGH ACID PRODUCING SOILS.
 - SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE SEEDING PREPARATION. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS.
- SEEDING:**
 - PERMANENT SEEDING: USE MIXTURE SHOWN IN THE PERMANENT SEEDING TABLE OR USE MIXTURE RECOMMENDED BY RUTGERS CO-OPERATIVE EXTENSION OR NATURAL RESOURCES CONSERVATION SERVICE WHICH IS APPROVED BY THE SOIL CONSERVATION DISTRICT. SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS REJECTED.
 - SEEDING RATES SPECIFIED ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED. PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION, UP TO 50% REDUCTION IN RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO A REPORT OF COMPLIANCE INSPECTION. THESE RATES APPLY TO ALL METHODS OF SEEDING, ESTABLISHING PERMANENT VEGETATION MEANS BOX VEGETATIVE COVER WITH THE SPECIFIED SEED MIXTURE FOR THE SEEDING AREA AND MOVED ONE.
 - WARM SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT HIGH TEMPERATURES, GENERALLY 80° AND ABOVE. SEE PERMANENT SEEDING TABLE. PLANTING RATES FOR WARM SEASON GRASSES SHALL BE AMOUNT OF PURE LIVE SEED (PLS) AS DETERMINED BY GERMINATING TESTING RESULTS.
 - COOL SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT TEMPERATURES BELOW 80°. MANY GRASSES BECOME ACTIVE AT 65°. ADJUSTMENT OF PLANTING RATES TO COMPENSATE FOR THE AMOUNT OF PURE LIVE SEED IS NOT REQUIRED FOR COOL SEASON GRASSES.
- TEMPORARY SEEDING:** TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON SOILS EXPOSED FOR PERIODS OF 2 TO 6 MONTHS WHICH ARE NOT BEING GRADED, NOT UNDER ACTIVE CONSTRUCTION, OR NOT SCHEDULED FOR PERMANENT SEEDING WITHIN 90 DAYS. SELECT A SEED FROM THE TEMPORARY VEGETATIVE SEEDING TABLE.
 - CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR OUTDRAPER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDER OR OUTDRAPER SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDING PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE TEXTURED SOIL.
 - AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-SOIL CONTACT, RESTORE CAPILLARY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.
 - HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK OR TRAILER MOUNTED TANK WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION 4 MULCHING BELOW). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. WHEN POOR SEED TO SOIL CONTACT OCCURS, THERE IS REDUCED SEED GERMINATION AND GROWTH.



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AREAS TO BE SCARIFIED/TILLED:

PURSUANT TO NJ SOIL EROSION AND SEDIMENT CONTROL STANDARD FOR LAND GRADING (CHAPTER 19), THE FOLLOWING ON-SITE AREAS SHALL BE SCARIFIED/TILLED TO A MINIMUM DEPTH OF 6":

- DISTURBED AREAS OF SITE WITH CONTIGUOUS AREA > 500 SF.
- AREAS THAT WILL NOT BE IMPROVED.
- PERVIOUS AREA 20' OUTSIDE BUILDING WITH BASEMENT OR 12' OUTSIDE BUILDING ON SLAB.

SOIL EROSION AND SEDIMENT CONTROL PLAN

NOTE: SCARIFICATION/TILLAGE IS NOT REQUIRED IN AREAS WITH SHALLOW BEDROCK CONDITIONS OR WHERE THERE IS A DANGER TO UNDERGROUND UTILITIES.

FOR ADDITIONAL REQUIREMENTS REGARDING SOIL COMPACTION AND TESTING, SEE SOIL COMPACTION NOTES AND SOIL DE-COMPACTION AND TESTING REQUIREMENTS.

SOIL COMPACTION NOTES:

- TO ENSURE SUBGRADE SOILS ARE FREE OF EXCESSIVE COMPACTION, DEEP SCARIFICATION/TILLAGE (MINIMUM DEPTH 6"; MAXIMUM 12") SHALL BE PERFORMED BY THE CONTRACTOR PRIOR TO THE APPLICATION OF TOPSOIL AND PERMANENT SEEDING. THE AREAS OF THE SITE SUBJECT TO THIS SCARIFICATION ARE NOTED ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN. NOTE THAT SCARIFICATION IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
- IF THE CONTRACTOR, WITH CONSENT OF THE OWNER, ELECTS TO FOREGO SCARIFICATION OF THE SITE, THEN THE CONTRACTOR SHALL, AT HIS EXPENSE, PERFORM SOIL COMPACTION TESTING IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY. SEE CHAPTER 19 STANDARD OF LAND GRADING, IN THE ABOVE-REFERENCED MANUAL, FOR ACCEPTABLE METHODS OF TESTING AND THEIR SPECIFIC REQUIREMENTS. TWO TESTS PER ACRE MUST BE PERFORMED ON-SITE, WITH A MINIMUM OF TWO TESTS MUST BE PERFORMED FOR EVERY PROJECT.
- IF TESTING INDICATES EXCESSIVE COMPACTION, THEN THE CONTRACTOR/OWNER SHALL EITHER PERFORM COMPACTION MITIGATION, IN ACCORDANCE WITH NJ SCSO STANDARDS, OVER THE ENTIRE DISTURBED AREA (EXCLUDING EXEMPT AREAS), OR TO PERFORM ADDITIONAL TESTING TO ESTABLISH THE LIMITS OF THE EXCESSIVELY COMPACTED AREAS WHICH WOULD REQUIRE THE MITIGATION.
- THE CONTRACTOR SHALL SUBMIT A SOIL COMPACTION MITIGATION VERIFICATION FORM TO THE DISTRICT AND COMPLY WITH ALL DISTRICT REQUIREMENTS REGARDING COMPACTION MITIGATION AND TESTING.
- FOR COMPACTION IN STORMWATER MANAGEMENT FACILITIES, SEE BASIN COMPACTION NOTES.

STANDARD FOR STABILIZATION WITH MULCH ONLY

- METHODS AND MATERIALS**
- SITE PREPARATION:** FOLLOW REQUIREMENTS FOR PERMANENT VEGETATIVE COVER.
 - PROTECTIVE MATERIALS:**
 - UNRITTED SMALL-GRAIN STRAW AT 2.0 TO 2.5 TONS PER ACRE IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SQ. FEET AND ANCHORED WITH A MULCH ANCHORING TOOL. LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT. THE APPROVED RATES ABOVE HAVE BEEN MET WHEN THE MULCH COVERS THE.
 - SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
 - WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER.
 - MULCH NETTING, SUCH AS PAPER JUTE, EXCELOR, COTTON, OR PLASTIC MAY BE USED.
 - WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED. WOODCHIPS WILL NOT BE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT.
 - GRAVEL, CRUSHED STONE, OR SLAG AT THE RATE OF 9 CU. YDS. PER 1,000 SQ. FT. APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3 INCHES MAY BE USED. SIZE 2 OR 3 (ASTM C-33) IS RECOMMENDED.

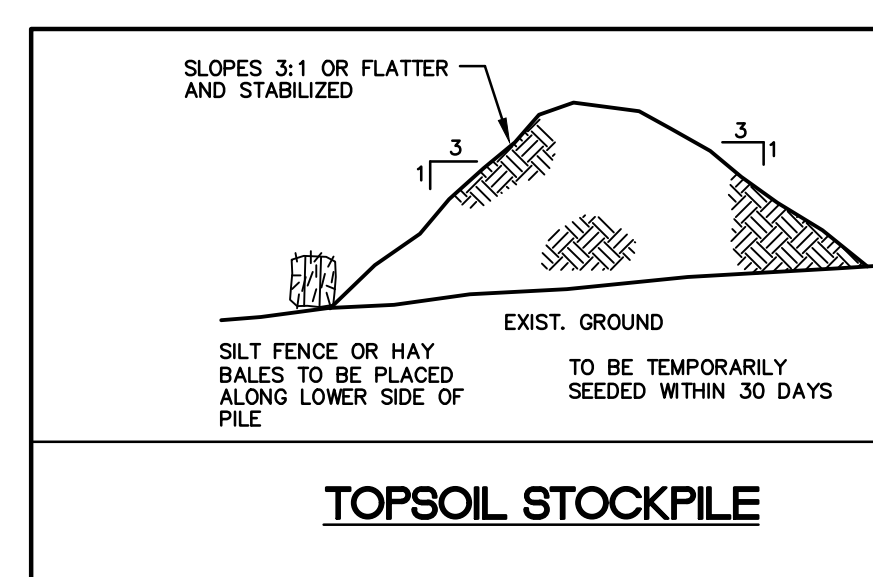
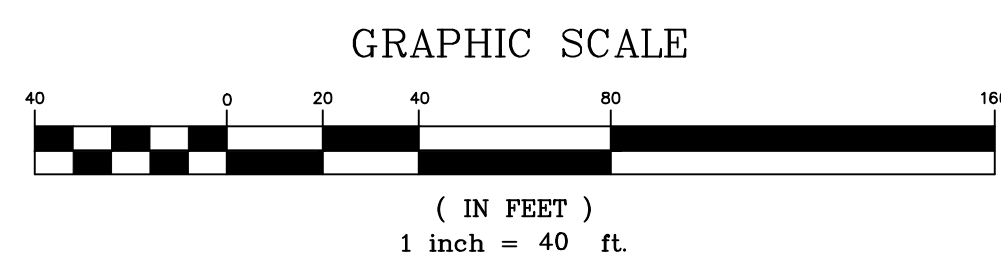
Permanent Seeding Table

SEED MIXTURE	PLANTING RATE	PLANTING DATES		PLANTING DATES		REMARKS
		Zone 5(a)	Zone 5(b)	Zone 6(a)	Zone 6(b)	
1. Turf-type Tall Fescue (Seed of 3 seed cultures)	350	A	A	A	A	Use in a mowed silt filter strip for residential upland.
2. Dextropage	30	A	A	A	A	Native wet mix.
3. Wild Rye (Synthetic)	15	A	A	A	A	

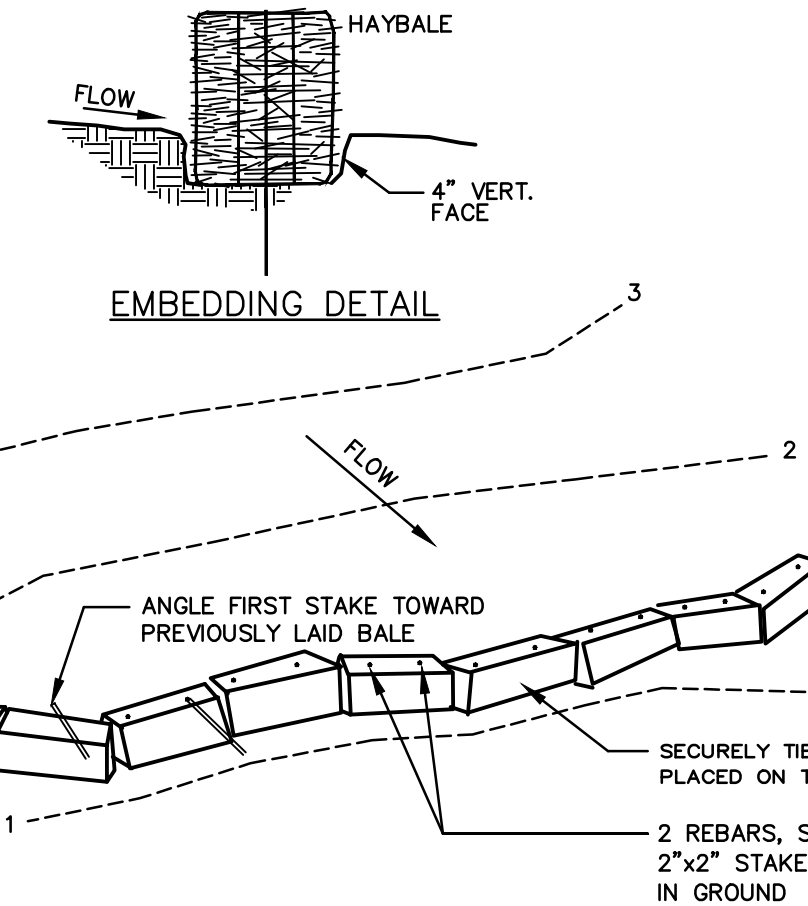
DUST CONTROL NOTES

- THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:
- MULCHES - SEE STANDARD FOR STABILIZATION WITH MULCHES ONLY (PG. 5-1).
 - VEGETATIVE COVER - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER (PG. 7-1), PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION (PG. 4-1), AND PERMANENT STABILIZATION WITH SOIL (PG. 6-1).
 - SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS), KEEP TRAFFIC OFF THESE AREAS.
- | MATERIAL | WATER DILUTION | TYPE OF NOZZLE | APPLY GALLONS/ACRE |
|----------------------------------|---|----------------|--------------------|
| ANIONIC ASPHALT EMULSION | 7:1 | COARSE SPRAY | 1200 |
| LATEX EMULSION | 12.5:1 | FINE SPRAY | 235 |
| RESIN IN WATER | 4:1 | FINE SPRAY | 300 |
| POLYACRYLAMIDE (PAM) - SPRAY ON | APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD (PG. 26-1) | | |
| POLYACRYLAMIDE (PAM) - DRY SPRAY | APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD (PG. 26-1) | | |
| ACIDULATED SOY BEAN SOAP STICK | NONE | COARSE SPRAY | 1200 |
- TILLAGE** - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGON FLOWING ON WINDWARD SIDE OF SITE. CHISEL TYPE PLOWS SPACES ABOUT 12 INCHES APART, AND SPRING-TOOTHED HARROWS ARE TYPES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- SPRINKLING** - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
- BARRIERS** - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
- CALCIUM CHLORIDE** - SHALL BE USED IN THE FORM OF LOOSE, DRY GRANULATES OF FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACCUMULATION AROUND PLANTS.
- STONE** - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

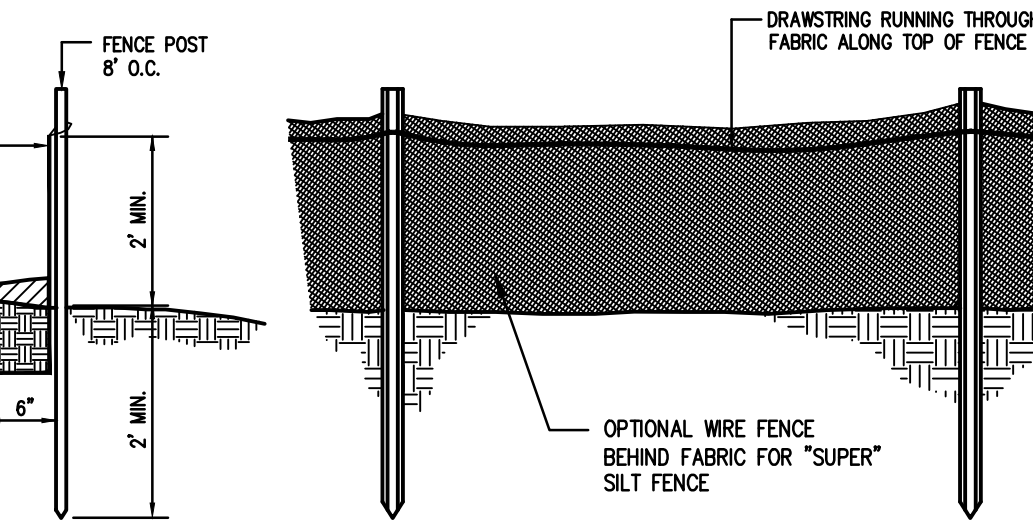
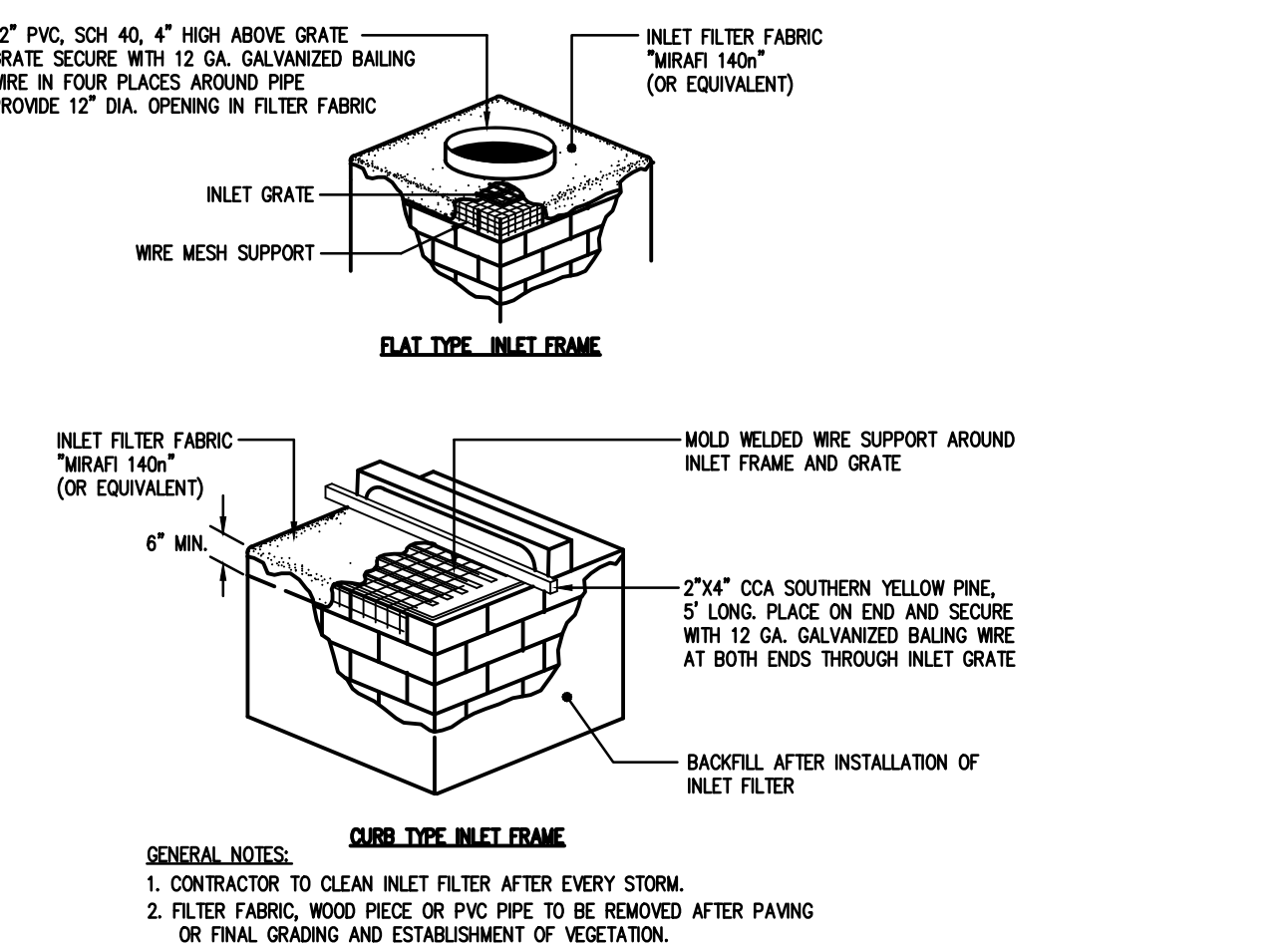
THIS PLAN TO BE USED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY. SEE THIS SHEET FOR DETAILS



STABILIZED CONSTRUCTION ACCESS



INLET FILTERS



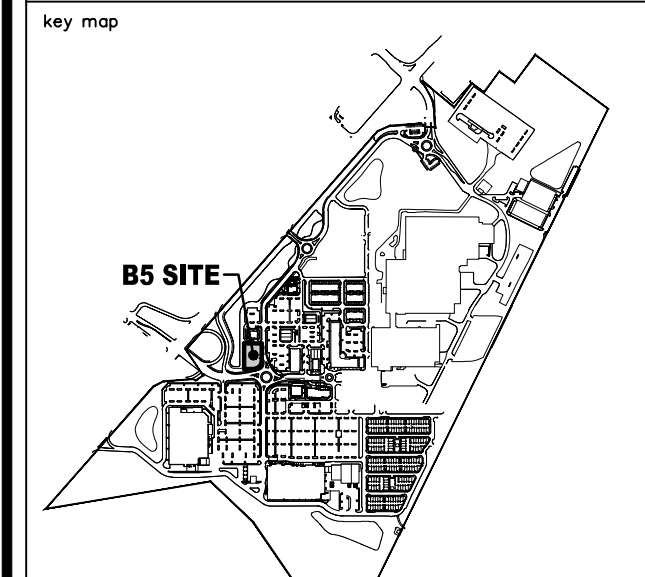
revisions		
no.	date	description

EXISTING LEGEND

- ⊕ GAS VALVE
- ⊕ GAS METER
- ⊕ WATER VALVE
- ⊕ HYDRANT
- ⊕ WATER METER
- ⊕ CURB STOP
- ⊕ FUR DEPT. CONNECTION
- ⊕ DRAINAGE MH
- ⊕ CURB INLET
- ⊕ LAWN INLET
- ⊕ SANITARY MH
- ⊕ CLEANOUT
- ⊕ BOLLARD
- ⊕ SIGN
- ⊕ LIGHT
- ⊕ MAIL BOX
- ⊕ GUY WIRE
- ⊕ UTILITY POLE
- ⊕ ELECTRIC MH
- ⊕ CONIFEROUS TREE
- ⊕ DECIDUOUS TREE
- ⊕ FENCE
- ⊕ RAILING
- ⊕ WALL
- ⊕ GATE POST
- ⊕ WATER LINE
- ⊕ GAS LINE
- ⊕ ELECTRIC LINE
- ⊕ SANITARY LINE
- ⊕ OVERHEAD WIRES

PROPOSED LEGEND

- ⊕ PHASE LINE
- ⊕ STORM MANHOLE
- ⊕ STORM 'B' INLET
- ⊕ STORM 'E' INLET
- ⊕ STORM LWN INLET
- ⊕ STORM PIPE
- ⊕ SANITARY MANHOLE
- ⊕ SANITARY PIPE
- ⊕ WATER LINE
- ⊕ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊕ F.D.C.
- ⊕ STREET SIGN



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21MH0004300

F. Mitchell Ardman, P.E., P.P.
Jeffrey D. Reynolds, P.L.A.

project

FINAL SITE PLAN

drawing title
SOIL EROSION AND SEDIMENT CONTROL PLAN AND DETAILS (ALTERNATE)

job number
21-042-4

scale
1"=40'

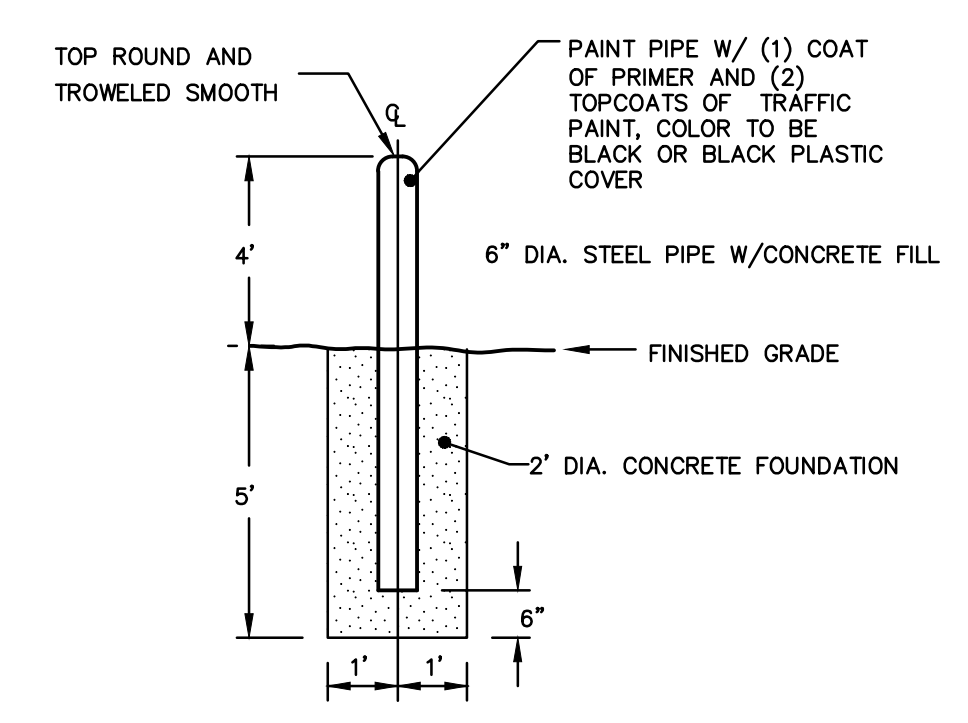
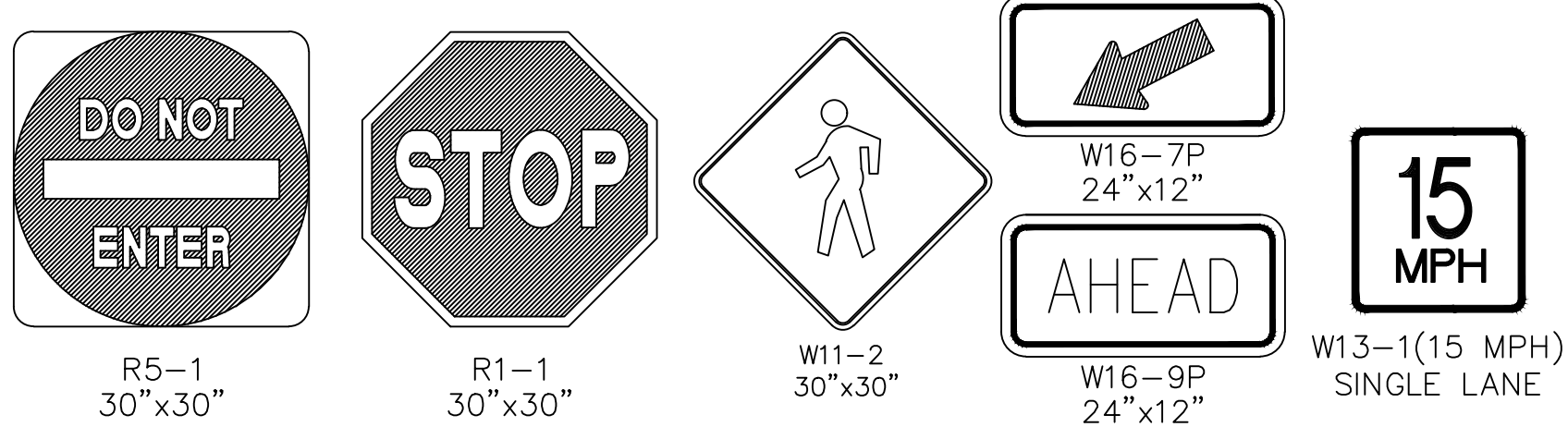
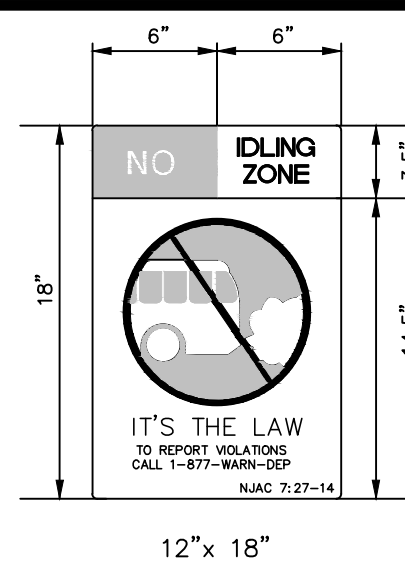
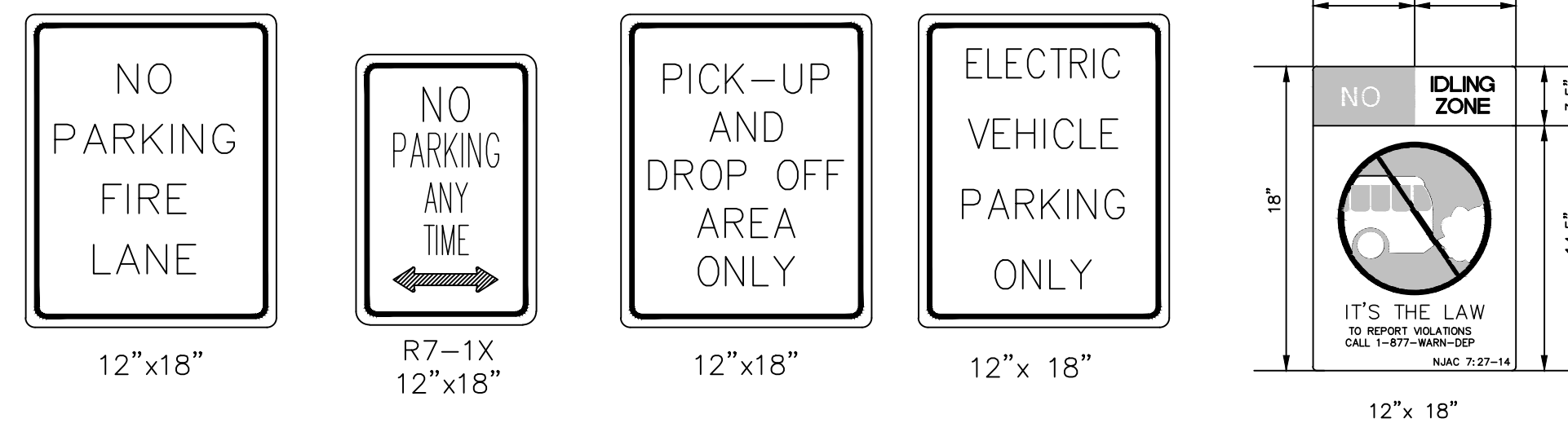
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FMA/AEC

drawn by
A.A.

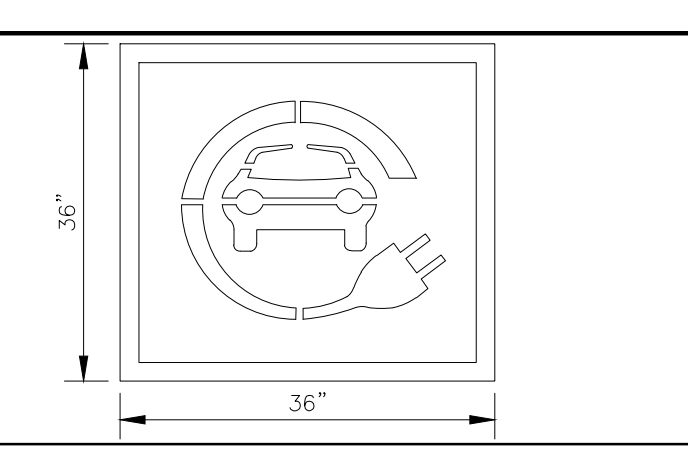
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sheet 8 of 16

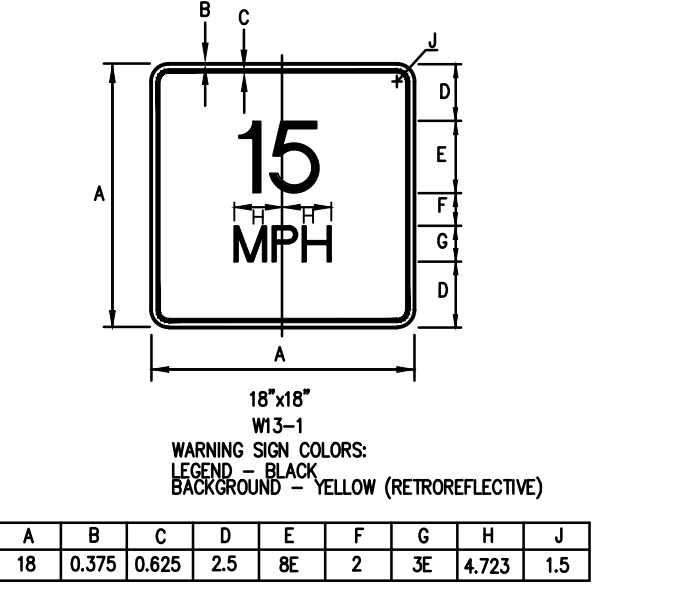
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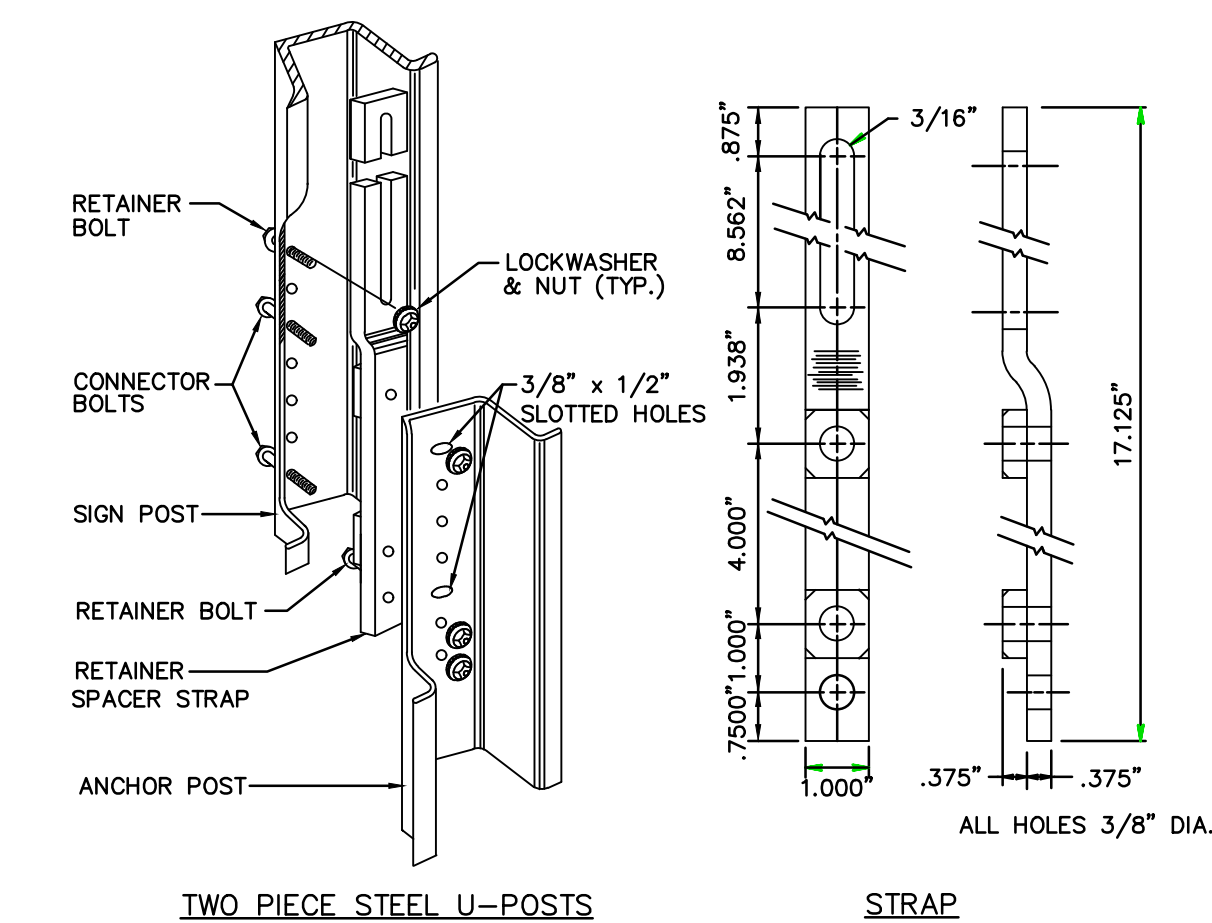
PIPE BOLLARD DETAIL
N.T.S.



PAINTED EV ICON DETAIL
(N.T.S.)

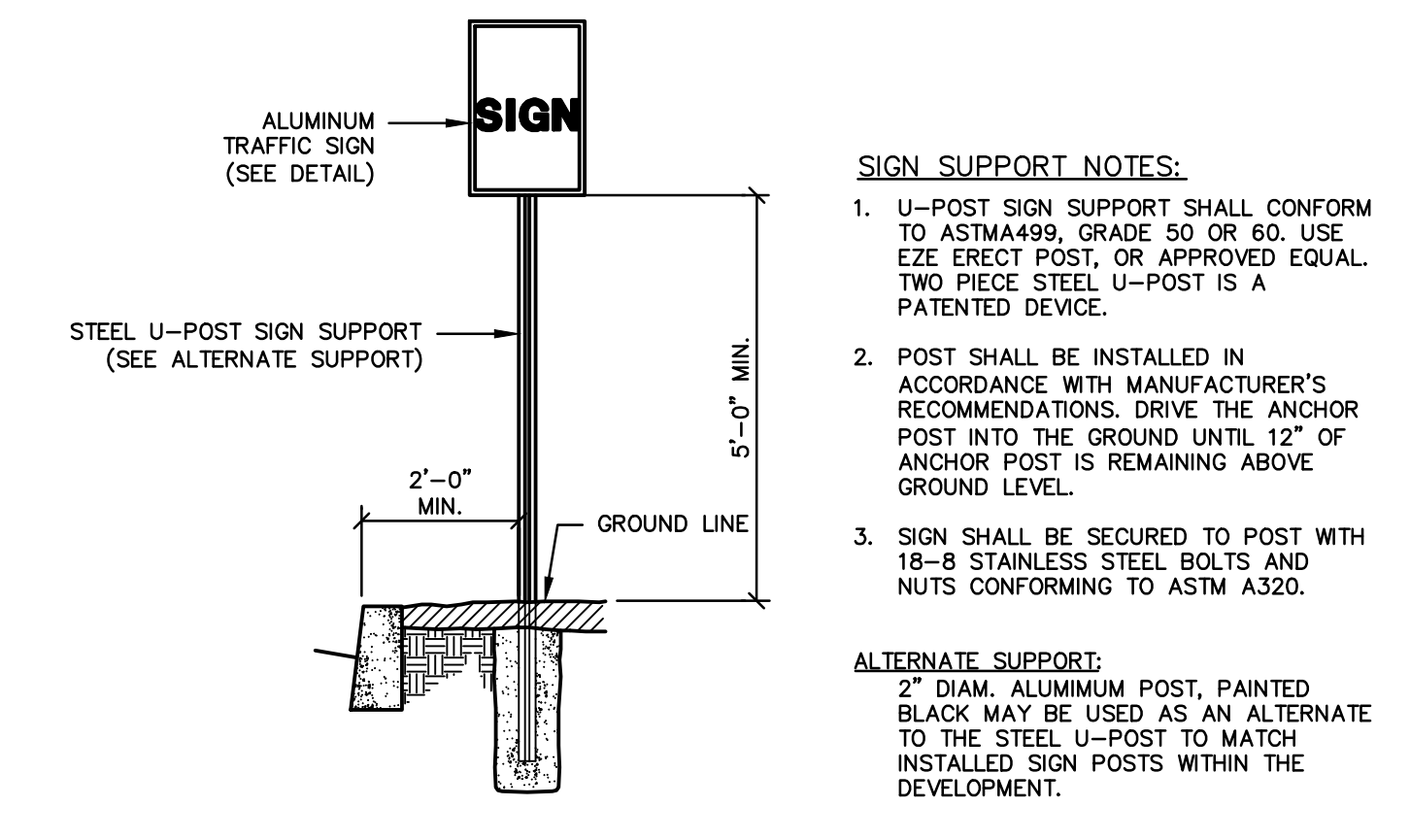


ADVISORY SPEED

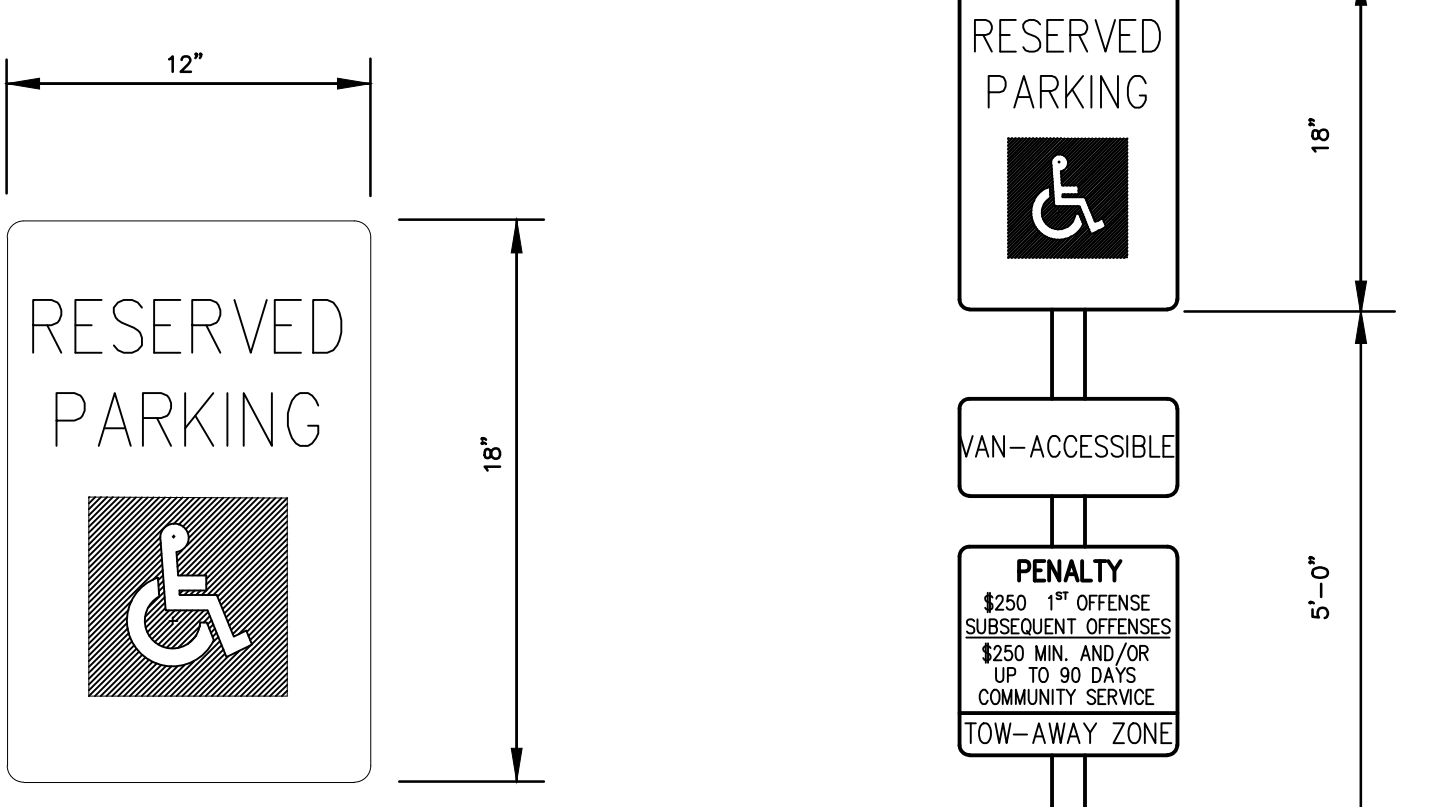


- GENERAL NOTES:**
1. DRIVE THE ANCHOR POST INTO THE GROUND (UTILIZING A DRIVE CAP) UNTIL 10-12" OF ANCHOR POST IS REMAINING ABOVE GROUND LEVEL.
 2. ALIGN THE CONNECTION HOLE CLOSEST TO THE LONG SLOT IN THE RETAINER SPACER STRAP WITH THE TOP HOLE IN THE ANCHOR POST. THE STRAP IS THEN ATTACHED BY MAKING A BOLTED CONNECTION THROUGH THE BOTTOM HOLE IN THE STRAP AND THE HOLE IT ALIGNS WITH IN THE ANCHOR POST.
 3. ROTATE THE STRAP 90 DEGREES TO THE LEFT AND DRIVE THE ANCHOR POST INTO THE GROUND UNTIL ONLY 4" REMAINS ABOVE GROUND LEVEL. THIS 4" MUST BE ADHERED TO FOR SAFETY REASONS TO ENHANCE THE BREAKAWAY FEATURES OF THE SIGN IN ACCORDANCE WITH CURRENT FEDERAL AND STATE SAFETY STANDARDS. EXCAVATE AS REQUIRED TO TIGHTEN BOLTS.
 4. ROTATE THE STRAP BACK TO VERTICAL POSITION.
 5. PLACE THE SIGN POST AGAINST THE ANCHOR POST AND THE STRAP. ALIGN THE BOTTOM HOLE IN THE SIGN POST WITH THE CONNECTION HOLE IN THE LOWER END OF THE STRAP. INSERT TWO (2) CONNECTOR BOLTS THROUGH THE COMMON HOLES IN THE SIGN POST, STRAP AND ANCHOR POST.
 6. COMPLETE THE CONSTRUCTION BY ATTACHING THE STRAP TO THE SIGN POST WITH A BOLT AND NUT. THIS CONNECTION SHALL BE MADE AT THE BOTTOM OF THE LONG SLOT IN THE STRAP.
 7. TWO PIECE STEEL U-POST IS A PATENTED DEVICE. THE PATENT NO. IS 4126403.

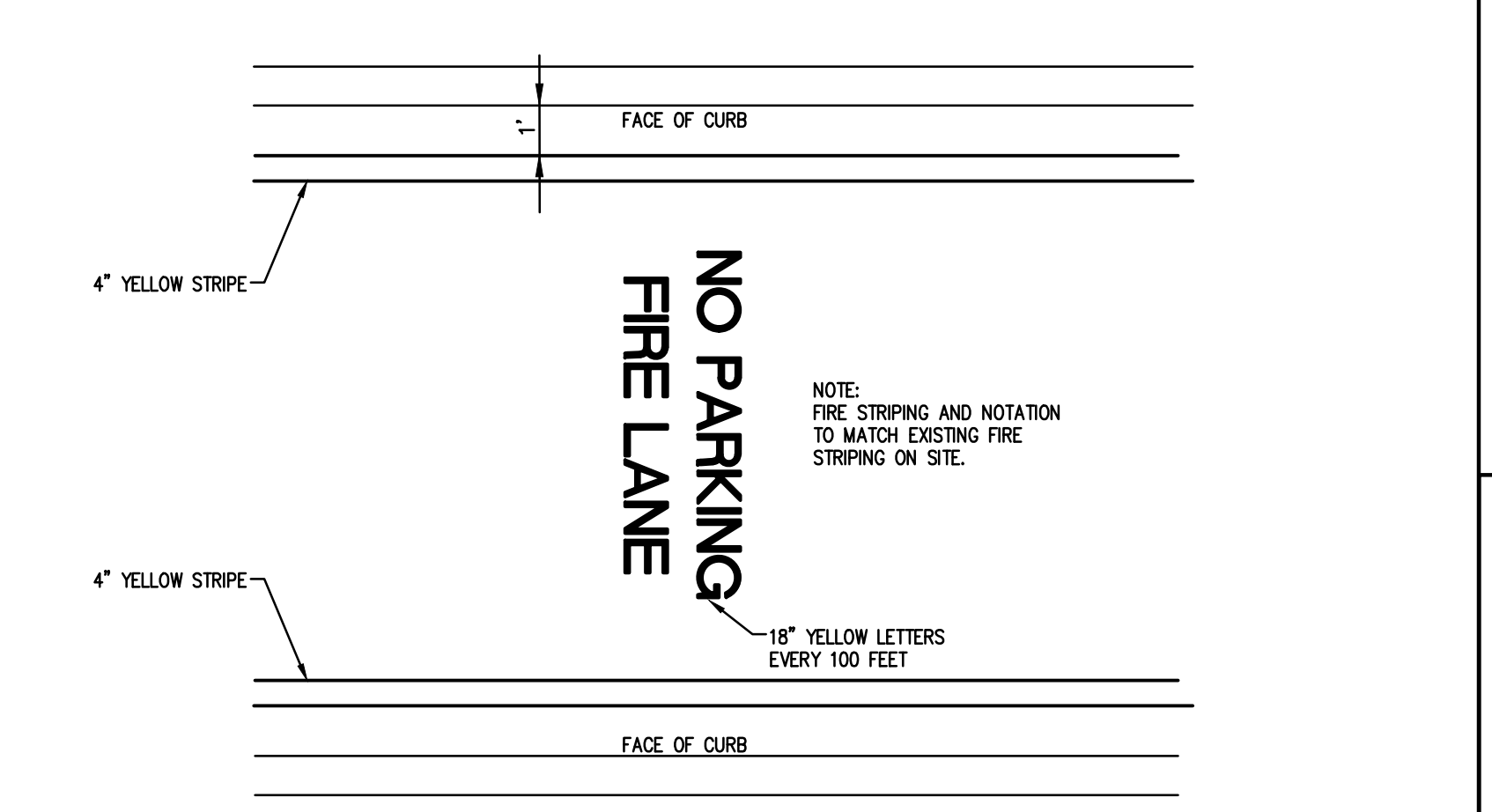
U-POST SIGN SUPPORT



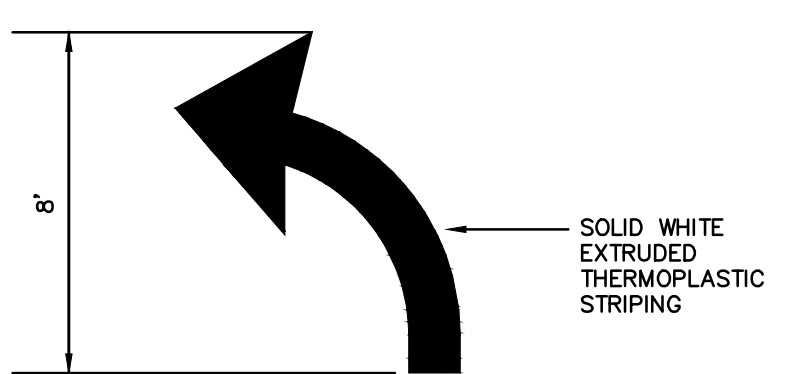
TRAFFIC SIGN SUPPORT



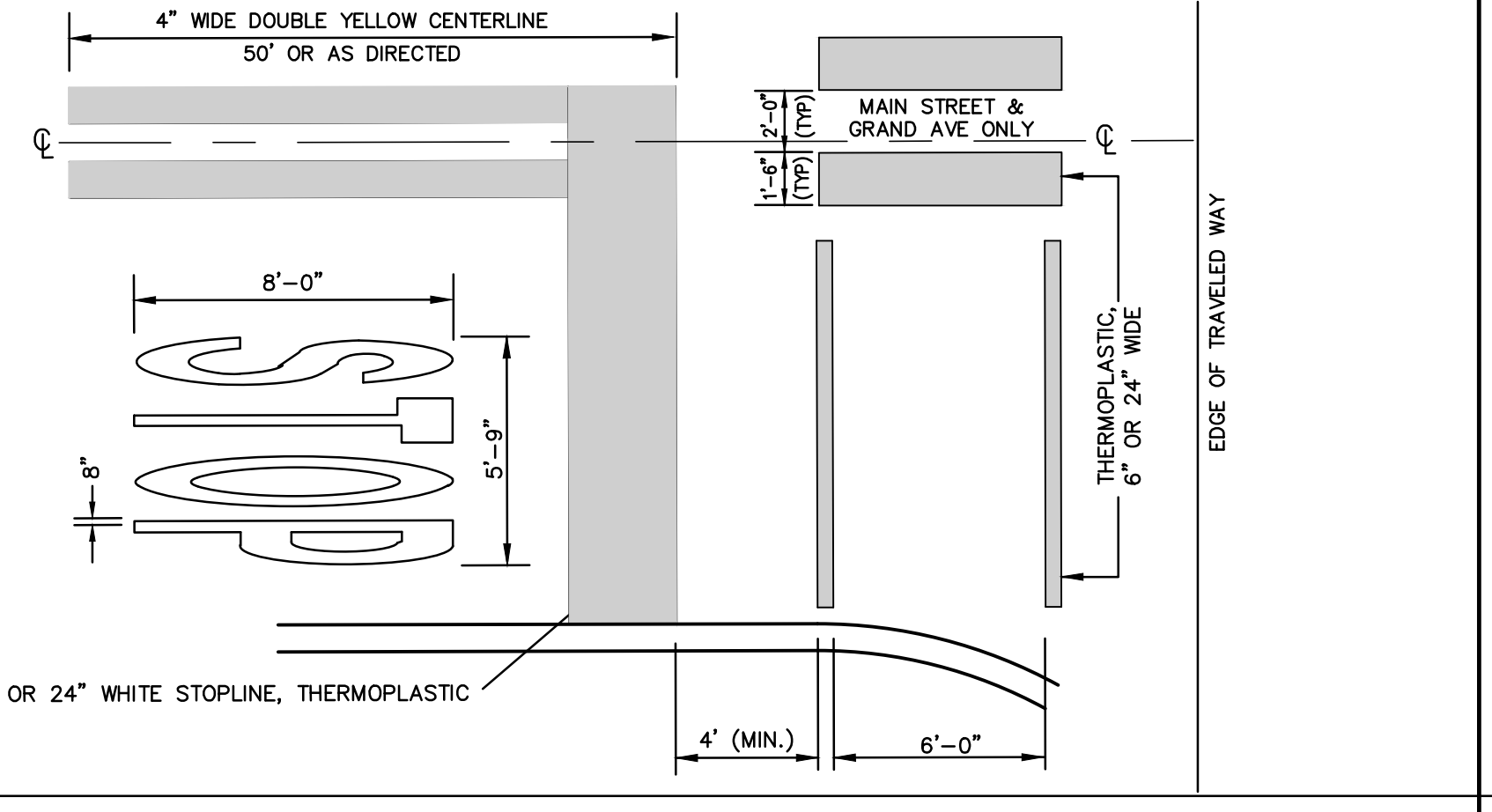
RESERVED PARKING (12"x18") HANDICAP SIGN



FIRE LANE STRIPING DETAIL



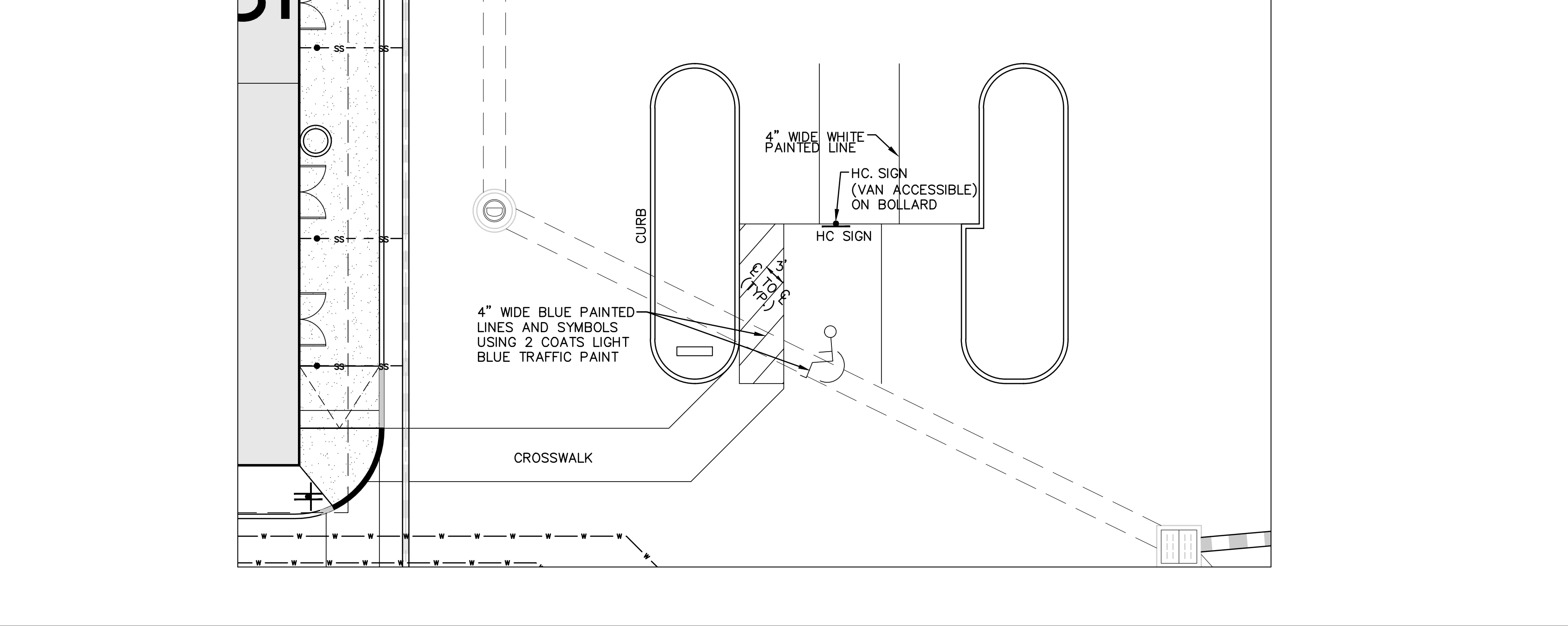
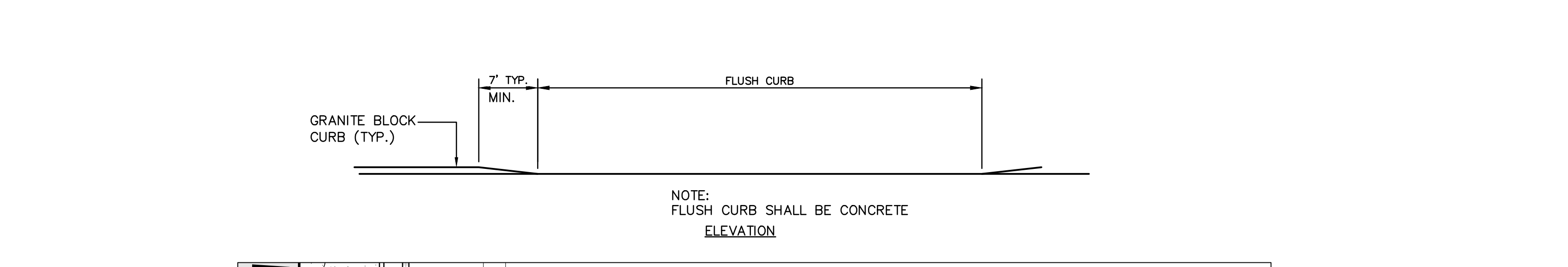
TRAFFIC ARROW STRIPING DETAIL
(N.T.S.)



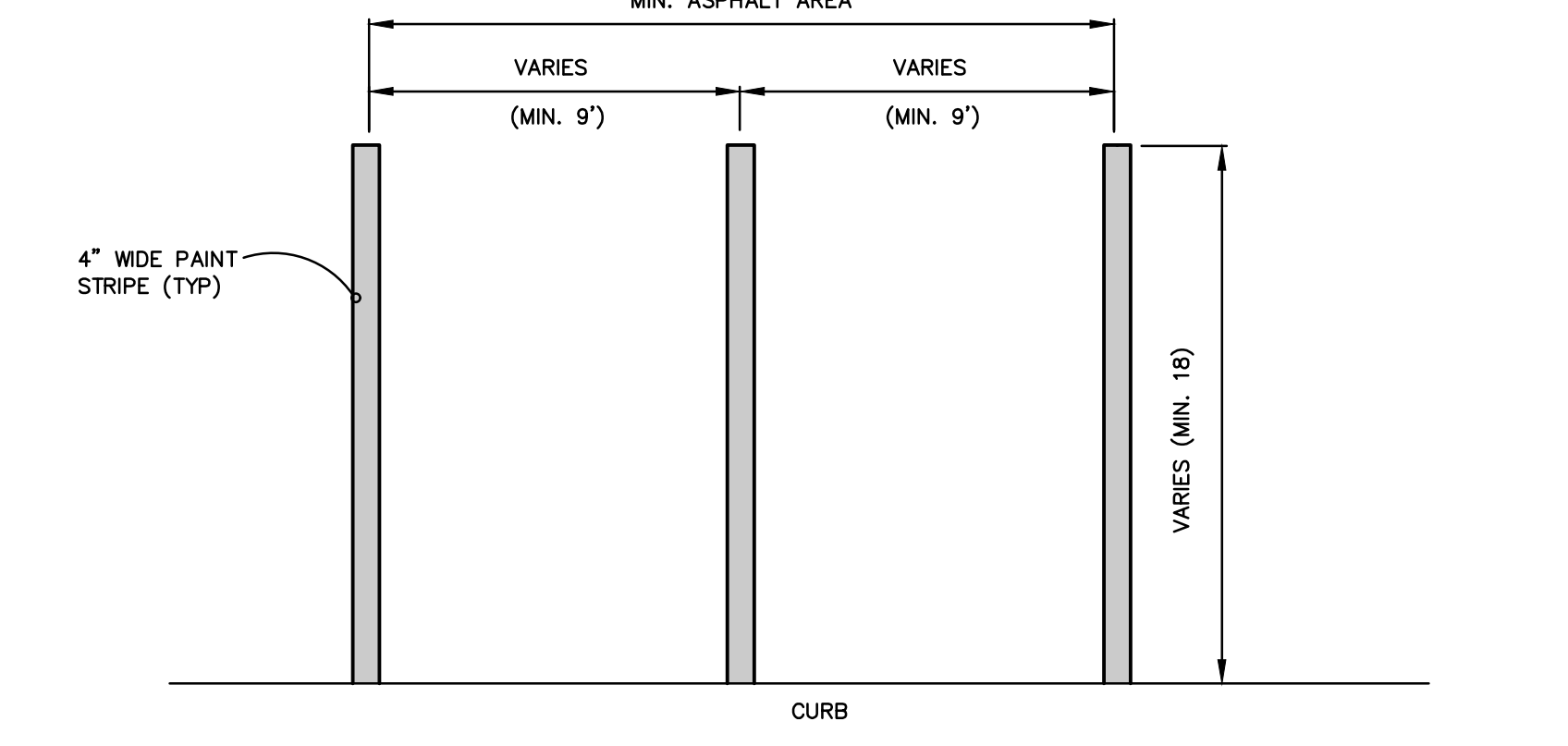
STRIPING SPACING



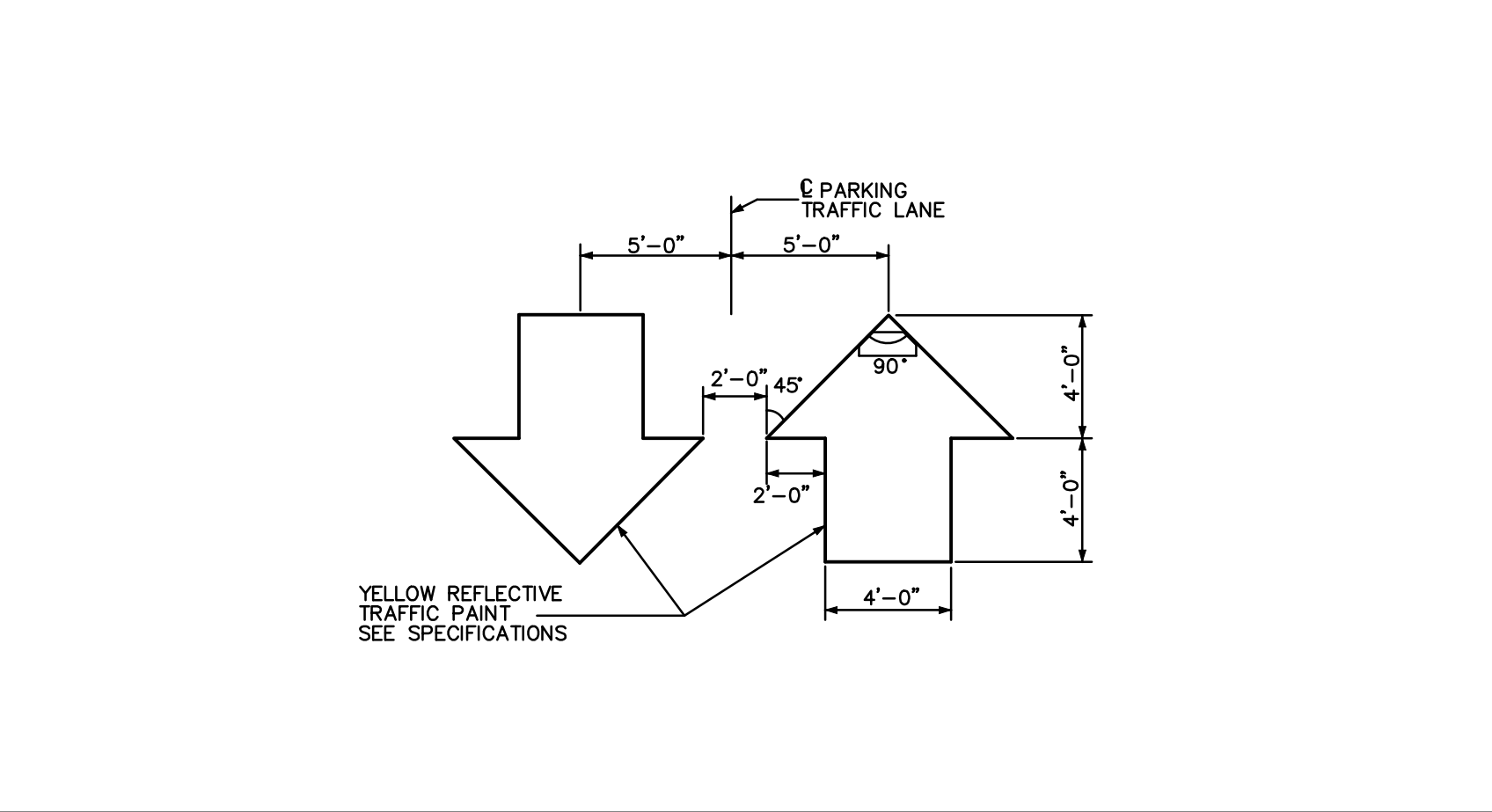
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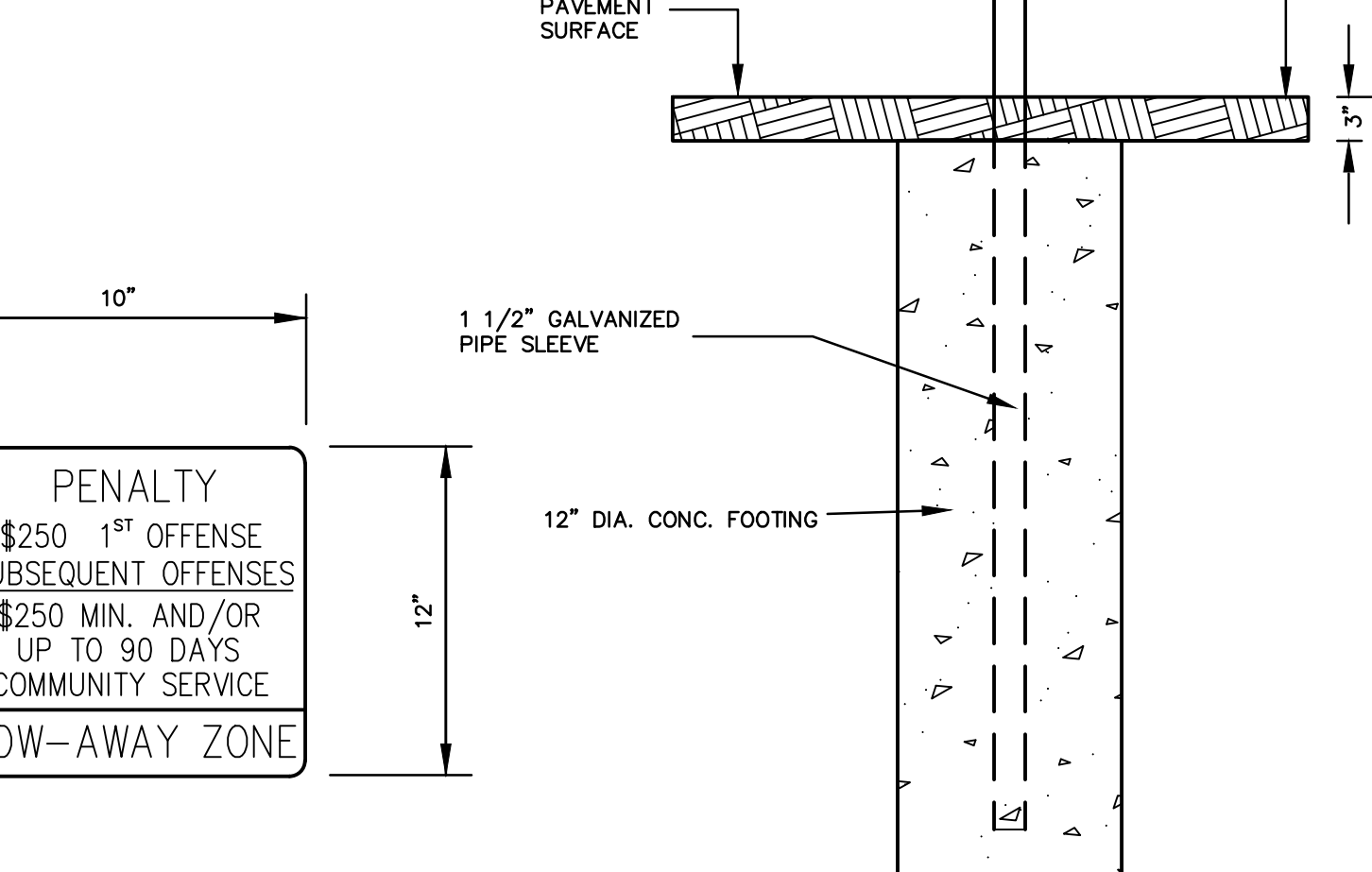
HANDICAPPED PARKING SPACES DETAIL



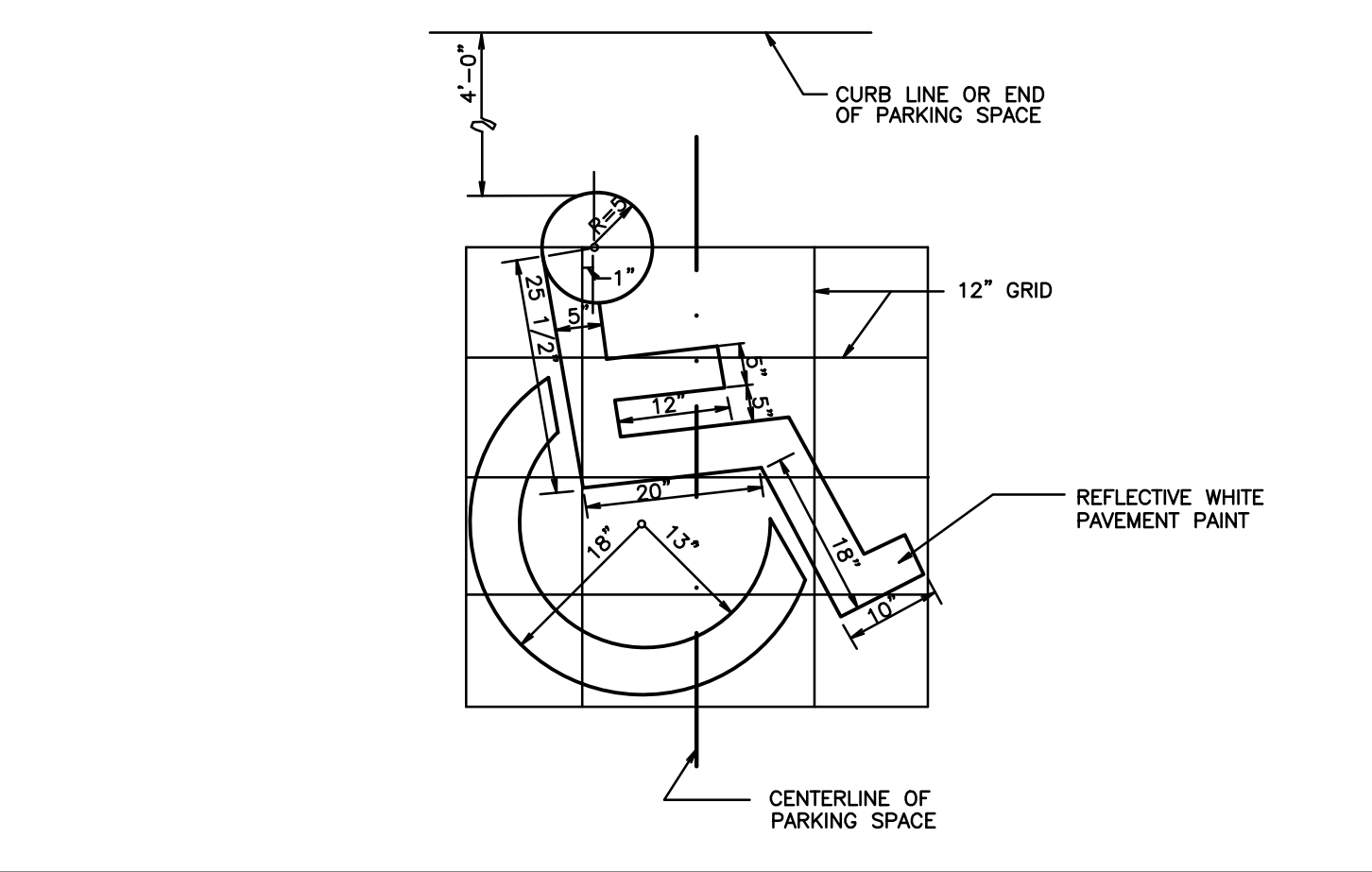
90° PARKING SPACE DETAIL



TRAFFIC ARROW STRIPING DETAIL FOR PARKING LOT
N.T.S.



HANDICAPPED PARKING SIGN
N.T.S.



HANDICAP PARKING SYMBOL
N.T.S.

revisions		
no.	date	description

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 21MH00004300

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 Jeffrey D. Reynolds, P.L.A.

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 F. MITCHEL ARDMAN
 N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

project

FINAL SITE PLAN

BLOCK 141 LOT 36.01
 NORTH BRUNSWICK TOWNSHIP
 MIDDLESEX COUNTY, NEW JERSEY

drawing title

CONSTRUCTION DETAILS

job number: 21-042-4
 drawing number: 9

scale: 1"=10'

checked by: FMA/AC

drawn by: AR

date: 01/30/24
 sheet: 9 of 16

GENERAL NOTES FOR CURB RAMP DETAIL:

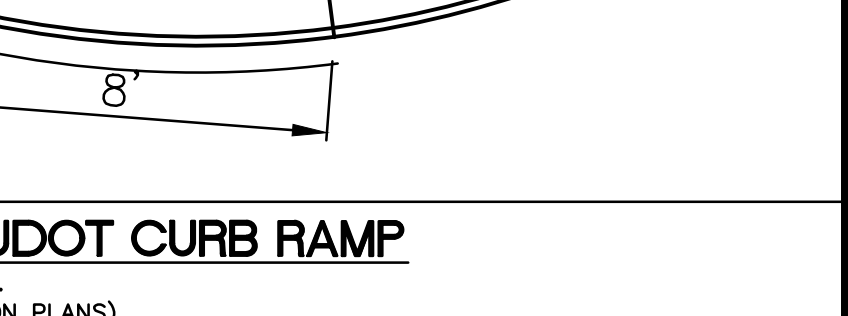
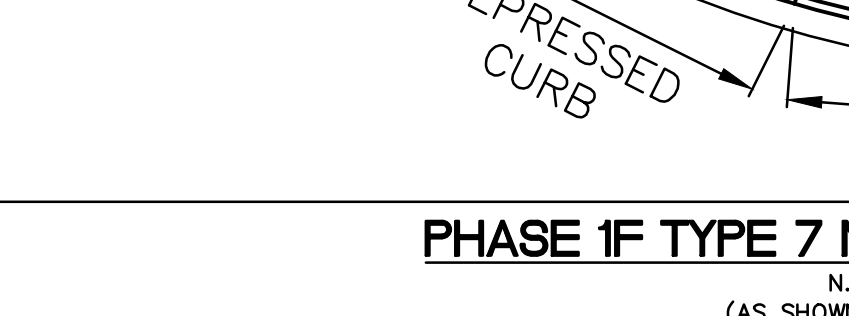
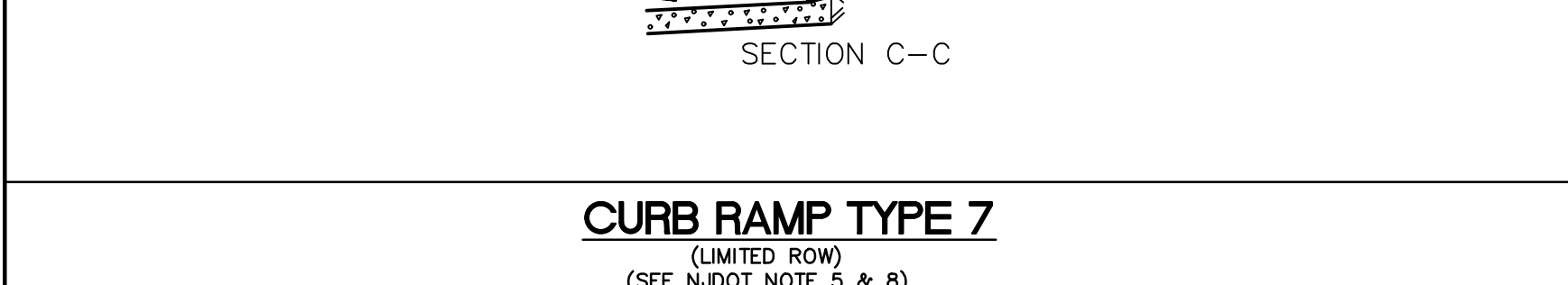
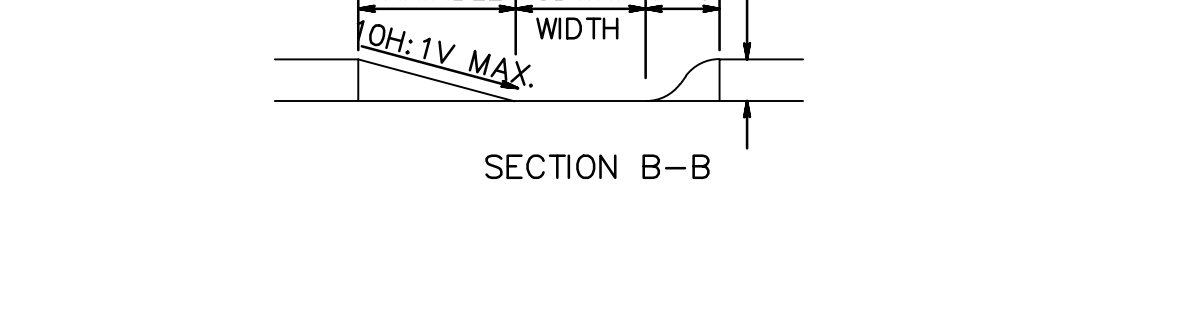
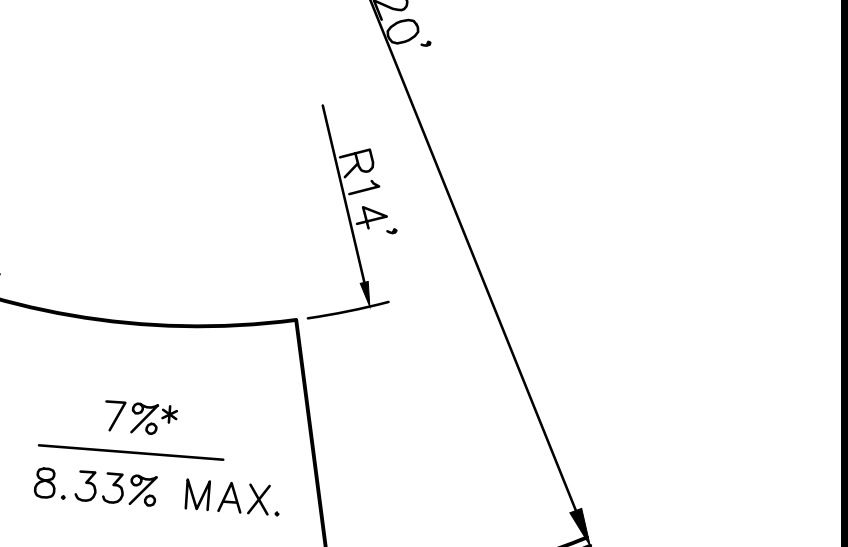
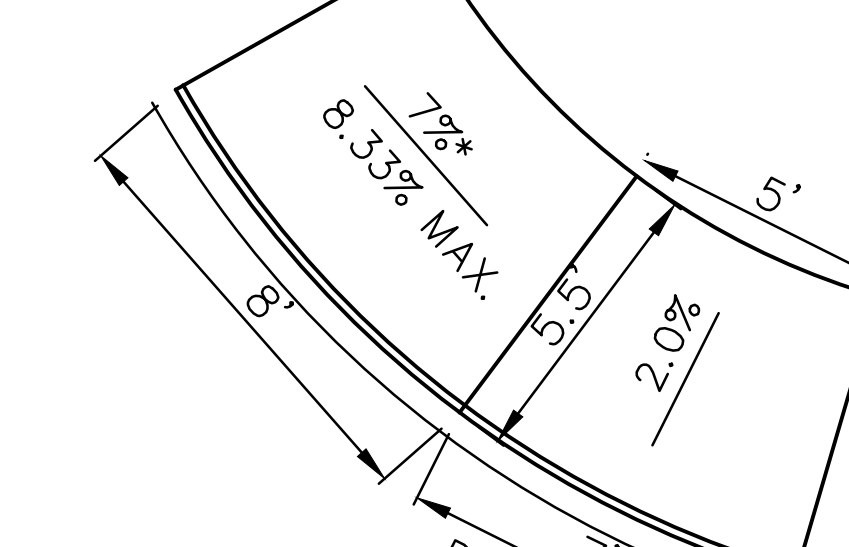
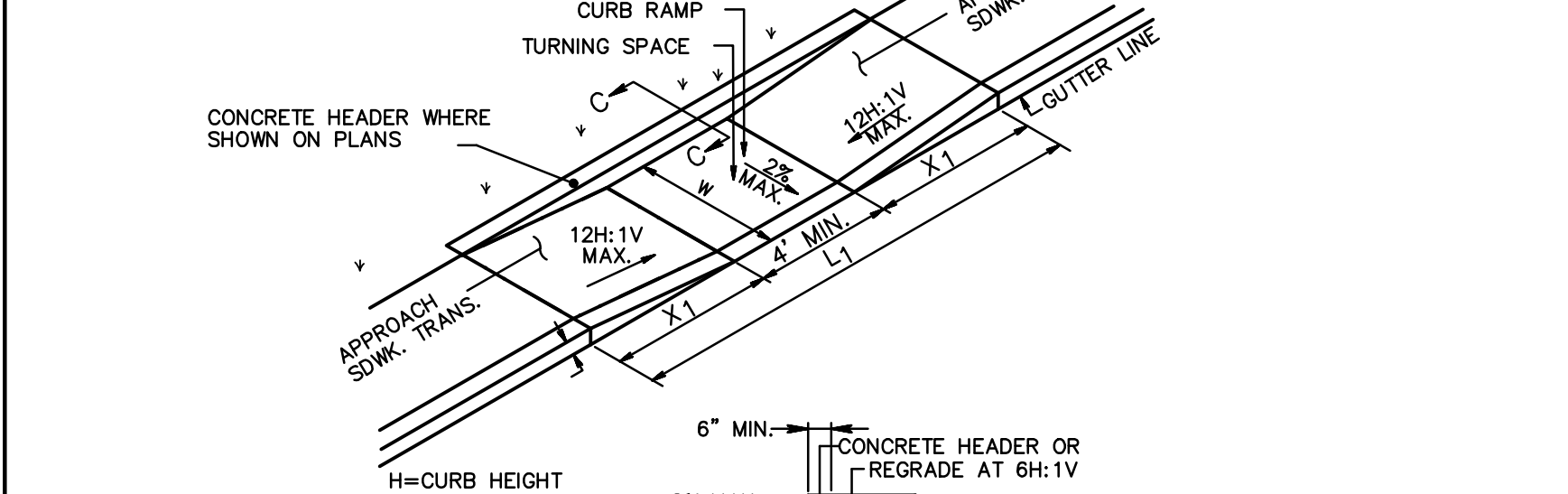
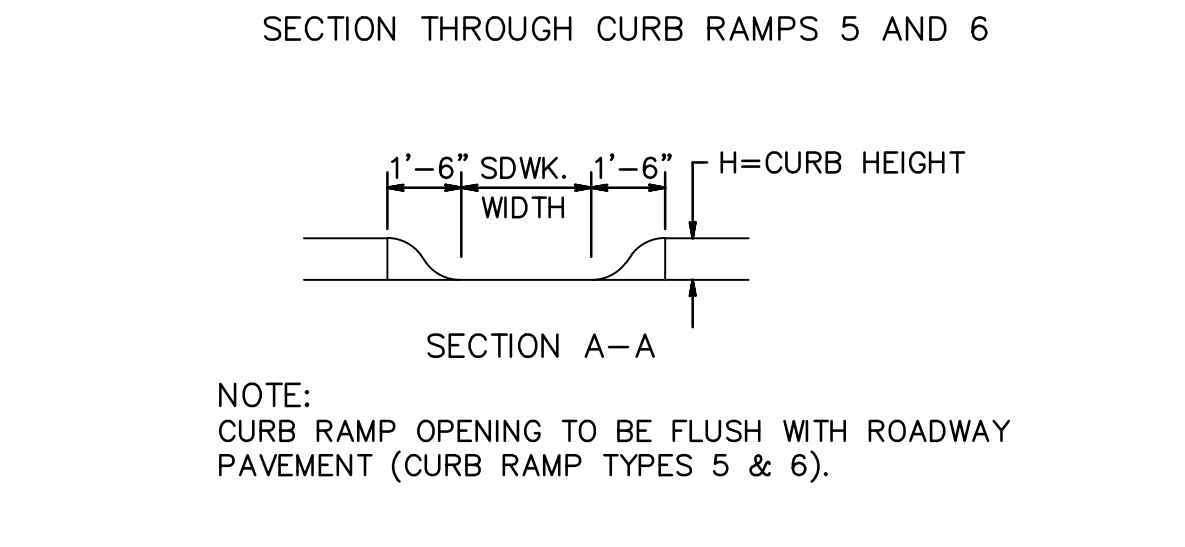
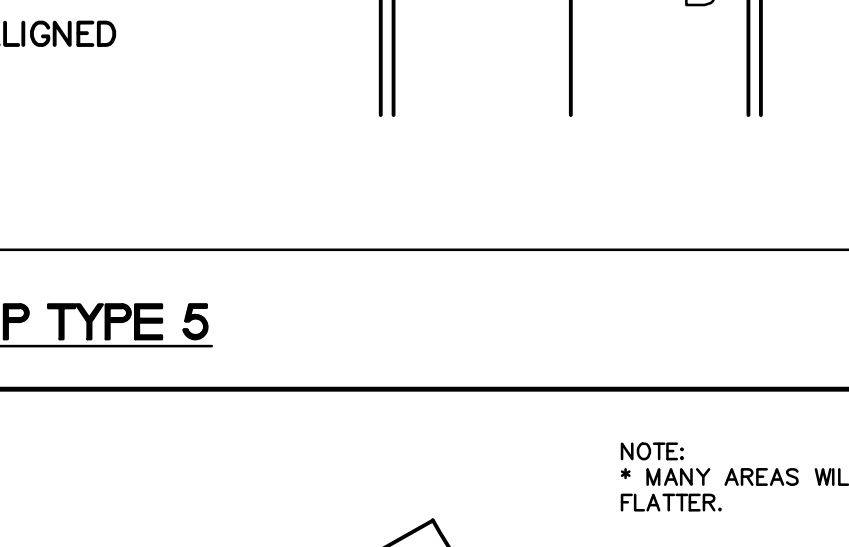
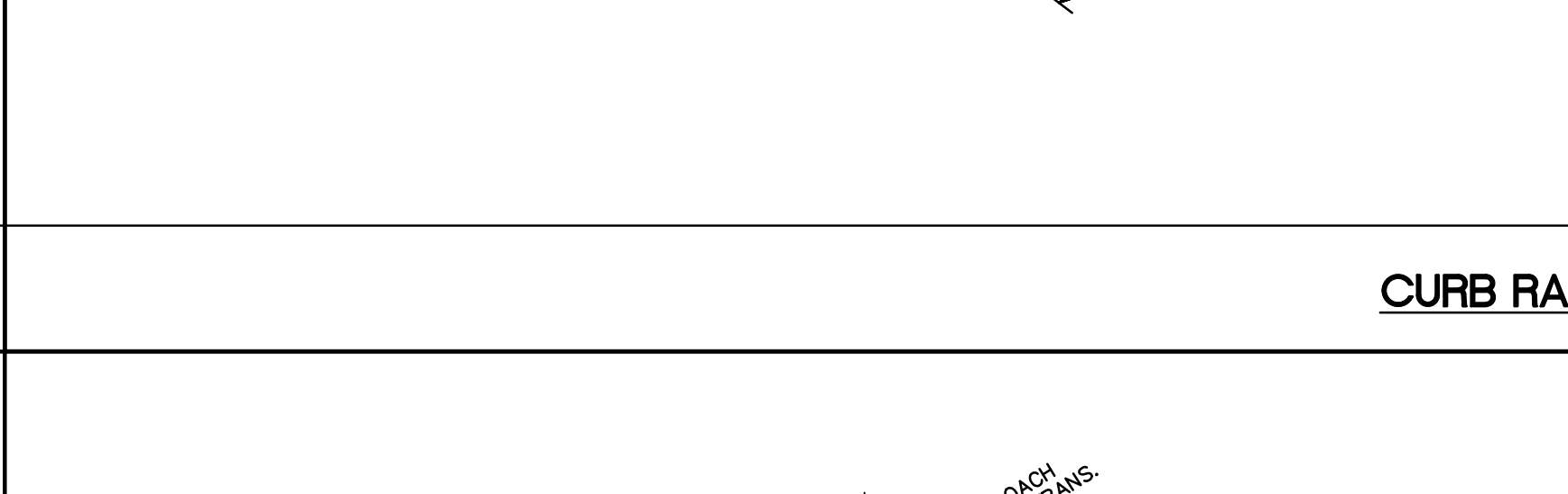
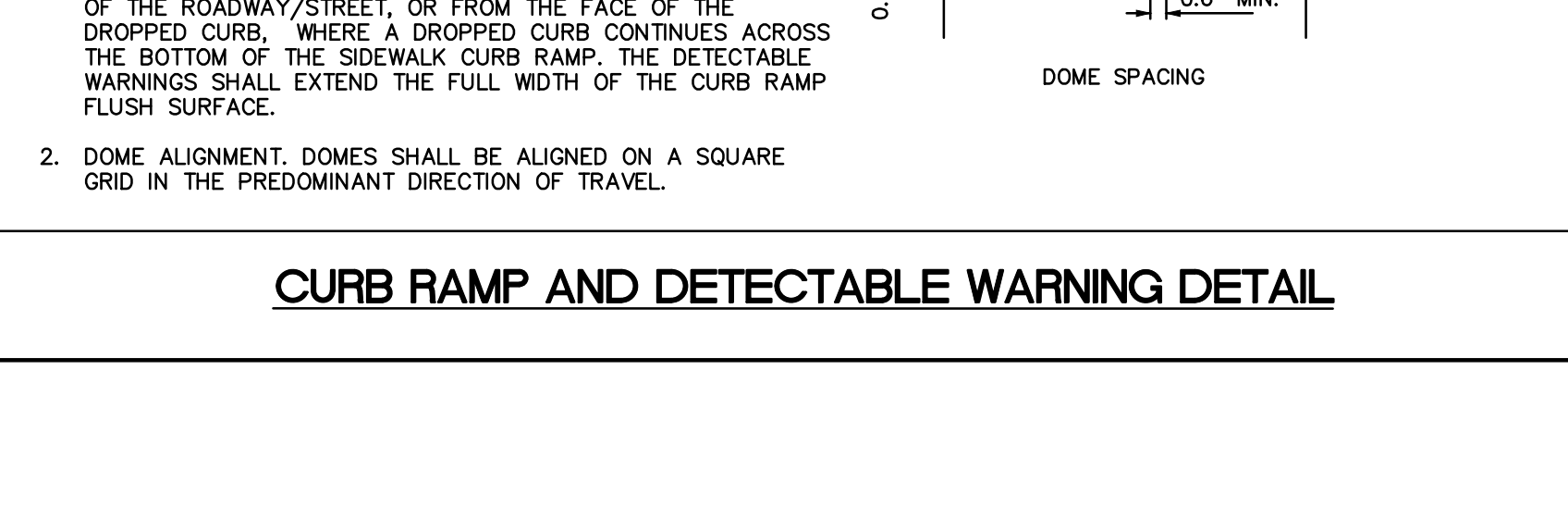
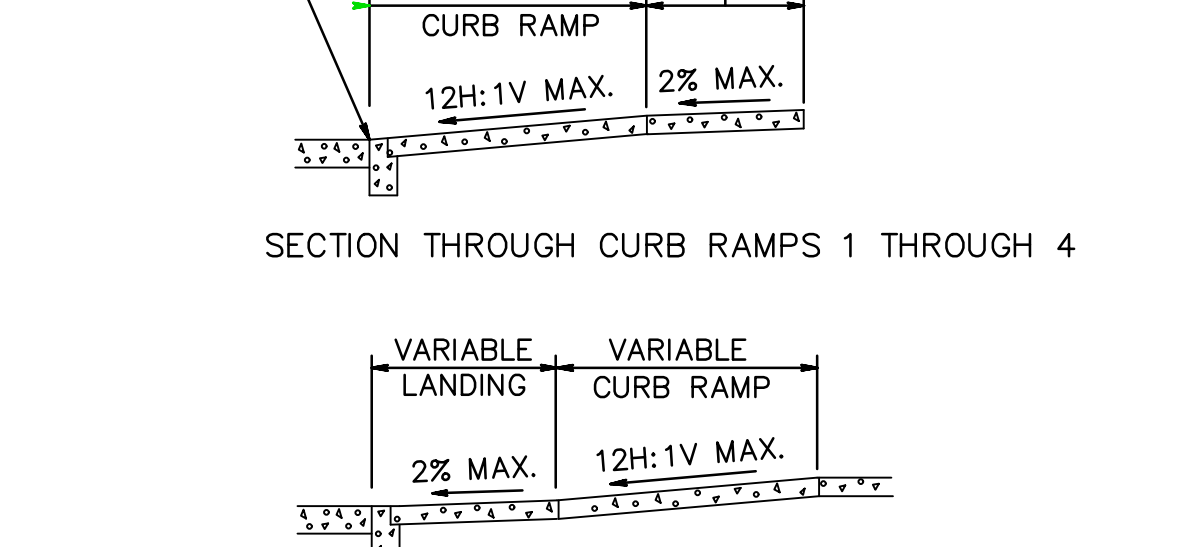
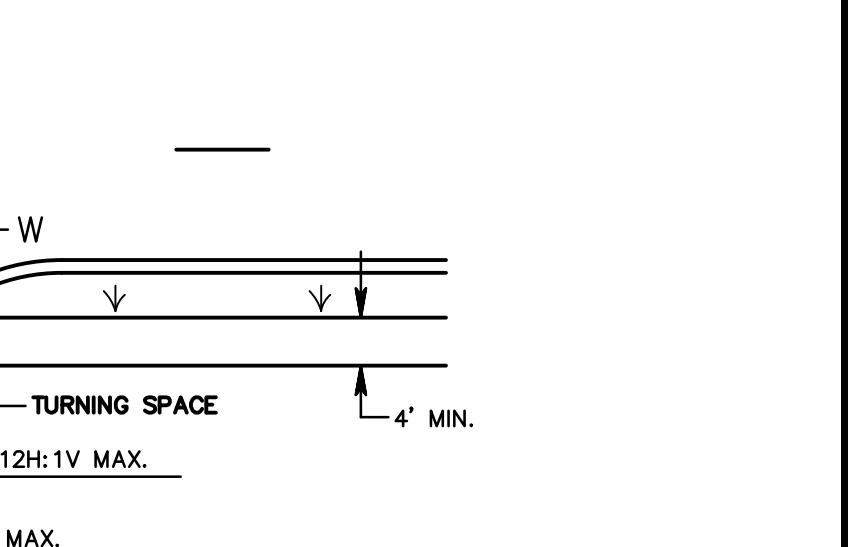
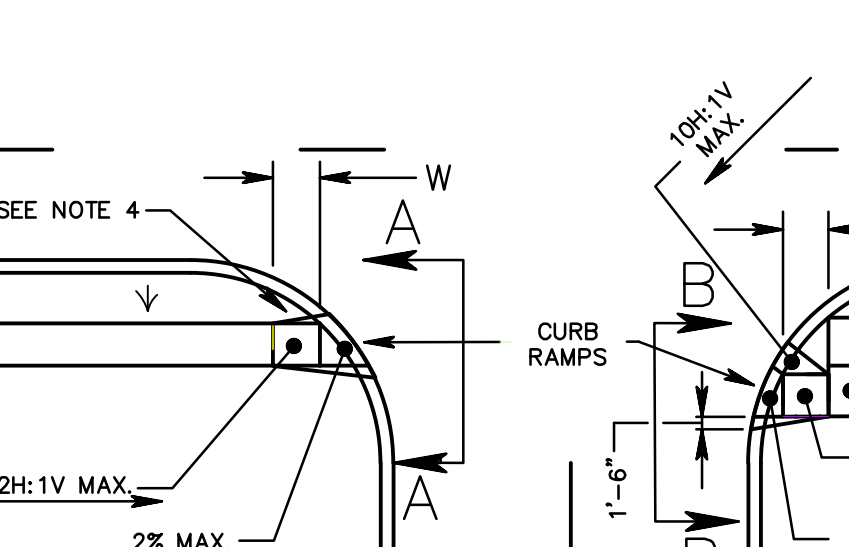
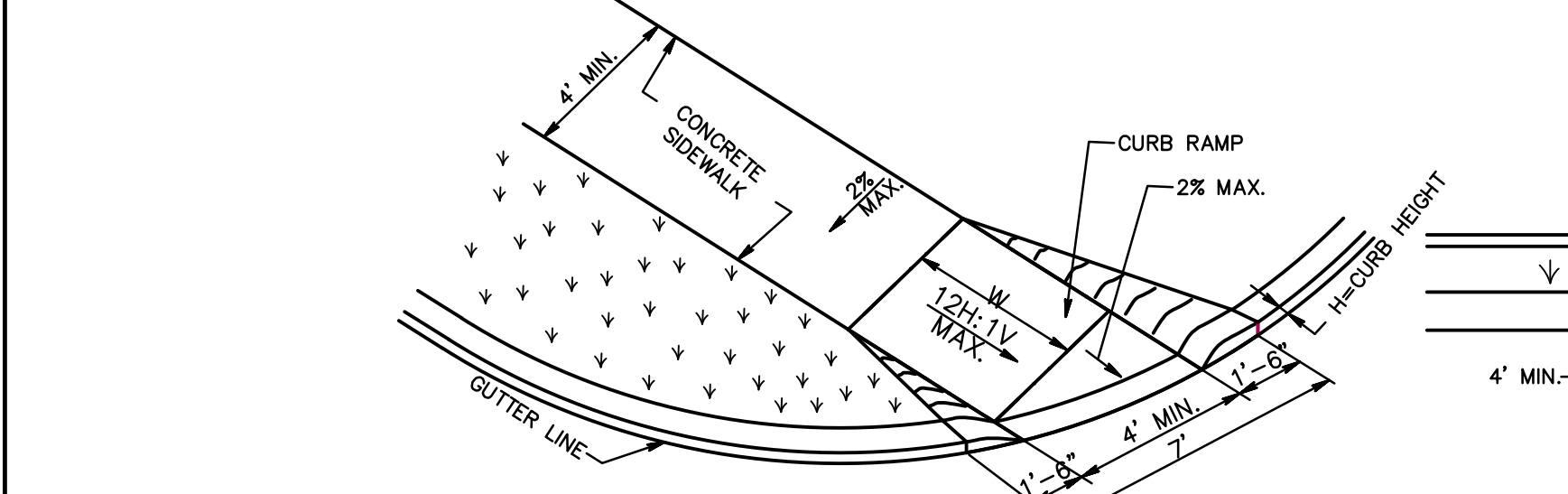
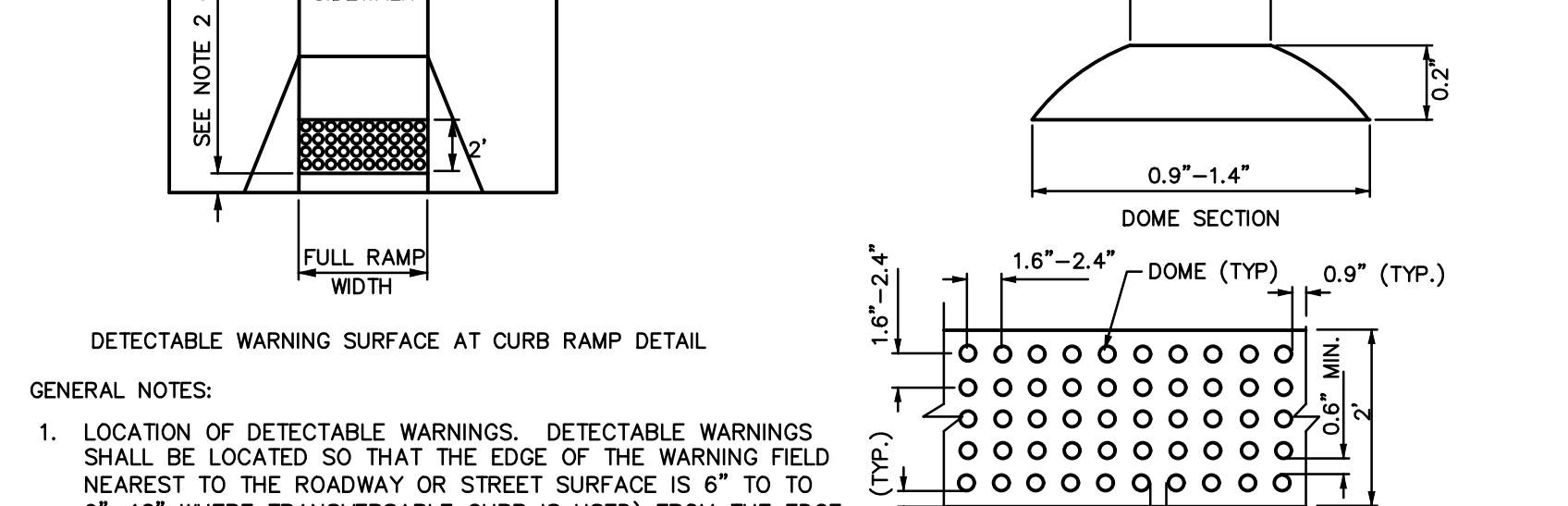
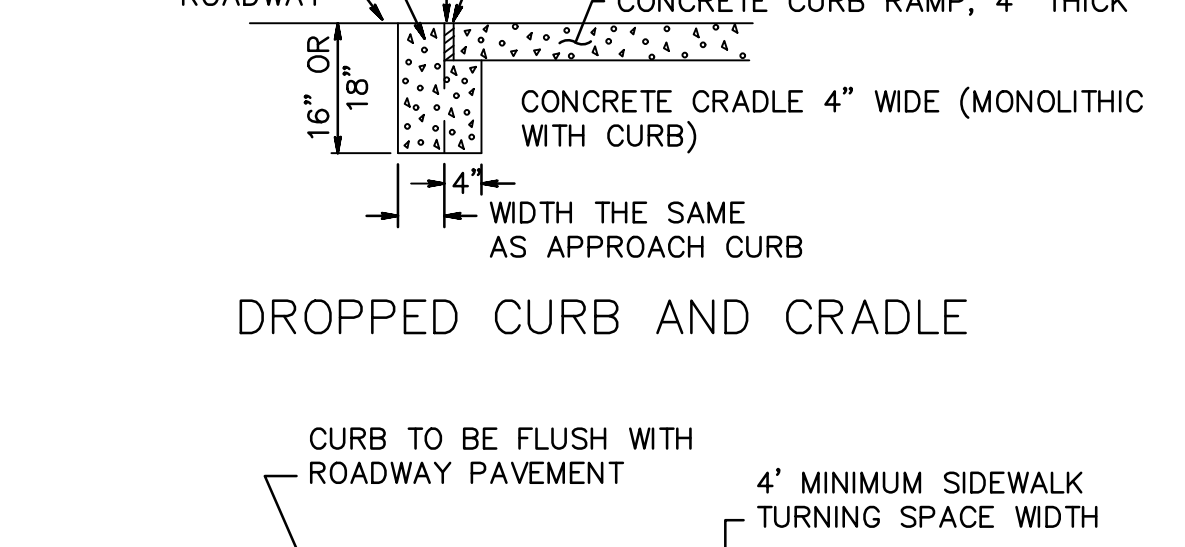
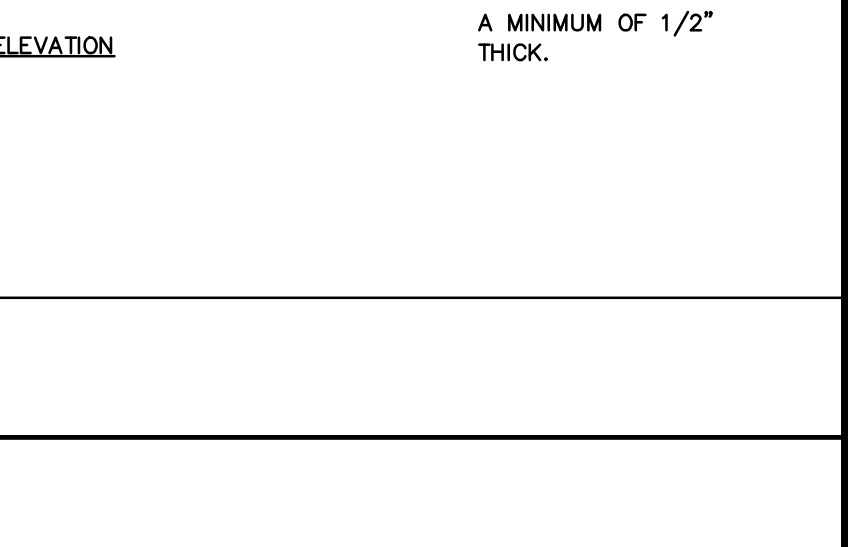
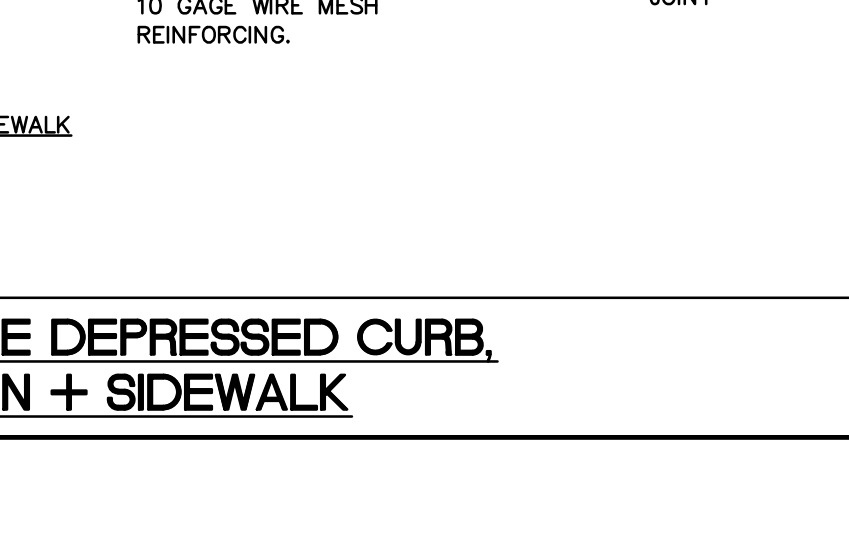
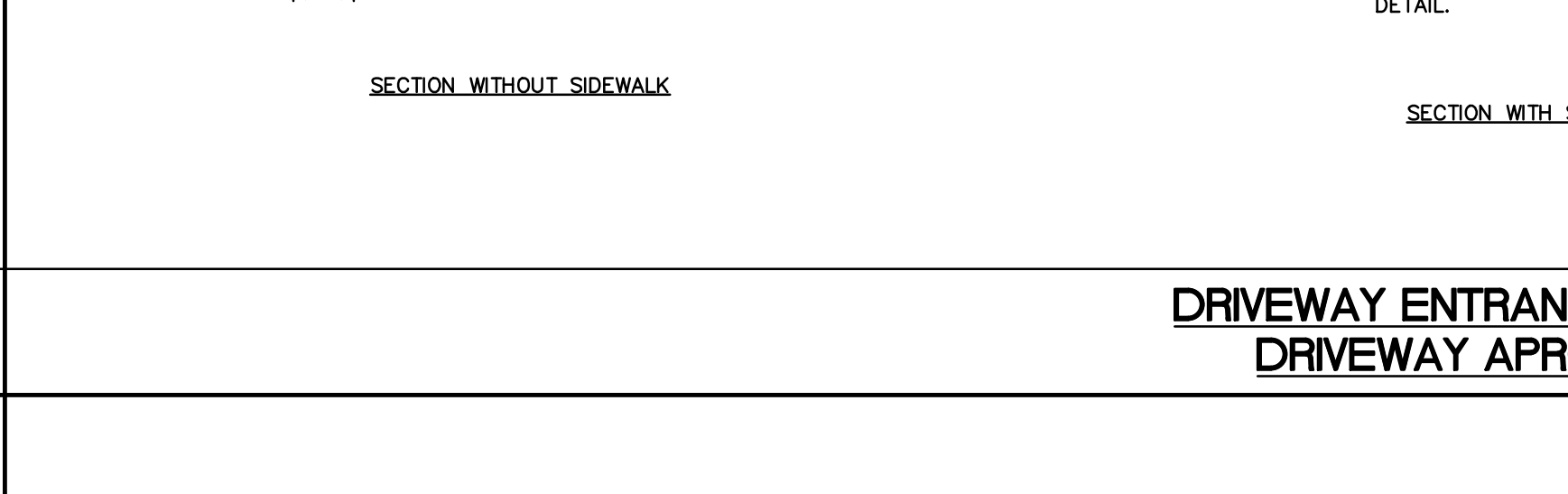
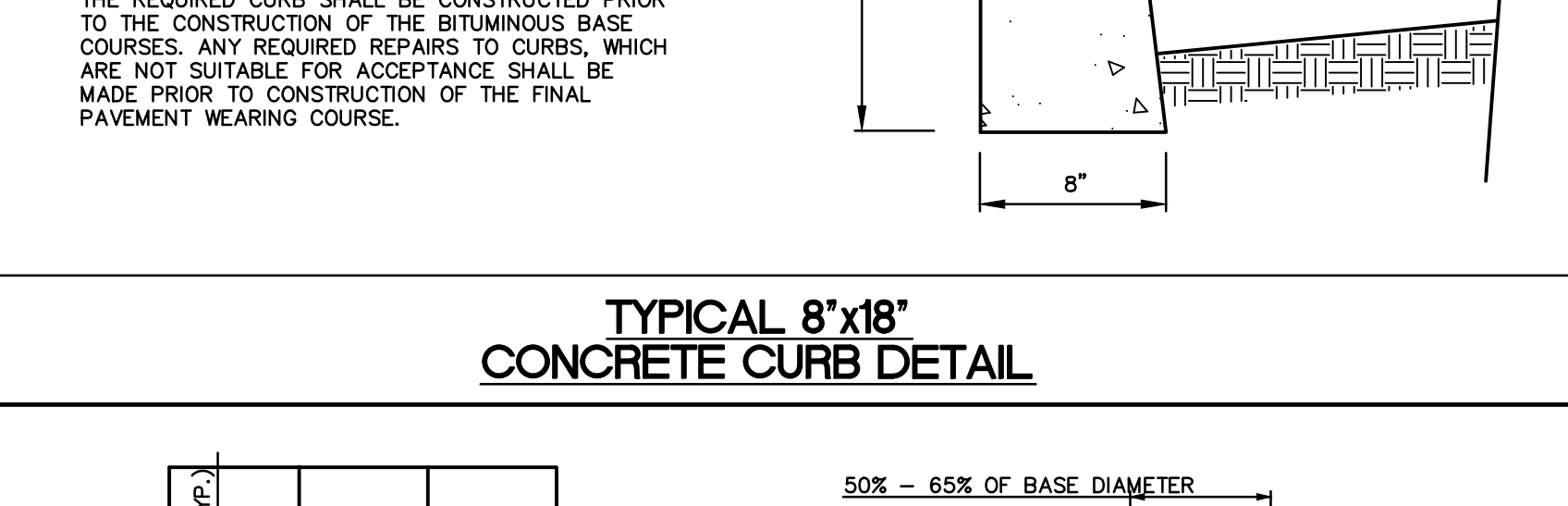
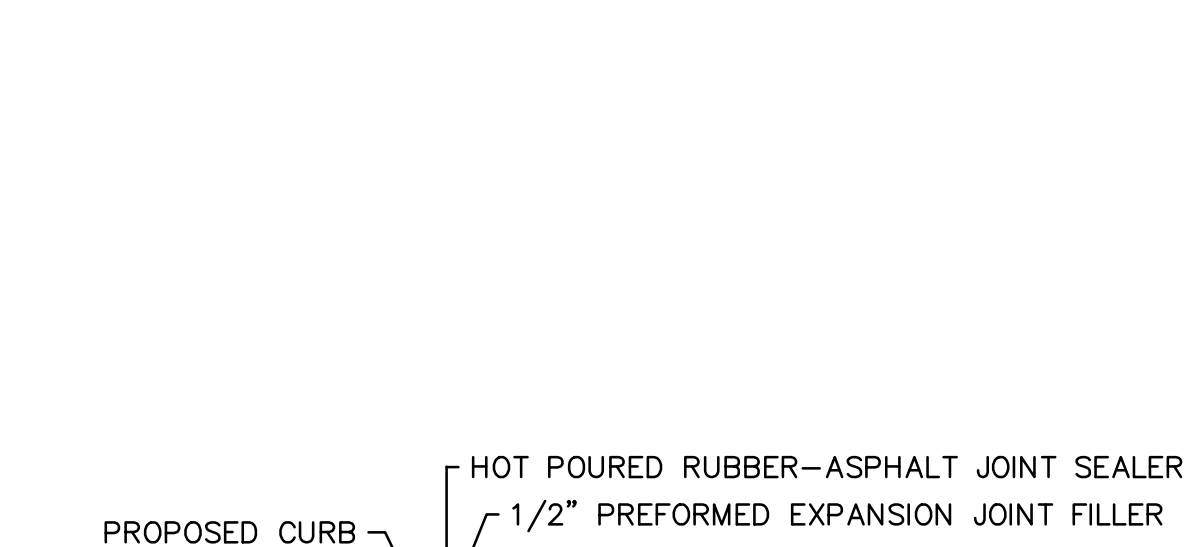
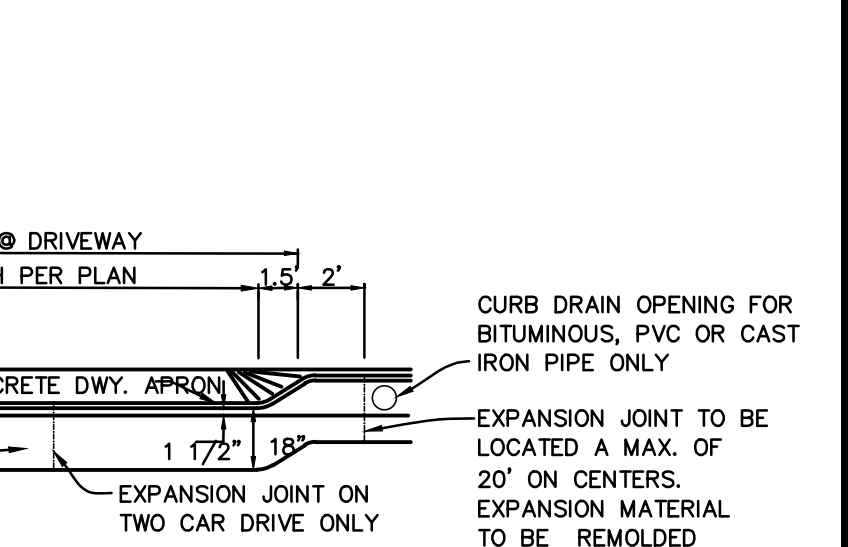
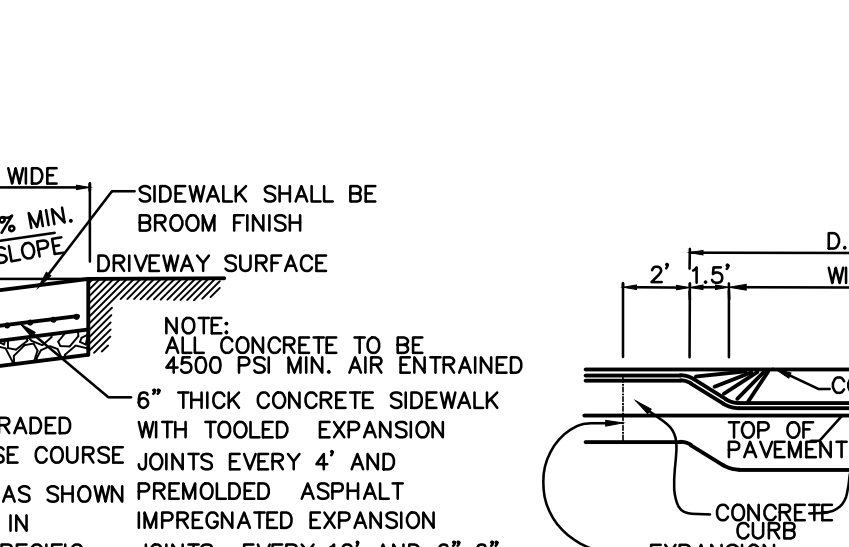
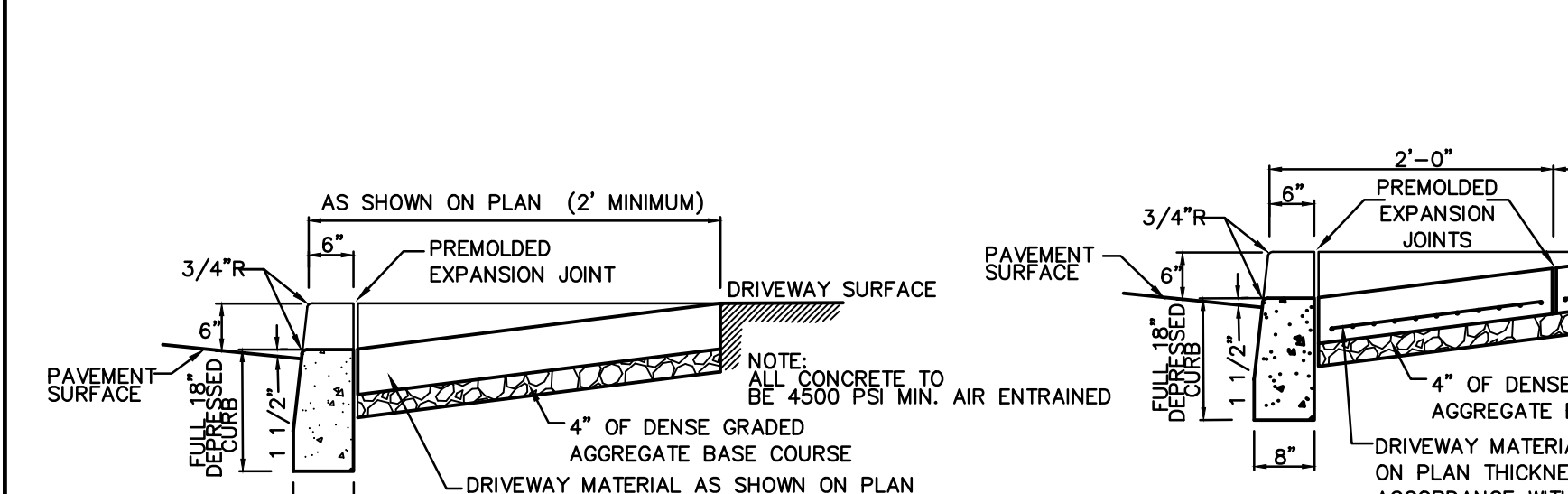
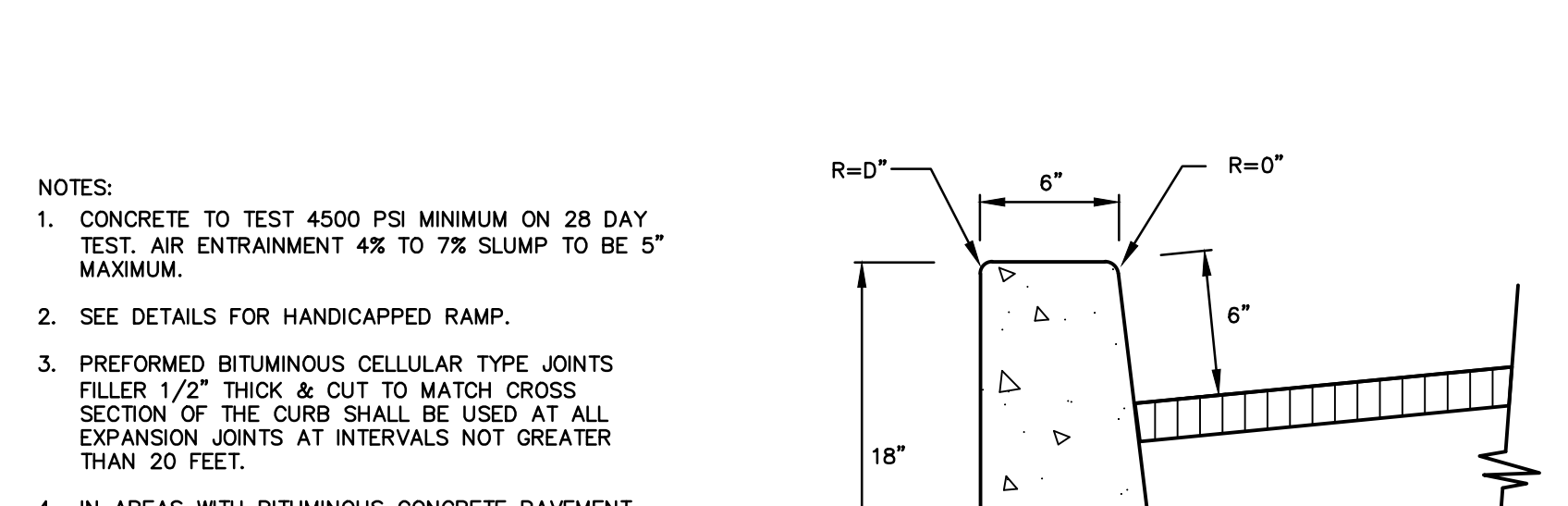
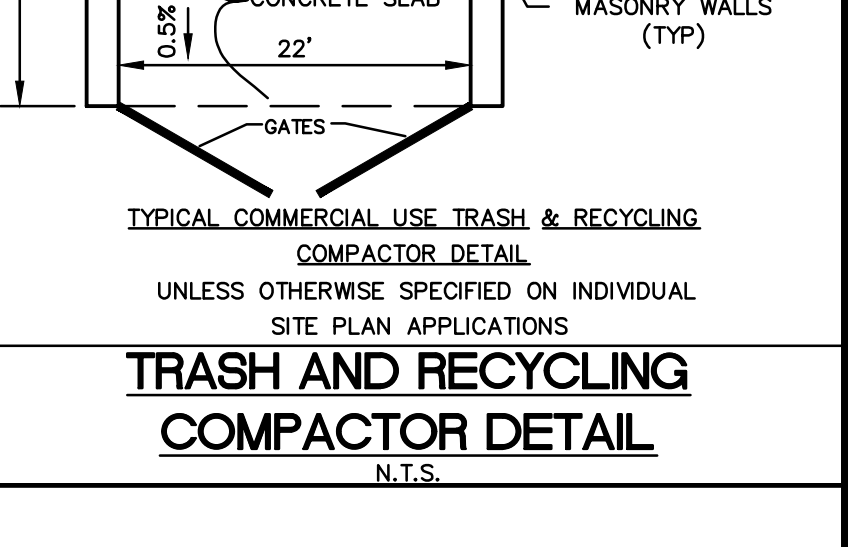
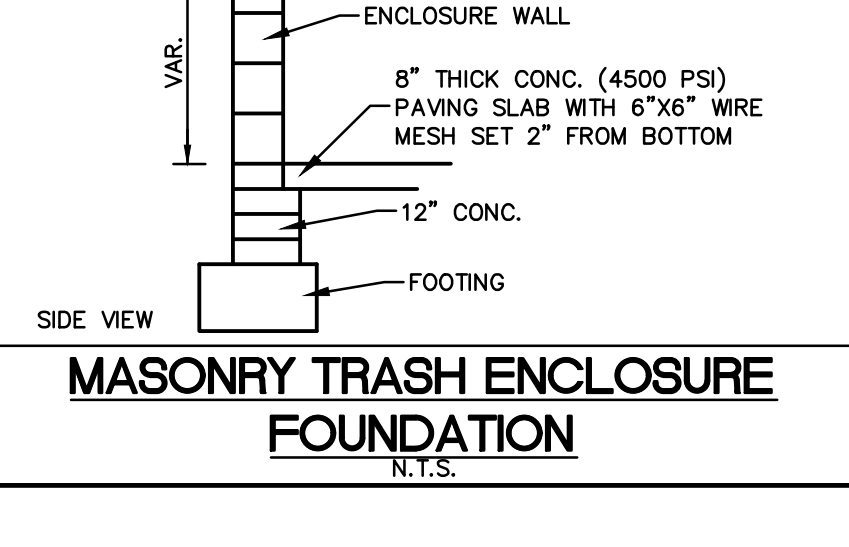
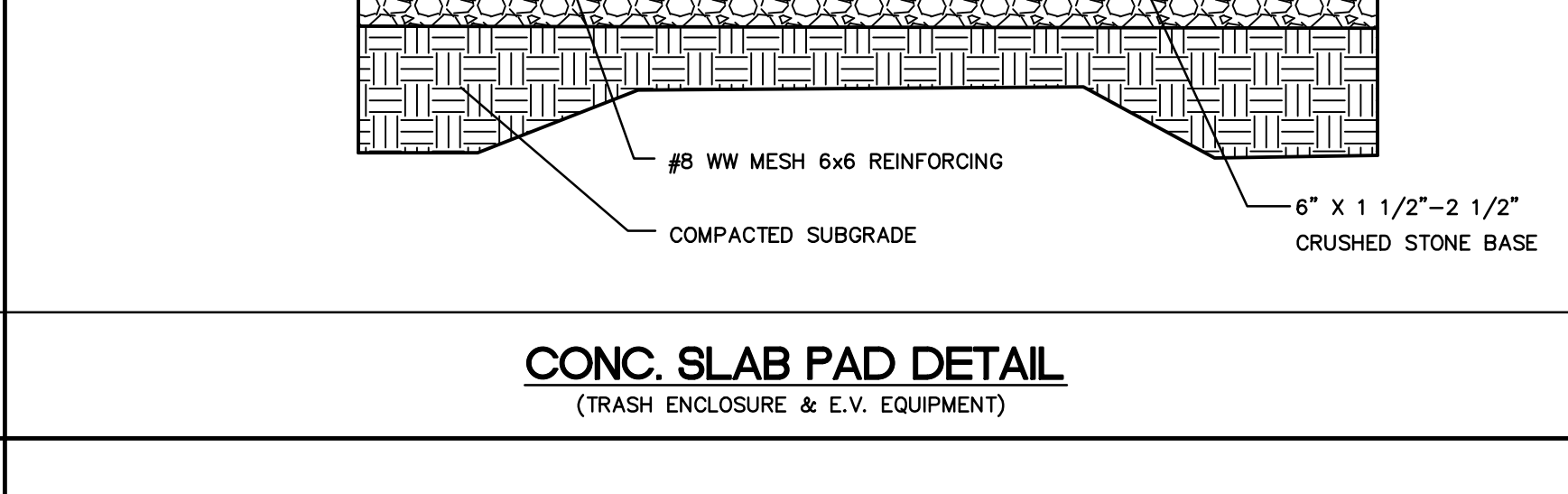
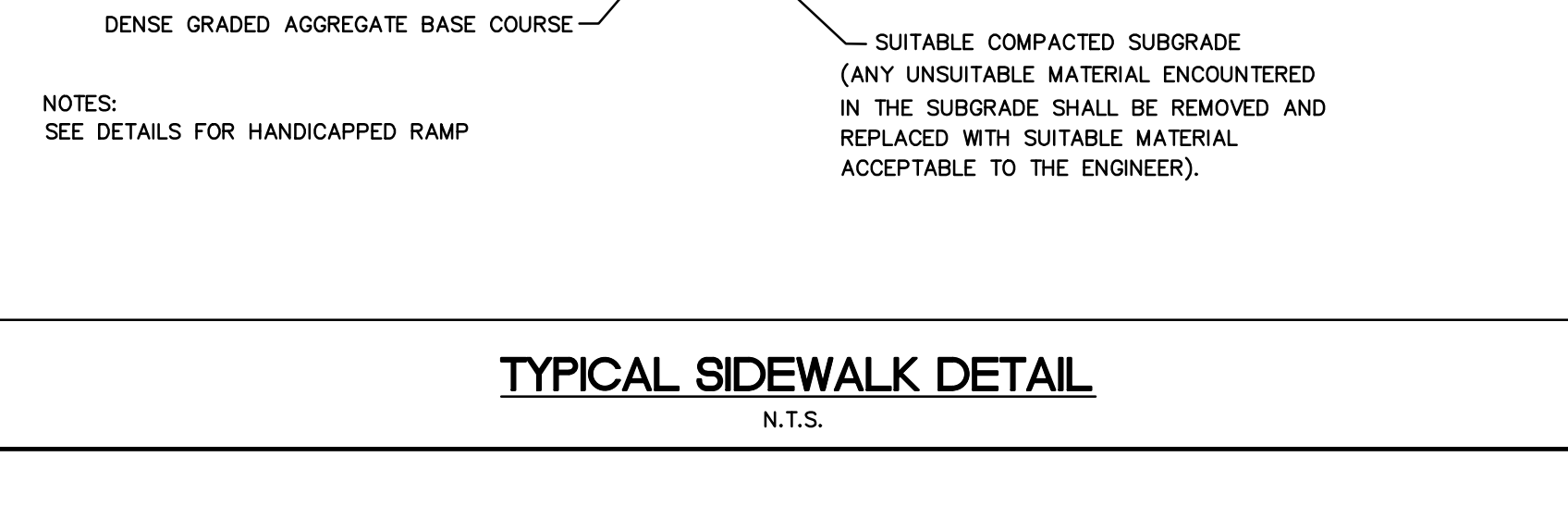
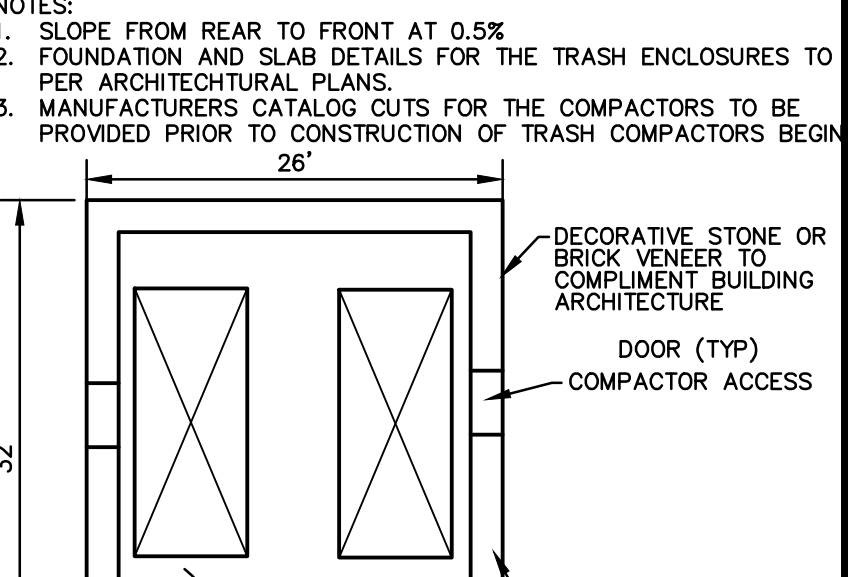
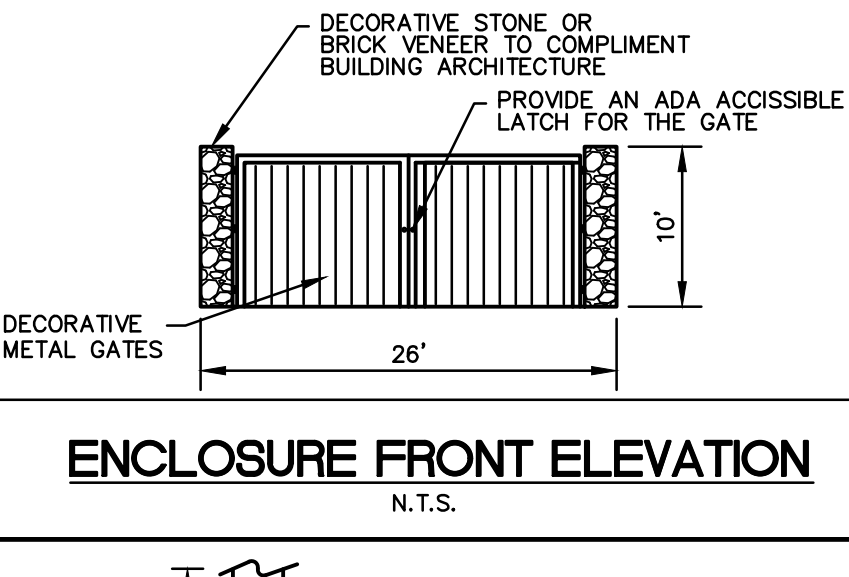
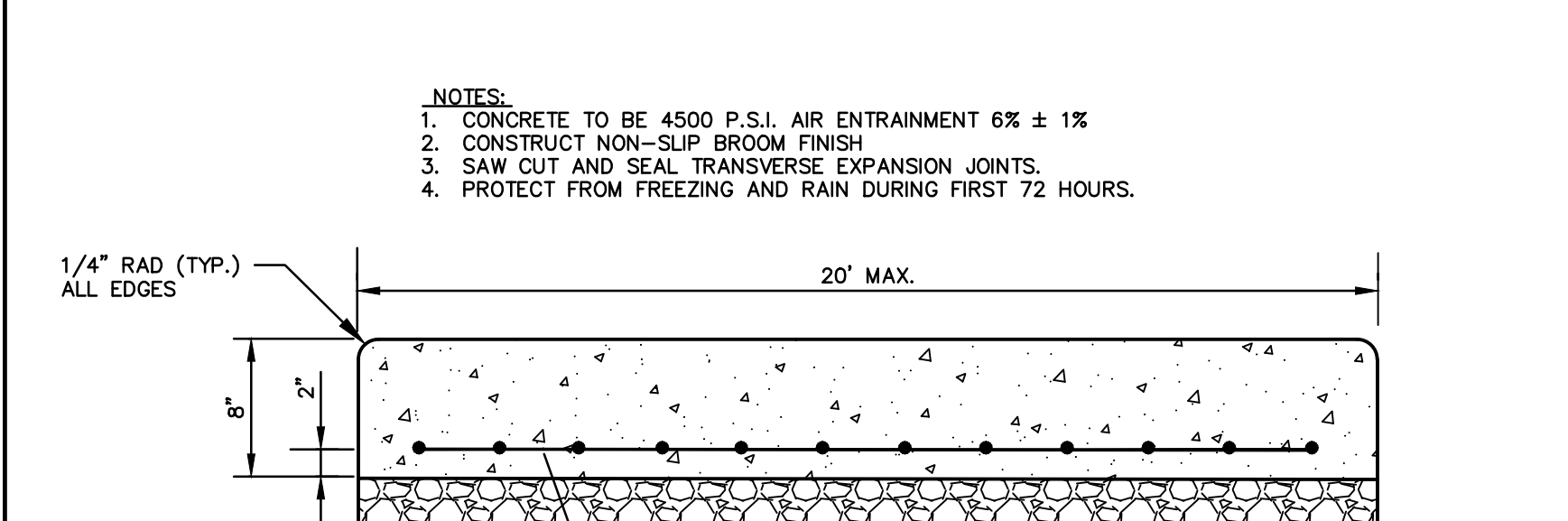
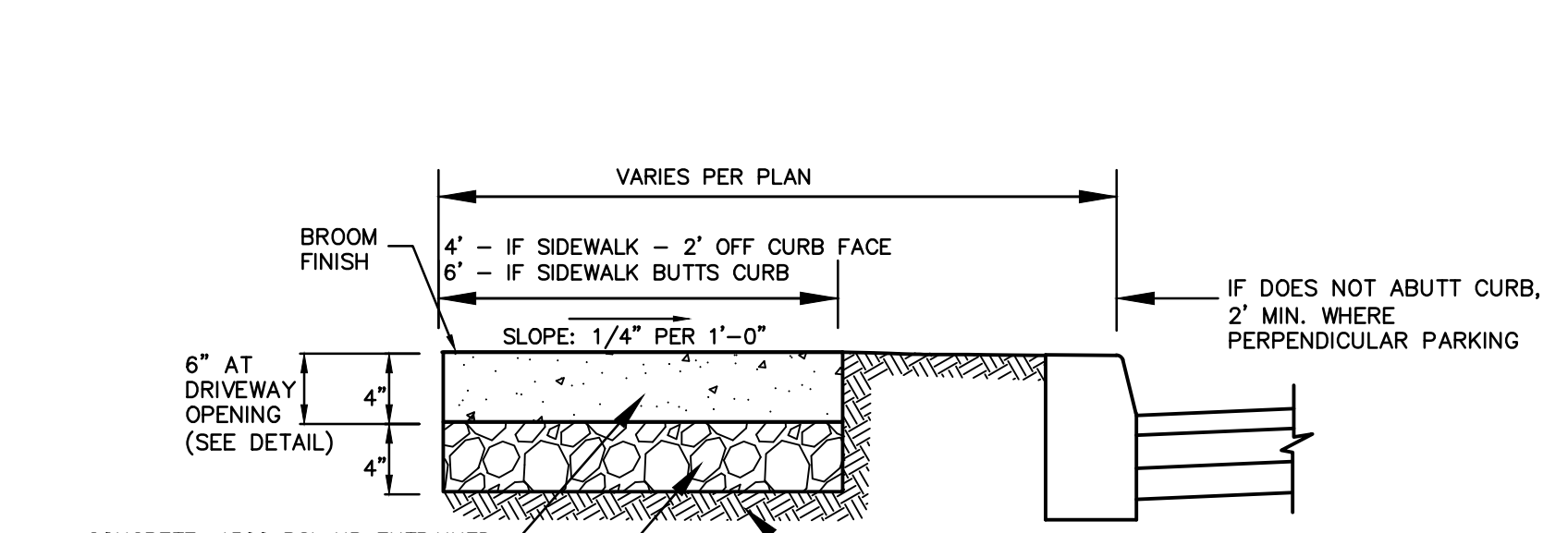
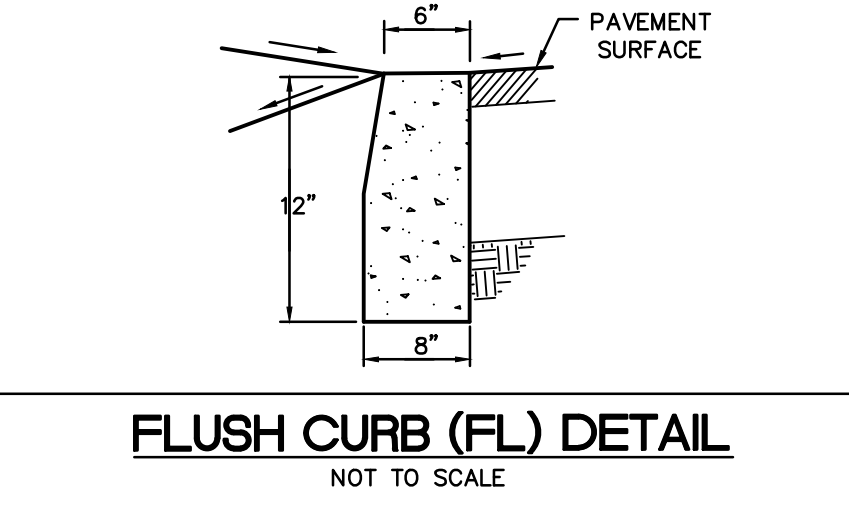
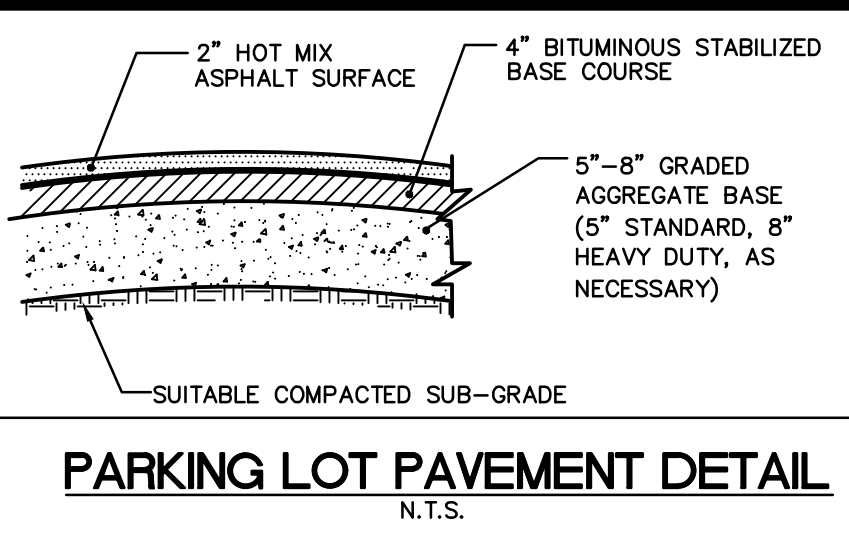
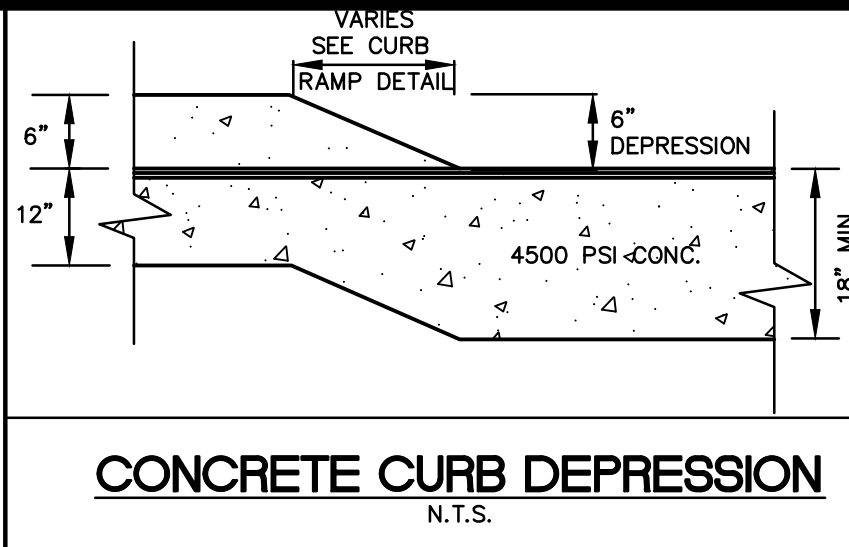
- THE PUBLIC SIDEWALK CURB RAMP STANDARDS DEPICTED HERE MAY NOT BE APPROPRIATE FOR ALL LOCATIONS. FIELD CONDITIONS AT INDIVIDUAL LOCATIONS MAY REQUIRE SPECIFIC DESIGNS. DESIGNS MUST BE CONSISTENT WITH THE PROVISIONS OF THIS SHEET TO THE MAXIMUM EXTENT FEASIBLE ON ALTERATION PROJECTS AND WHEN STRUCTURALLY PRACTICABLE ON NEW CONSTRUCTION PROJECTS AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES. THERE SHALL BE A LANDING AT THE TOP OF EACH CURB RAMP.
- THERE SHALL BE A LANDING AT THE TOP AND AT THE BOTTOM OF EACH PARALLEL AND PARALLEL/PERPENDICULAR RAMP.
- LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF A 4' BY 4' SQUARE. LANDINGS MAY OVERLAP WITH ADJACENT LANDINGS OR SINGLE LANDINGS MAY SERVE MULTIPLE CURB RAMPS OR PARALLEL OR PARALLEL/PERPENDICULAR RAMPS. LANDINGS MAY OVERLAP WITH THE CLEAR GROUND SPACE REQUIRED AT PEDESTRIAN SIGNAL PUSH BUTTONS.
- CROSS SLOPES. THE MAXIMUM CROSS SLOPE OF CURB RAMPS SHALL BE 2 PERCENT. THE MAXIMUM CROSS SLOPE AT LANDINGS IS 2 PERCENT IN ANY DIRECTION. SURFACES SHALL GENERALLY LIE IN CONTINUOUS PLANES WITH A MINIMUM OF SURFACE WARP.
- THE RUNNING GRADE OF CURB RAMPS SHOULD BE AS FLAT AS PRACTICABLE. THE MAXIMUM RUNNING GRADE OF ANY PORTION OF ANY CURB RAMP SHALL BE 1:12 (8.33%). CURB RAMPS ARE NOT REQUIRED TO BE LONGER THAN 15'.
- CURB RAMPS LOCATED WHERE PEDESTRIANS MAY WALK ACROSS THE CURB RAMP SHALL HAVE FLARED SIDES. THE LENGTH OF THE FLARES SHALL BE AT LEAST TEN (10) TIMES THE CURB HEIGHT, MEASURED ALONG THE CURB LINE. WHEN INEASIBLE OR IMPRACTICABLE TO PROVIDE A LANDING THAT IS AT LEAST 4' WIDE (MEASURED FROM THE TOP OF THE RAMP TO THE BACK OF THE SIDEWALK), THE LENGTH OF THE FLARES SHALL BE TWELVE (12) TIMES THE CURB HEIGHT MEASURED ALONG THE CURB LINE.
- THE SURFACE OF ALL CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT. A COARSE BROOM FINISH RUNNING PERPENDICULAR TO THE SLOPE IS RECOMMENDED ON CONCRETE RAMP SURFACES, EXCLUSIVE OF THE DETECTABLE WARNING FIELDS.
- RAMP TRANSITIONS BETWEEN WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES 0.12" MAX.
- COORDINATE ALL TRAFFIC CONTROL DEVICES, UTILITY LOCATIONS, SIGNS, STREET FURNITURE AND DRAINAGE TO ENSURE A CONTINUOUS PEDESTRIAN ACCESS ROUTE AT ALL CURB RAMP LOCATIONS. GUIDANCE FOR CROSSWALK MARKINGS AND TRAFFIC CONTROL DEVICES IS PROVIDED IN THE MUTCD. DRAINAGE GRATES AND UTILITY ACCESS COVERS ARE NOT ALLOWED IN RAMP WALKING SURFACES OR LANDINGS.
- WHERE FEASIBLE, E.G. WHERE R.O.W. WIDTH PROVIDES SUFFICIENT SPACE TO INSTALL SIDEWALKS SET BACK FROM THE CURBS, RAMP TYPES 2A AND 3A SHOULD BE INSTALLED AS THE SEPARATION PROVIDED BETWEEN SIDEWALK AND CURB OR TRAVELWAY MAKE FOR GREATER PEDESTRIAN SAFETY AND COMFORT.
- AT MARKED CROSSINGS, THE FULL WIDTH OF THE RAMP SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS. THE SIDES OF THE RAMPS (THE FLARES) SHOULD NOT BE WITHIN THE WIDTH OF THE MARKINGS.
- DETAILS ILLUSTRATE THAT DETECTABLE WARNINGS ARE REQUIRED. SEE SPECIFICATION FOR SPECIFIC DETECTABLE WARNING REQUIREMENTS. DETAILS DO NOT SHOW DROPPED CURBS AT BOTTOMS OF CURB RAMPS. DROPPED CURBS MAY BE SPECIFIED.

NJDOT CURB RAMP NOTES:

- KEEP TURNING SPACE APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP CLEAR OF OBSTRUCTIONS THAT PROTRUDE ABOVE THE SURFACE.
- FOR DIMENSION SEE 2016 CD-606-3 AND CD-606-4 PER NJDOT STANDARD CONSTRUCTION DETAILS AND AS AMENDED.
- CURB (DROPPED CURB) GUTTERLINE TO BE FLUSH WITH ROADWAY PAVEMENT TO ENTIRE WIDTH OF THE RAMP (4 FEET MIN.) AT ALL CURB RAMPS.
- FOR CURB RAMP TYPE 5 IF A GRASS BUFFER DOES NOT EXIST, SLOPE CURB TO EQUAL SLOPE OF ADJACENT CURB RAMP.
- WHERE THE DISTANCE FROM THE GUTTER LINE TO THE OUTSIDE EDGE OF SIDEWALK IS 6 FEET OR LESS, USE CURB RAMP TYPE 7, INSTEAD OF CURB RAMP TYPE 1 THROUGH 5.
- CROSSWALKS AND STOP LINES MAY BE MARKED OR UNMARKED, SEE PLANS.
- THE 12H:1V MAX SLOPE IS THE RUNNING SLOPE FOR CURB RAMPS. TYPE 4 CURB RAMPS, ENSURE THE RUNNING SLOPE OF CURB RAMPS DOES NOT REQUIRE ITS LENGTH TO EXCEED 15 FEET. THE RUNNING SLOPE MAY EXCEED THE 12H:1V MAX SLOPE SO AS NOT TO EXCEED THE 15 FEET MAXIMUM LENGTH.
- CURB RAMP TYPE 1 THROUGH 7 ARE NORMALLY PLACED ON THE RADIUS RETURN AT THE INTERSECTION AND ON A TANGENT SECTION AS DRAWN.

NOTES FOR PAVEMENT DETAILS:

- SUBGRADES: ALL SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR BITUMINOUS CONCRETE AND REINFORCED CONCRETE PAVEMENTS. PRIOR TO THE CONSTRUCTION OF ANY SUBBASE BASE OF PAVEMENT COURSE ALL SALT OR UNYIELDING PORTIONS OF THE SUBGRADE WHICH DO NOT ATTAIN THE REQUIRED STABILITY WILL BE REMOVED AND REPLACED WITH THE SUITABLE MATERIAL, AND THE WHOLE SURFACE OF THE SUBGRADE SHALL BE COMPACTED.
- SUBBASE AND/OR AGGREGATE BASE COURSES: WHERE GRANULAR SUBBASE COURSES ARE INCLUDED IN THE PAVEMENT DESIGN SECTION, THEY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE STANDARD SPECIFICATIONS. DENSE GRADED AGGREGATE BASE COURSES SHALL COMPLY WITH THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR SOIL AGGREGATE TYPE 5, CLASS A, OR TYPE 2, CLASS A OR B.
- BITUMINOUS BASE COURSES:
 - BITUMINOUS BASE COURSES FOR USE WITH BITUMINOUS CONCRETE PAVEMENTS SHALL CONSIST OF A PLANT-MIXED BITUMINOUS STABILIZED BASE COURSE (STONE MIX OR GRAVEL MIX) IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS, EXCEPT THAT THE REQUIREMENTS FOR THE CONSTRUCTION OF BASE COURSE SHALL BE AMENDED TO ALLOW THE LAYING OF THE BASE COURSE WITH A SINGLE LIFT MAXIMUM THICKNESS NOT EXCEEDING FOUR INCHES.
 - PRIOR TO PLACEMENT OF ANY BITUMINOUS STABILIZED BASE COAT, THE FINISHED SURFACE OF ANY UNDERLYING SUBBASE OR AGGREGATE BASE SHALL RECEIVE A PRIME COAT IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS.
 - SUITABLE STABILIZED BASE COURSE MAY INCLUDE RECYCLED CONCRETE, RECYCLED BITUMINOUS CONCRETE PAVEMENT, BITUMINOUS PAVEMENT MILLINGS AND DENSE GRADED AGGREGATES.
- BITUMINOUS PAVEMENTS: BITUMINOUS PAVEMENTS SHALL CONSIST OF A BITUMINOUS CONCRETE SURFACE COURSE TYPE FABC 1 IN ACCORDANCE WITH THE REQUIREMENT OF THE STANDARD SPECIFICATIONS. THE BITUMINOUS PAVEMENT WEARING SURFACE SHOULD GENERALLY NOT BE INSTALLED UNTIL JUST PRIOR TO THE TIME THE STREETS ARE PREPARED FOR FINAL ACCEPTANCE. PRIOR TO THE INSTALLATION OF A BITUMINOUS CONCRETE SURFACE, THE BITUMINOUS BASE COURSE SHALL BE INSPECTED BY THE TOWNSHIP ENGINEER. ANY AREAS OF THE BASE COURSE IN NEED OF REPAIR SHALL BE REMOVED AND REPLACED AT THE DIRECTION OF THE TOWNSHIP ENGINEER. IF THE TOWNSHIP ENGINEER DIRECTS, A LEVELING COURSE OF FABC MATERIAL SHALL BE PLACED ON ANY UNLIVEN OR BELOW-GRADE BASE COURSES PRIOR TO THE PLACEMENT OF FINISHED PAVEMENT. NO PAVING SHALL BE DONE UNTIL ALL ROAD STRUCTURES, SUCH AS MANHOLES, CATCH BASINS AND OTHER UNDERGROUND UTILITY ACCESS CHAMBERS, ARE BROUGHT TO GRADE LEVEL.
- ASPHALTIC BINDER SHALL BE PG 64-22.



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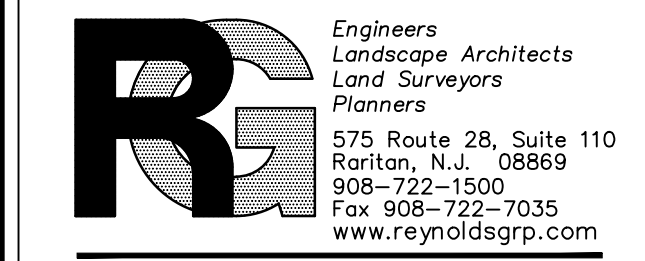
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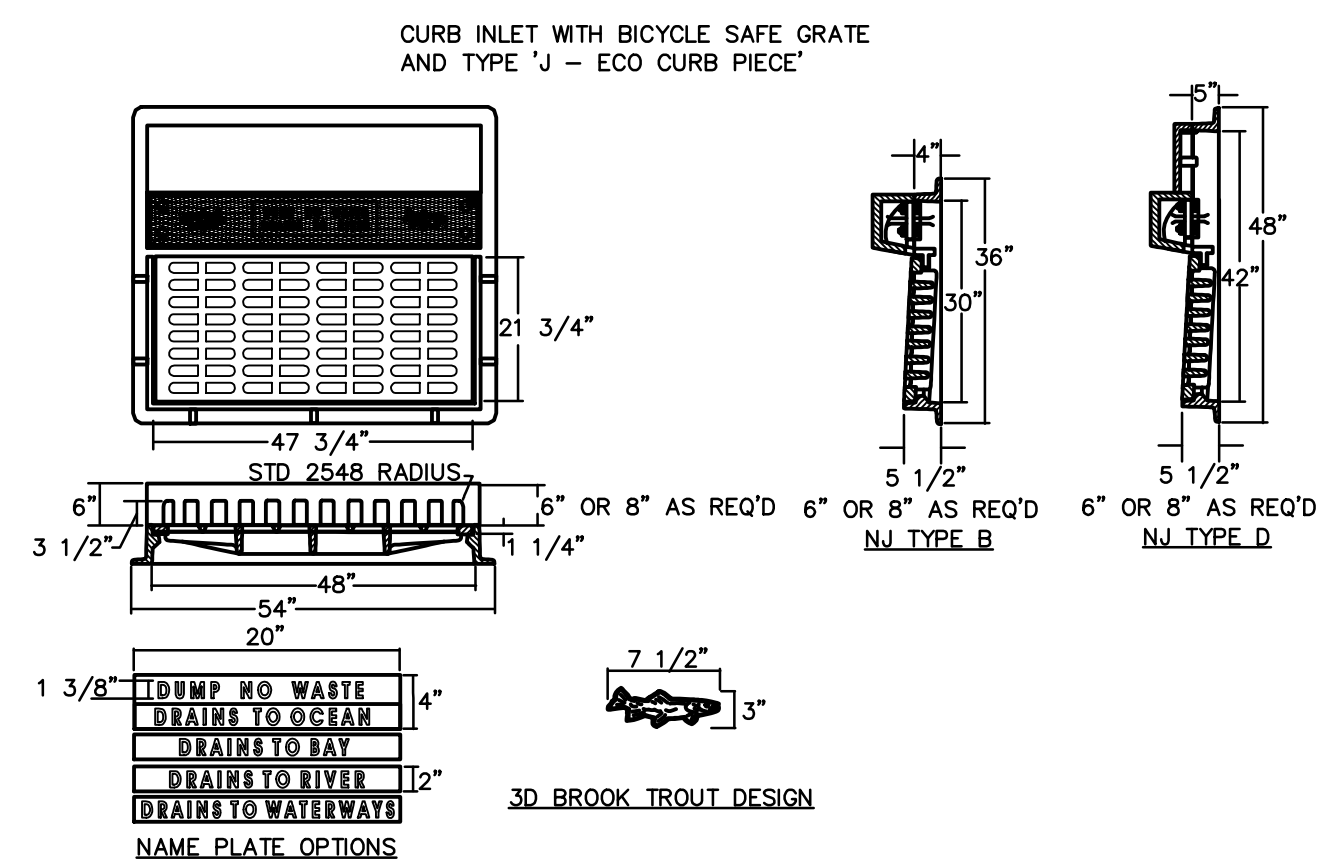
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The Reynolds Group Inc.
 State of New Jersey
 Certificate of Authorization
 Number 240427989200
 21MH00004300
 F. Mitchell Ardman, P.E., P.P.
 Jeffrey D. Reynolds, P.L.A.

FINAL SITE PLAN
 BLOCK 141 LOT 38.01
 NORTH BRUNSWICK TOWNSHIP
 MIDDLESEX COUNTY, NEW JERSEY
 drawing title
CONSTRUCTION DETAILS
 job number 21-042-4
 scale 1"=10'
 checked by FMA/AC
 drawn by AR
 date 01/30/24
 sheet 10 of 16

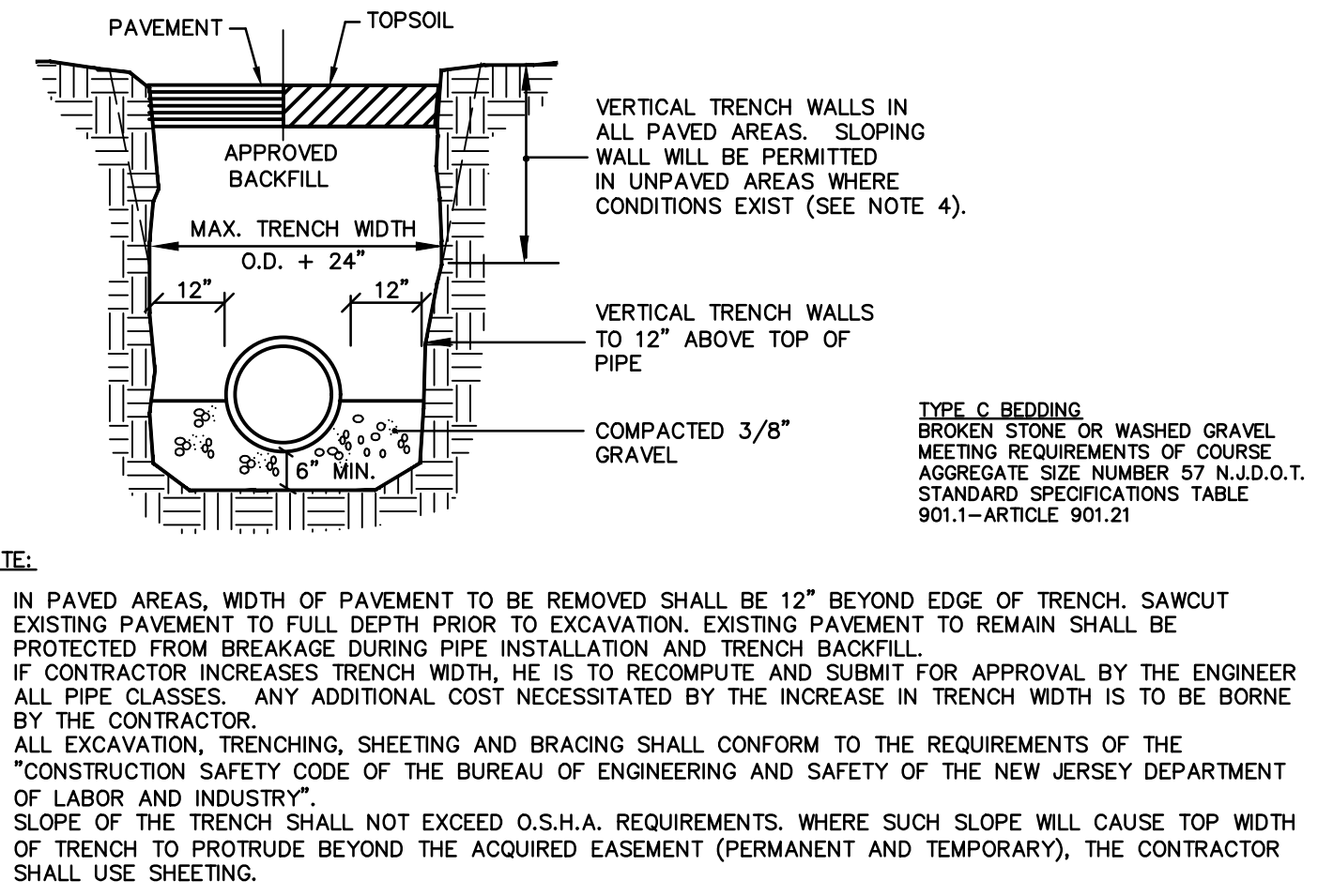
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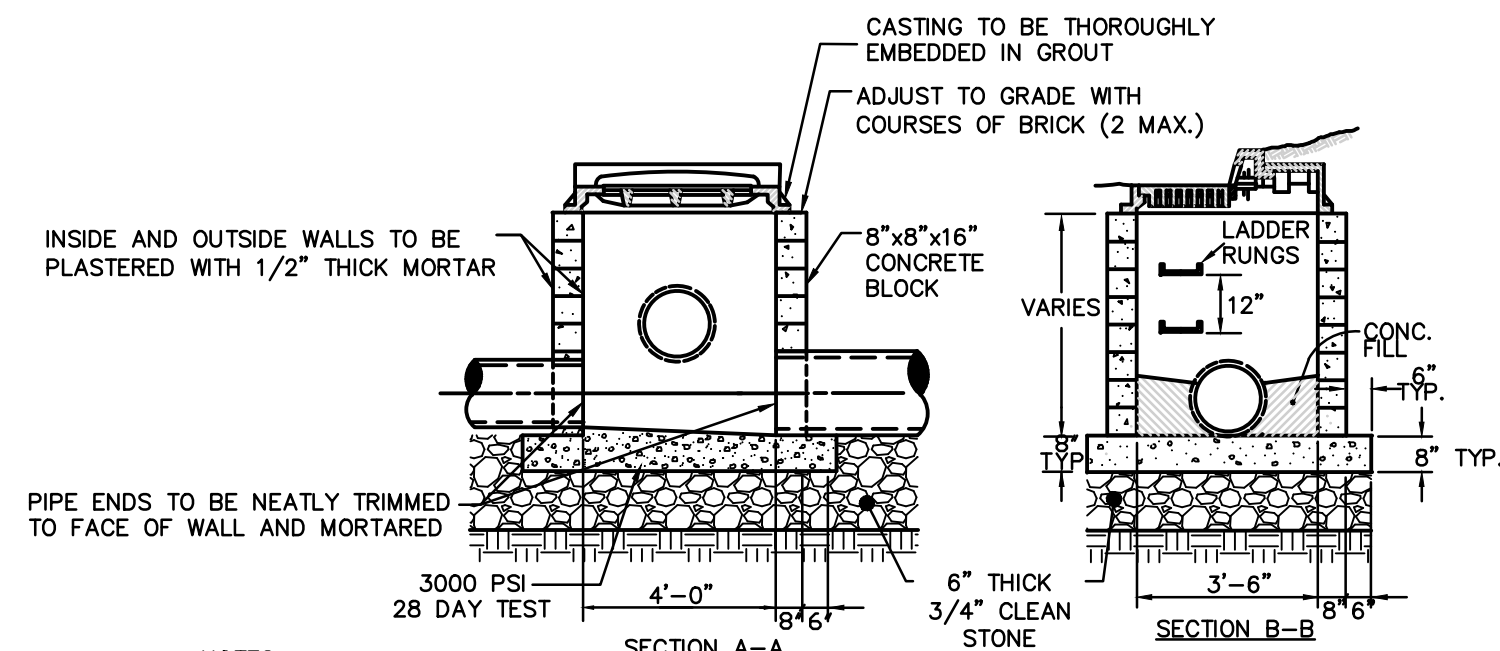
TYPE 'J' CURB PIECE + BICYCLE SAFE GRATE
N.T.S.

- ALL TRENCHES OR DITCHES WHICH CROSS AN EXISTING STREET AND WHICH ARE DUG FOR SEWERS, WATER MAINS, GAS MAINS OR OTHER UTILITIES, INCLUDING THE HOUSE CONNECTIONS FOR THOSE UTILITIES, SHALL BE FILLED WITH QUARRY PROCESS STONE. THE STONE SHALL BE PLACED IN LAYERS NOT EXCEEDING TWELVE (12) INCHES IN DEPTH AND SHALL BE SPRINKLED WITH WATER AND MECHANICALLY COMPACTED. ALL SOFT SPOTS AND DEPRESSIONS IN A SURFACE WHICH HAS BEEN GRADED WILL BE REMOVED AND FILLED WITH STONE OF A SIZE TO BE DETERMINED BY THE TOWNSHIP ENGINEER. ALL TRENCHES WHICH ARE DUG IN A FUTURE STREET OR EXISTING R.O.W. ON WHICH NO SUBBASE OR PAVEMENT HAS BEEN CONSTRUCTED SHALL BE BACKFILLED AS INDICATED ABOVE OR MAY BE BACKFILLED WITH SUITABLE ON-SITE EXCAVATED MATERIALS OR IMPORTED FILL.
- PRIOR TO USING ANY ON-SITE AND/OR IMPORTED SOIL MATERIALS THE CONTRACTOR OR ANY INDIVIDUAL OR FIRM SHALL EMPLOY A RECOGNIZED SOILS LABORATORY TO SECURE SOIL SAMPLES; PERFORM THE NECESSARY LABORATORY ANALYSIS AND ESTABLISH THE COMPACTION AND OTHER CRITERIA NECESSARY FOR THE PROPER PLACEMENT OF THE BACKFILL. A REPORT OF THE LABORATORY FINDINGS, INCLUDING THE COMPACTION SPECIFICATIONS, SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER FOR REVIEW AND APPROVAL PRIOR TO COMMENCING ANY BACKFILL OPERATIONS USING ON-SITE SOIL AND/OR IMPORTED SOIL MATERIALS.
- DURING THE BACKFILLING OPERATIONS, THE CONTRACTOR OR ANY INDIVIDUAL OR FIRM ENGAGED IN A BACKFILLING OPERATION SHALL EMPLOY A PROFESSIONAL ENGINEER, LICENSED IN THE STATE OF NEW JERSEY, OR HIS REPRESENTATIVE, WHO IS REGULARLY ENGAGED IN THE PRACTICE OF GEOTECHNICAL ENGINEERING AND WHO IS TRAINED IN SOIL MECHANICS, TO OBSERVE THE PLACEMENT OF THE BACKFILL. THE SOILS ENGINEER SHALL FILE DAILY REPORTS, WITH THE TOWNSHIP ENGINEER INDICATING THE RESULTS OF THE COMPACTION AND UPON THE CONCLUSION OF THE PROJECT FILE A FINAL CERTIFICATION INDICATING THAT THE BACKFILL MATERIAL HAS BEEN PLACED AND COMPACTED IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED IN THE APPROVED LABORATORY REPORT.

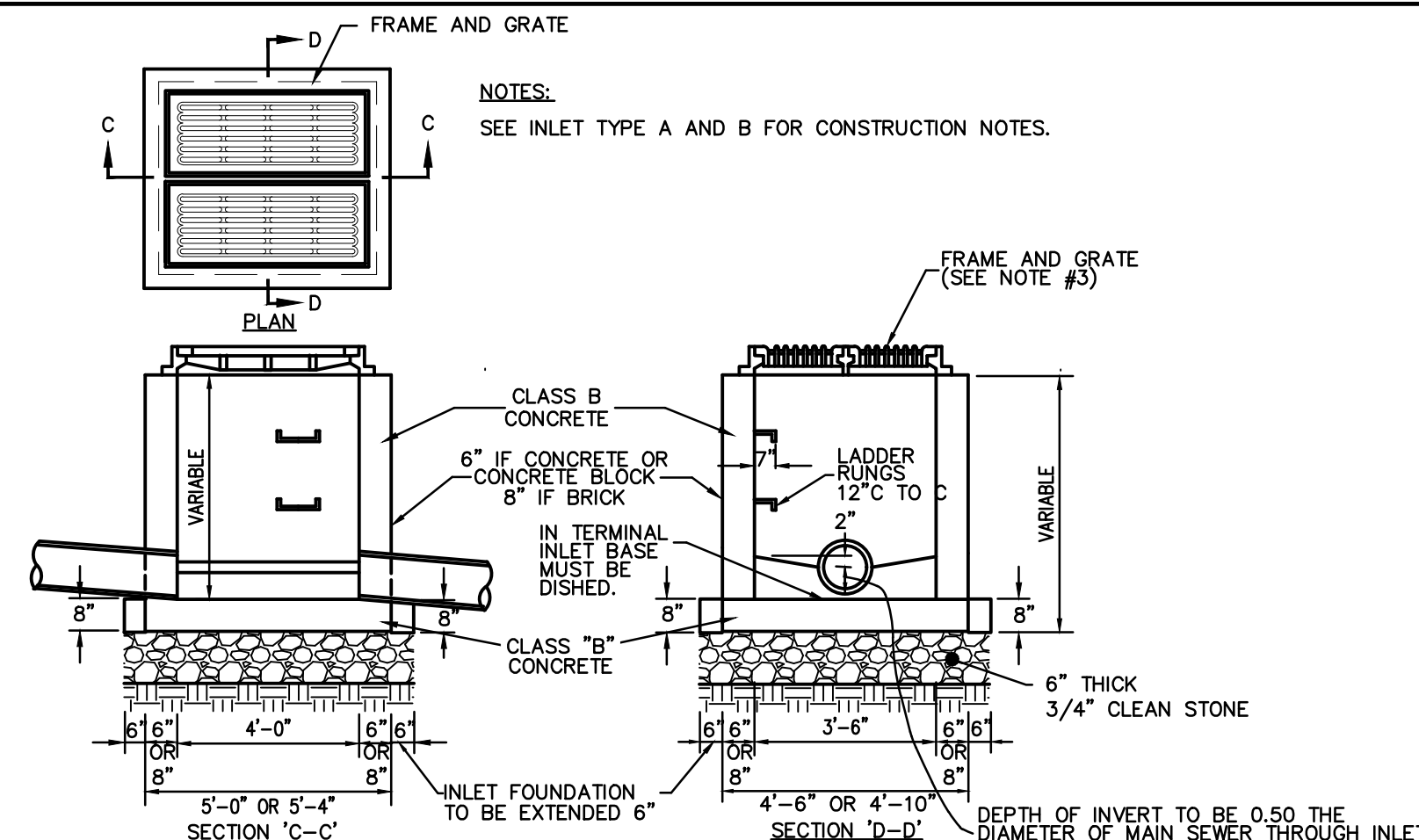
TRENCH NOTES



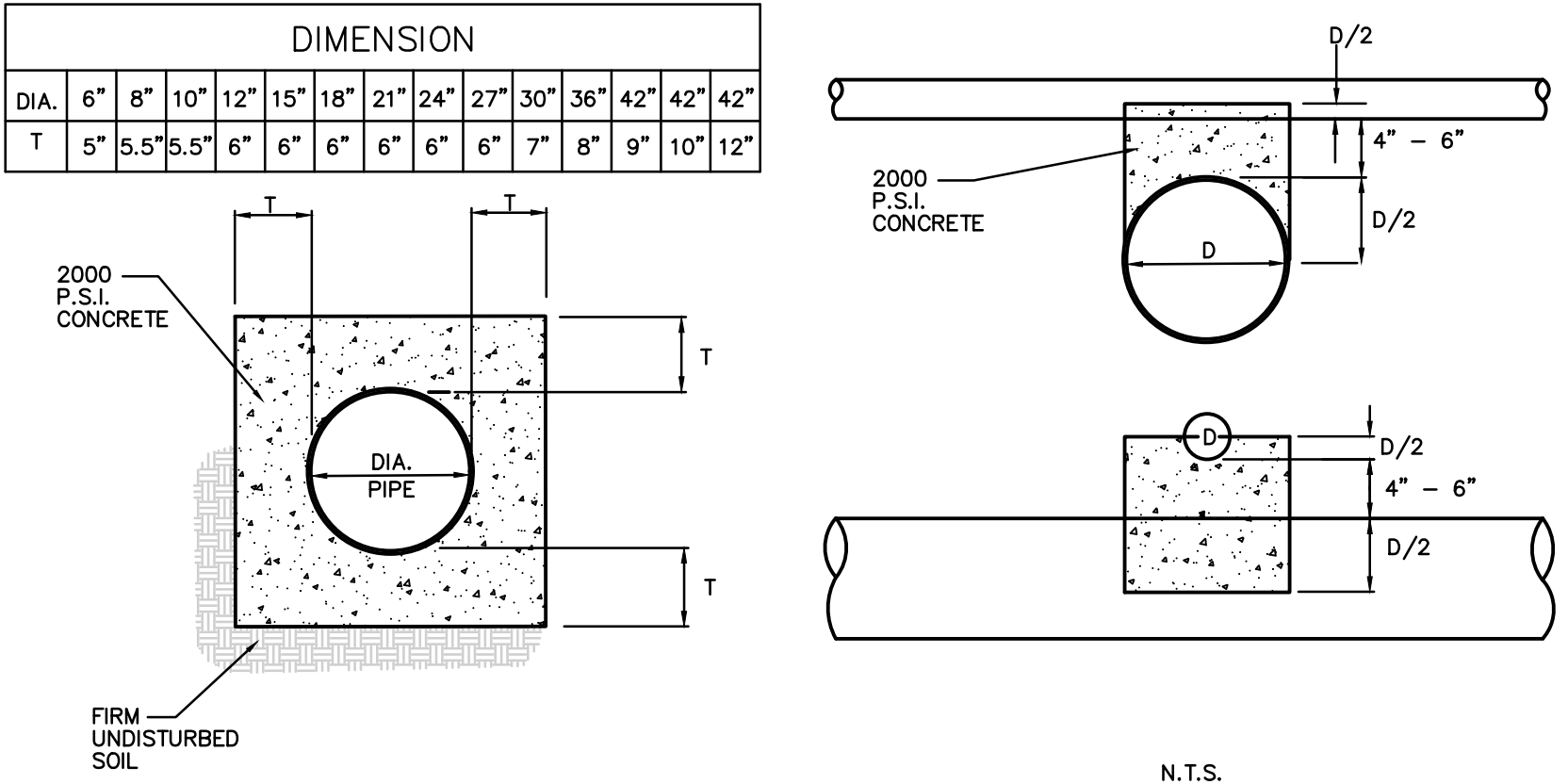
TYPICAL STORM LINE TRENCH



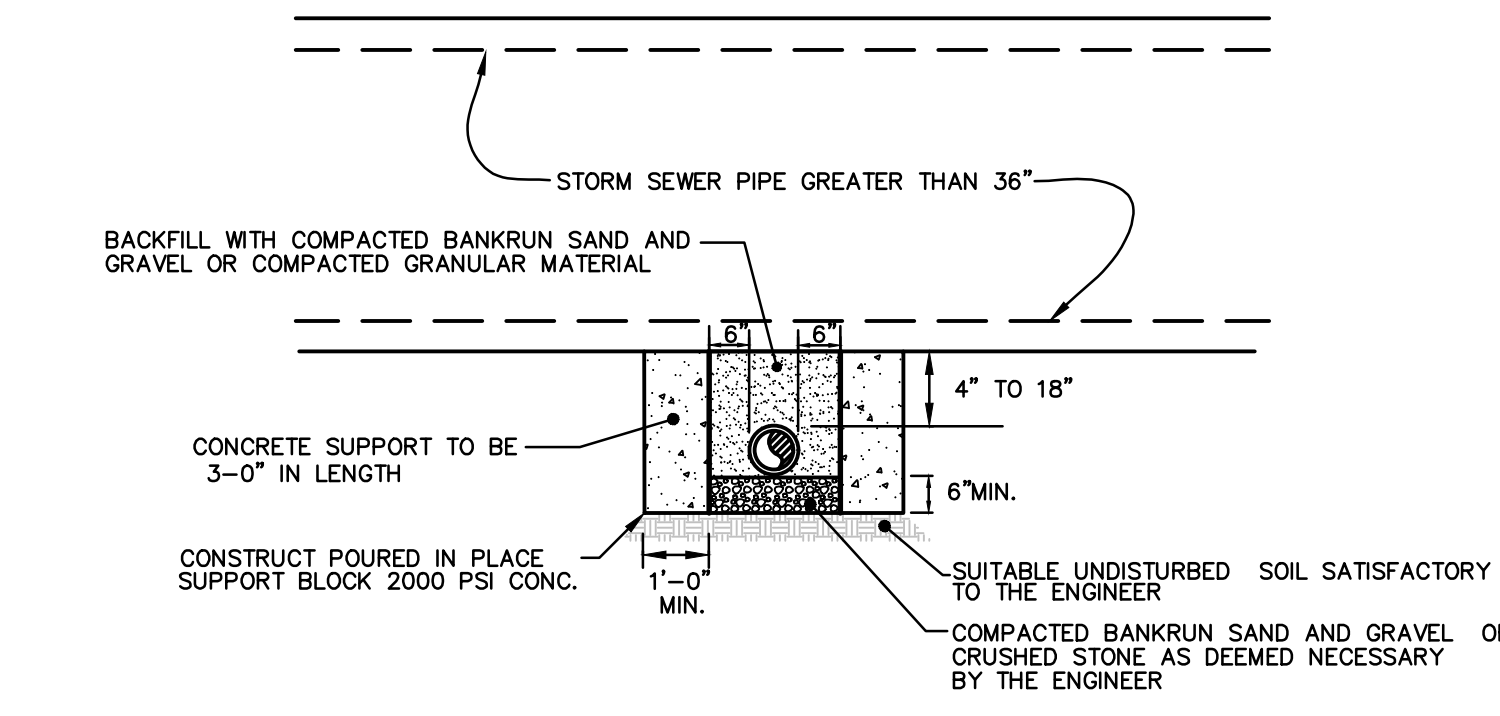
INLET TYPE 'B'
N.T.S.



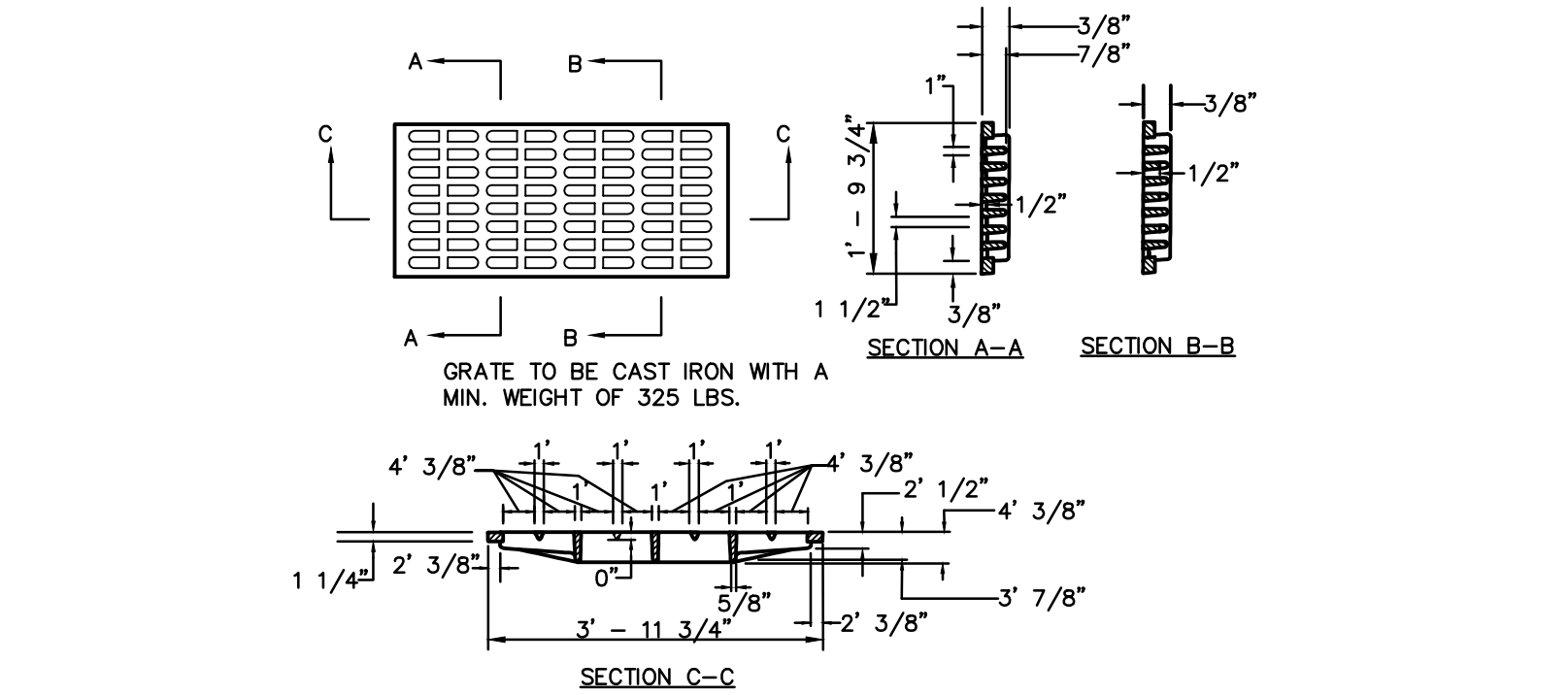
TYPE 'E' INLET
N.T.S.



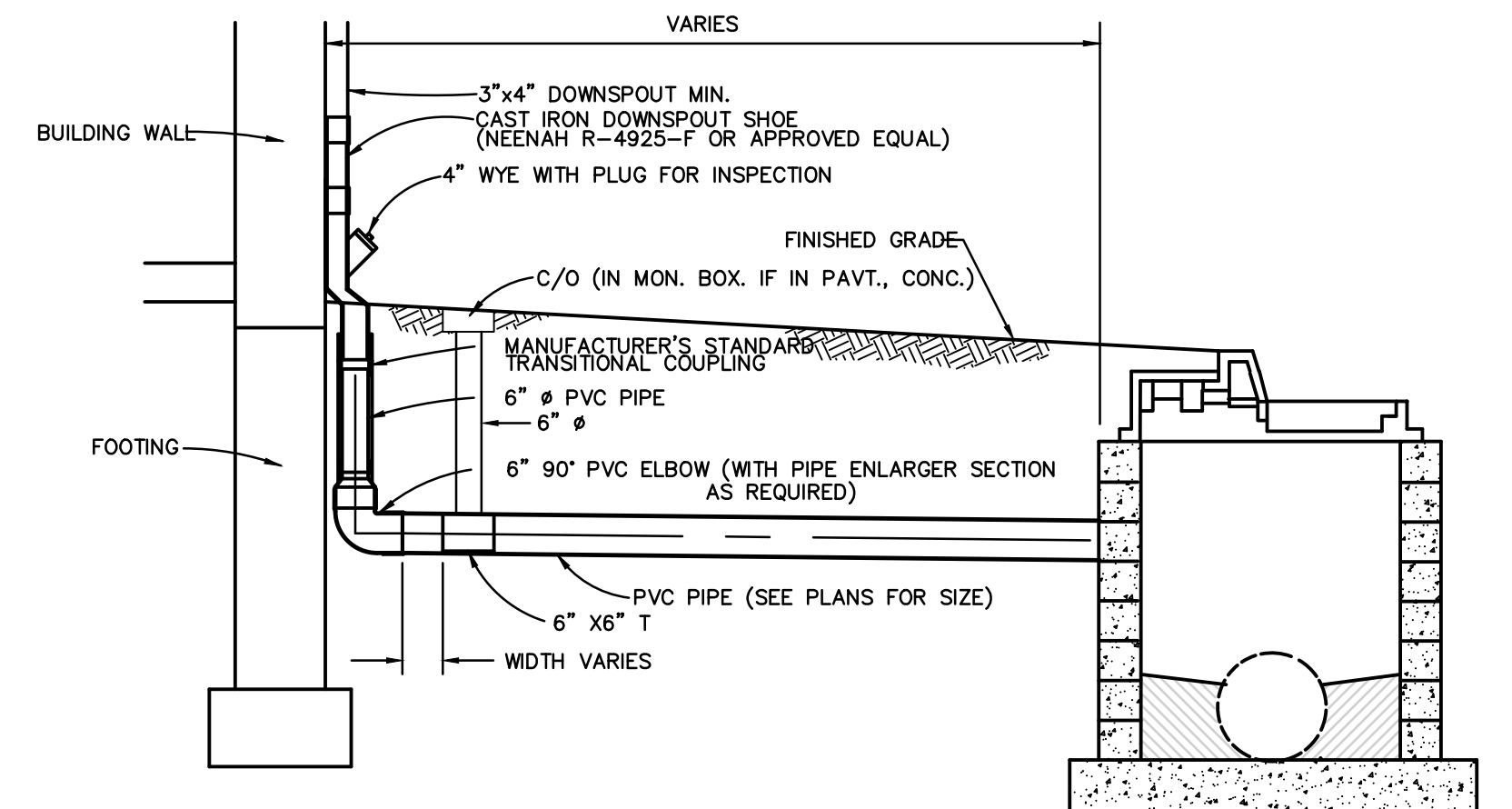
CONCRETE ENCASEMENT + CRADLE
N.T.S.



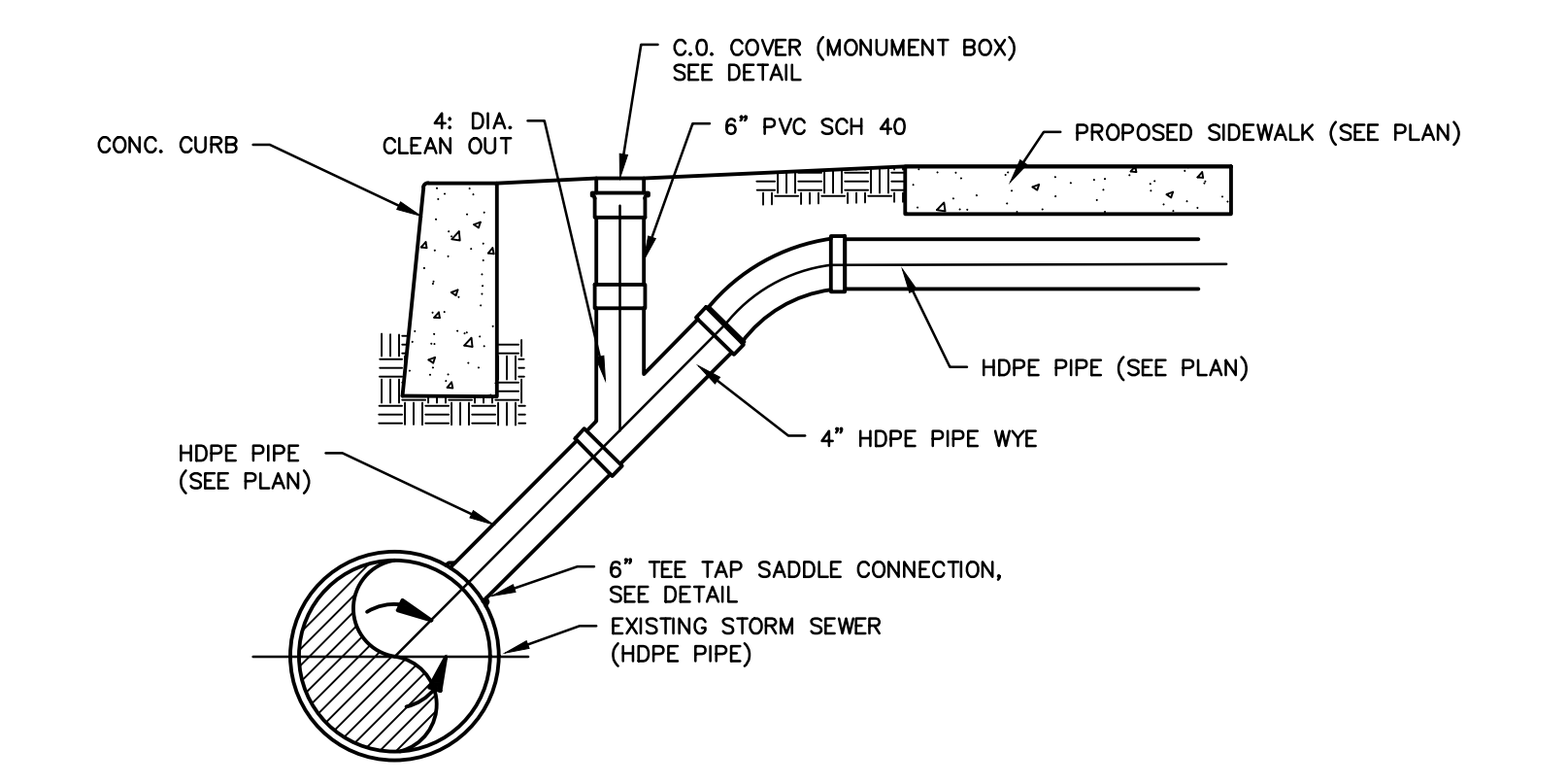
CONCRETE SUPPORT BLOCK DETAIL: PIPE/UTILITY CROSSING
N.T.S.



BICYCLE SAFE GRATE
N.T.S.



TYPICAL ROOF DRAIN TIE-IN DETAIL
N.T.S.



DRAIN CONNECTION TO EXISTING STORM SEWER

- GENERAL NOTES**
- INLETS MAY BE CONSTRUCTED OF BRICK, CONCRETE, CONCRETE BLOCK OR PRECAST CONCRETE. WALLS SHALL BE 8 INCHES THICK IF BRICK AND 6 INCHES THICK IF CONCRETE, CONCRETE BLOCK OR PRECAST CONCRETE. INLET FOUNDATIONS AND INVERTS SHALL BE CLASS B CONCRETE.
 - CORRELLING OF INLET WALLS WILL BE PERMITTED AT THE RATE OF 1/8 INCH PER 8 INCHES OF HEIGHT; MAXIMUM CORBEL 6 INCHES PER WALL.
 - EXCEPT FOR INLETS TYPE A AND C, FOUNDATIONS AND INVERTS SHALL BE CONSTRUCTED IN TWO STAGES AND THE BOTTOM OF THE FOOTINGS SHALL BE 8 INCHES BELOW THE OUTER WALL OF THE LOWEST PIPE IN THE INLET.
 - WHEN THE DEPTH OF AN INLET THAT IS NOT PRECAST EXCEEDS 10 FEET AS MEASURED FROM TOP OF GRATE TO INVERT, WALLS BELOW A DEPTH OF 8 FEET SHALL BE 12 INCHES THICK AND THE DEPTH OF FOUNDATION INCREASED TO 12 INCHES. WHEN ROCK IS ENCOUNTERED THE DEPTH OF THE FOUNDATION SHALL NOT BE INCREASED.
 - INLET FOUNDATIONS WHICH ARE PRECAST SHALL BE PLACED ON A 6 INCH THICK BED OF COMPACTED COARSE AGGREGATE #57. THE COARSE AGGREGATE SHALL EXTEND 6 INCHES BEYOND THE HORIZONTAL LIMITS OF THE INLET FOUNDATION.
 - CASTINGS FOR PRECAST INLETS SHALL BE ADJUSTED TO GRADE WITH COURSES OF BRICK, AS REQUIRED, 12 INCHES MAXIMUM.
 - WHEN THE DEPTH OF A PRECAST INLET EXCEEDS 10 FEET AS MEASURED FROM TOP OF GRATE TO INVERT, THE FOUNDATION SHALL BE INCREASED TO 12 INCHES. WHEN ROCK IS ENCOUNTERED, THE DEPTH OF THE FOUNDATION SHALL NOT BE INCREASED.
 - MINIMUM WALL REINFORCEMENT FOR PRECAST INLETS TYPES A, B, C, E, D-1, D-2, AND B MODIFIED:
- | DEPTH BELOW TOP OF GRATE | HORIZONTAL REINF. | VERTICAL REINF. | WALL THK. |
|--------------------------|-------------------|-----------------|-----------|
| 0' TO 10'-0" | #13 @ 10" C.C. | #13 @ 18" C.C. | 6" |
| 10'-1" TO 15'-0" | #13 @ 8" C.C. | #13 @ 18" C.C. | 6" |
| 15'-1" TO 20'-0" | #13 @ 6" C.C. | #13 @ 18" C.C. | 6" |
- REINFORCING SHOWN FOR PRECAST INLETS IS THE MINIMUM REQUIRED, ADDITIONAL REINFORCING FOR HANDLING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALTERNATE REINFORCEMENT**
- | DEPTH BELOW TOP OF GRATE | REINFORCEMENT |
|--------------------------|--|
| 0' TO 10'-0" | W/F 3 x 6 W/ES SPACED AT 3" TO RUN HORIZONTAL IN ALL CASES. |
| 10'-1" TO 15'-0" | W/F 3 x 6 W/ES #10 REINFORCEMENT STEEL @ 18" HORIZONTAL |
| 15'-1" TO 20'-0" | W/F 3 x 6 W/ES ADD #10 REINFORCEMENT STEEL @ 9" HORIZONTAL OR ADD #13 REINFORCEMENT STEEL AT 15" HORIZONTAL. |

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no.	date	description



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Jeffrey D. Reynolds, P.L.A.

FINAL SITE PLAN

BLOCK 141 LOT 36.01
NORTH BRUNSWICK TOWNSHIP
MIDDLESEX COUNTY, NEW JERSEY

STORM SEWER DETAILS

job number: 21-042-4
drawing number: 11
scale: 1"=10'
checked by: FMA/AC
drawn by: AR
date: 01/30/24
sheet 11 of 16

PLANTING NOTES:

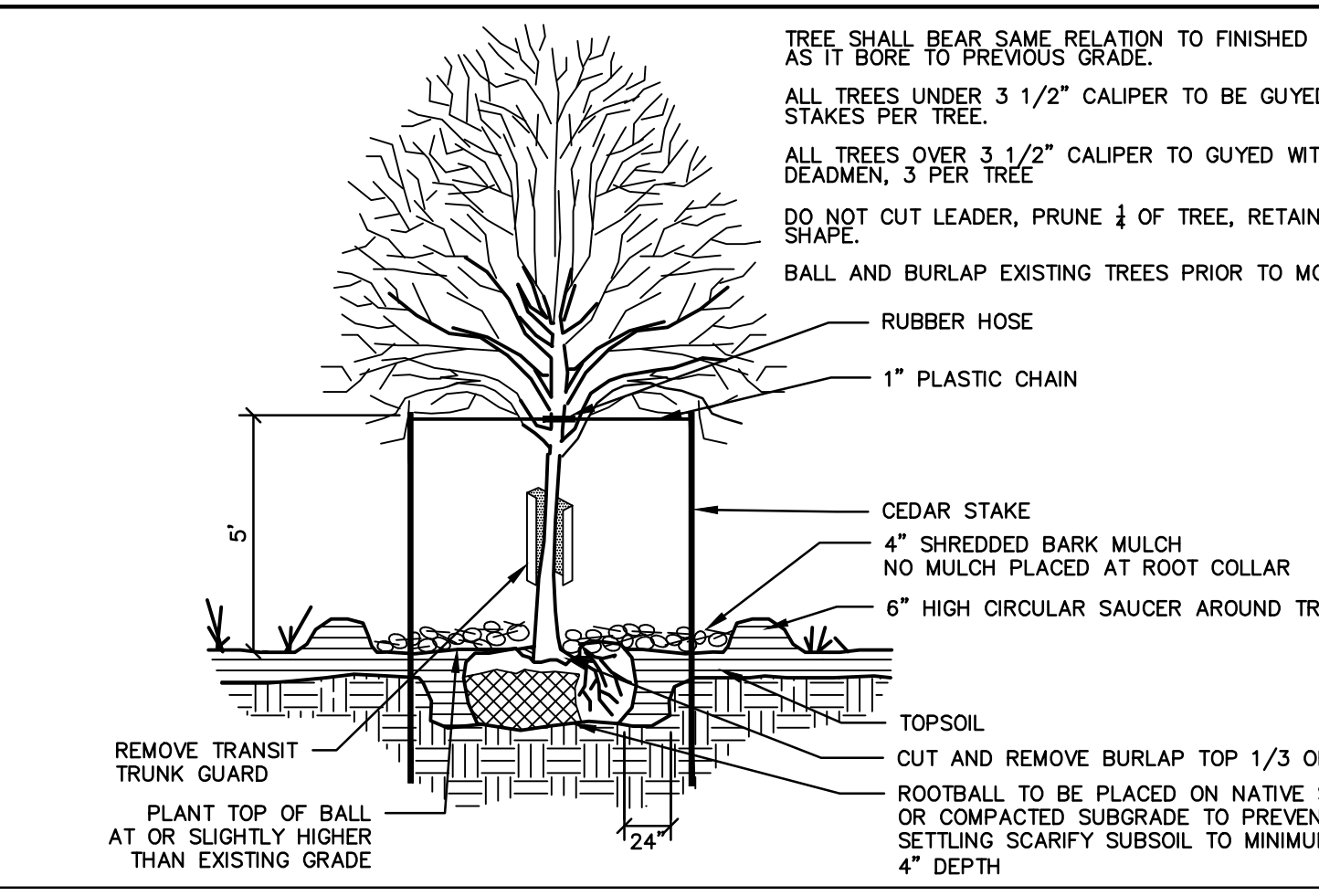
- ALL PLANT MATERIAL TO BE FIRST QUALITY, NURSERY GROWN STOCK, FREE FROM DISEASE OR OBJECTIONABLE DISFIGUREMENTS. QUALITY AND SIZE OF PLANTS, INCLUDING ROOT SIZE SHALL BE IN ACCORDANCE WITH "AMERICAN STANDARDS FOR NURSERY STOCK" ANSI Z60.1 (MOST RECENT ADDITION) AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- CONTRACTOR TO VERIFY ALL PLANT DISCREPANCIES INCLUDING PLANT QUANTITIES BETWEEN PLANT LIST AND PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING QUANTITY WHICH IS GREATER.
- NO SUBSTITUTES SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL OF THE TOWNSHIP LANDSCAPE ARCHITECT AND ENGINEER.
- ALL PROPOSED PLANT MATERIAL SHALL BE BALLED AND BURLAPPED UNLESS NOTED OTHERWISE ON PLANTING SCHEDULE.
- ALL INSTALLED PLANT MATERIALS SHALL BEAR THE SAME RELATION TO GRADE WHEN INSTALLED ON SITE AS EXISTED IN NURSERY PRIOR TO DIGGING.
- HOLE FOR PLANT MATERIALS (B&B) SHALL BE DUG A MINIMUM OF TWICE THE BALL DIAMETER. ALL PLANTS SHALL BE LOCATED IN THE CENTER OF THEIR RESPECTIVE PITS.
- B&B PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOT BALL ONLY. PLANTS WITH BROKEN, SUIT OR DAMAGED ROOT BALLS SHALL BE REJECTED.
- PLANTS SHALL NOT BE BOUND AT ANY TIME WITH WIRE OR ROPE AS TO DAMAGE THE BARK AND BRANCHES.
- PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE THE CONTRACTOR WILL PROTECT THE STOCK THAT IS NOT PLANTED AND KEEP WELL WATERED. PLANTS SHALL NOT REMAIN UNPLANTED FOR MORE THAN A THREE DAY PERIOD AFTER BEING DELIVERED.
- ALL STAKING AND GUYING WIRES SHALL BE FLAGGED WITH A BRIGHT REFLECTIVE MATERIAL TO WARN PEDESTRIANS.
- TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION AND ALL LOCATIONS SHOWN AS LAWN AREAS ON PLAN.
- ALL PLANTS SHALL BE PLANTED IN AN APPROVED BACKFILL MIXTURE THAT IS THOROUGHLY WATERED AND TAMPED AS BACKFILLING PROGRESSES. ONLY SUITABLE TOPSOIL, FREE OF DRY SOD, STIFF CLAY, LITTER ETC., SHALL BE USED FOR PLANTING.
- ALL SHRUB BEDS AND TREE SAUCERS TO BE MULCHED AS DETAILED.
- THE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF ANY OF THE PROPOSED PLANTING MATERIAL.
- PROVIDE SNOW/TREE PROTECTION FENCING AS REQUIRED AROUND EXISTING TREES TO BE SAVED.
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL (NOT INCLUDING LAWN) FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE.
- AFTER THE PLANTING CONTRACTOR HAS COMPLETED THE TERMS OF HIS CONTRACT, THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PROPOSED PLANTINGS BY PROVIDING THE CORRECT METHODS OF WEEDING, SPRAYING, WATERING, PRUNING AND FERTILIZING ACCORDING TO GOOD HORTICULTURAL PRACTICE.
- ALL TREES TO BE BRANCHED 7' HIGH.

ADDITIONAL PLANTING NOTES:

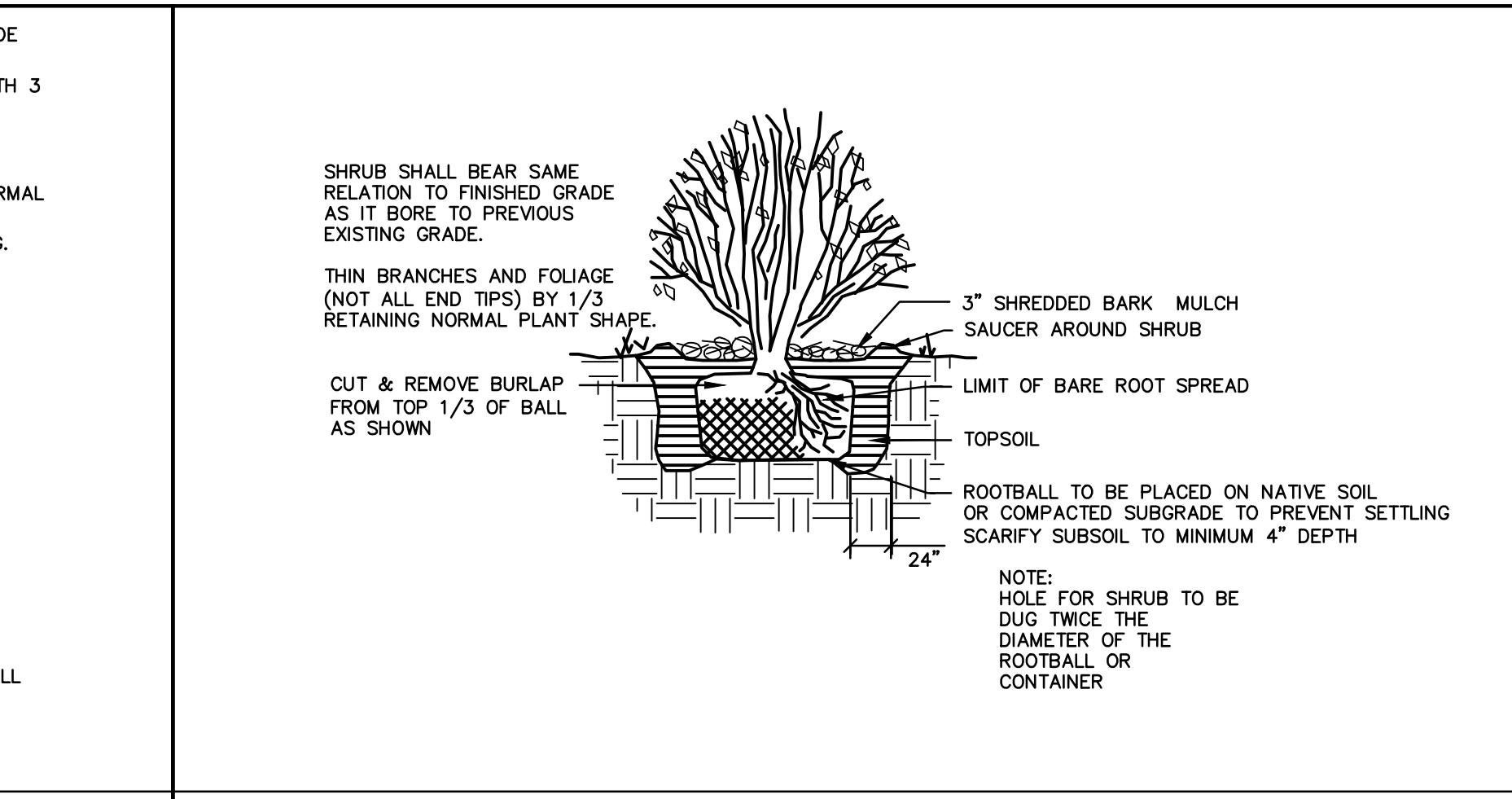
- AFTER CONSTRUCTION, IT MAY BE ADVISABLE TO SEED OR PLANT CERTAIN AREAS WITH NON-WOODY HERBACEOUS PLANT MATERIALS (E.G. WILDLOWERS, FERNS, TALL GRASSES, ETC.). THIS APPROACH MAY BE USEFUL ON STEEP SLOPES, EDGES FOR EXISTING WOODED AREAS, WHERE THE UNDERSTORY HAS BEEN DISTURBED AND IN AREAS WHERE MOWING IS NOT PRACTICAL OR NECESSARY. SELECTION OF APPROPRIATE PLANTS SHALL BE DETERMINED AFTER COMPLETION OF GRADING AND CONSTRUCTION. POST CONSTRUCTION CONDITIONS WILL DICTATE WHICH HERBACEOUS PLANTS ARE MOST SUITABLE.
- PRUNING NOTES:
 - IT IS RECOMMENDED THAT AN ANNUAL PRUNING PROGRAM BE BUDGETED AND SCHEDULED ON A CONTINUOUS BASIS.
 - ALL TREES AND SHRUBS PLANTED NEAR SIGHT TRIANGLES, DRIVEWAYS, PARKING AREAS AND SIDEWALKS SHALL BE MAINTAINED AS FOLLOWS: ALL BRANCHES EXTENDING INTO LINE OF SIGHT OR INTERFERING WITH VEHICULAR OR PEDESTRIAN ACCESS SHALL BE REMOVED TO AN ACCEPTABLE HEIGHT.
 - REMOVAL OF DEAD LIMBS AND BRANCHES AND PRUNING FOR THE GENERAL HEALTH AND APPEARANCE OF ALL PLANT MATERIAL IS RECOMMENDED.
 - SOUND PRUNING PRACTICES SHALL BE OBSERVED IN MAINTENANCE OF ALL PLANT MATERIALS.
- EXISTING TREES AND SHRUBS IN AREAS TO BE CLEARED FOR CONSTRUCTION MAY ALSO BE SUBSTITUTED FOR PROPOSED PLANT MATERIAL PROVIDED THEY HAVE EQUIVALENT SIZE AND CHARACTER. IT IS RECOMMENDED THAT AN EXPERIENCED CONTRACTOR USE A TREE DIGGING MACHINE TO REMOVE AND TRANSPLANT SUCH PLANT MATERIAL.
 - IF TRANSPLANTED TREES ARE NOT ABLE TO BE TRANSPLANTED, REPLACEMENT TREES OF LIKE KIND WILL BE PROVIDED.
 - CONTRACTOR TO MARK NORTH SIDE OF TREE PRIOR TO DIGGING AND TRANSPLANT WITH SAME ORIENTATION.
 - CONTRACTOR TO ENSURE THAT THE ROOT MASS OF ALL TRANSPLANTS ARE IN TACT.
 - THE ROOT BALL OF ALL TREES SHALL BE BALLED AND BURLAPPED UPON REMOVAL FROM PRESENT LOCATION.
 - CONTRACTOR TO STOCKPILE AND PROTECT ALL TRANSPLANT MATERIAL UNTIL IT IS TIME TO REPLANT.
 - PLANTS SHALL BE MAINTAINED BY WATERING, FERTILIZING, PRUNING AND ANY OTHER METHODS TO KEEP PLANTS IN HEALTHY CONDITION.
 - ALL TRANSPLANTS ARE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM FINAL COMPLETION. ANY PLANTS THAT DIE DURING THAT PERIOD WILL BE REPLACED TO THE CORRECT SIZE AND SPECIES AT THE CONTRACTOR'S EXPENSE.

LANDSCAPE MAINTENANCE NOTES:

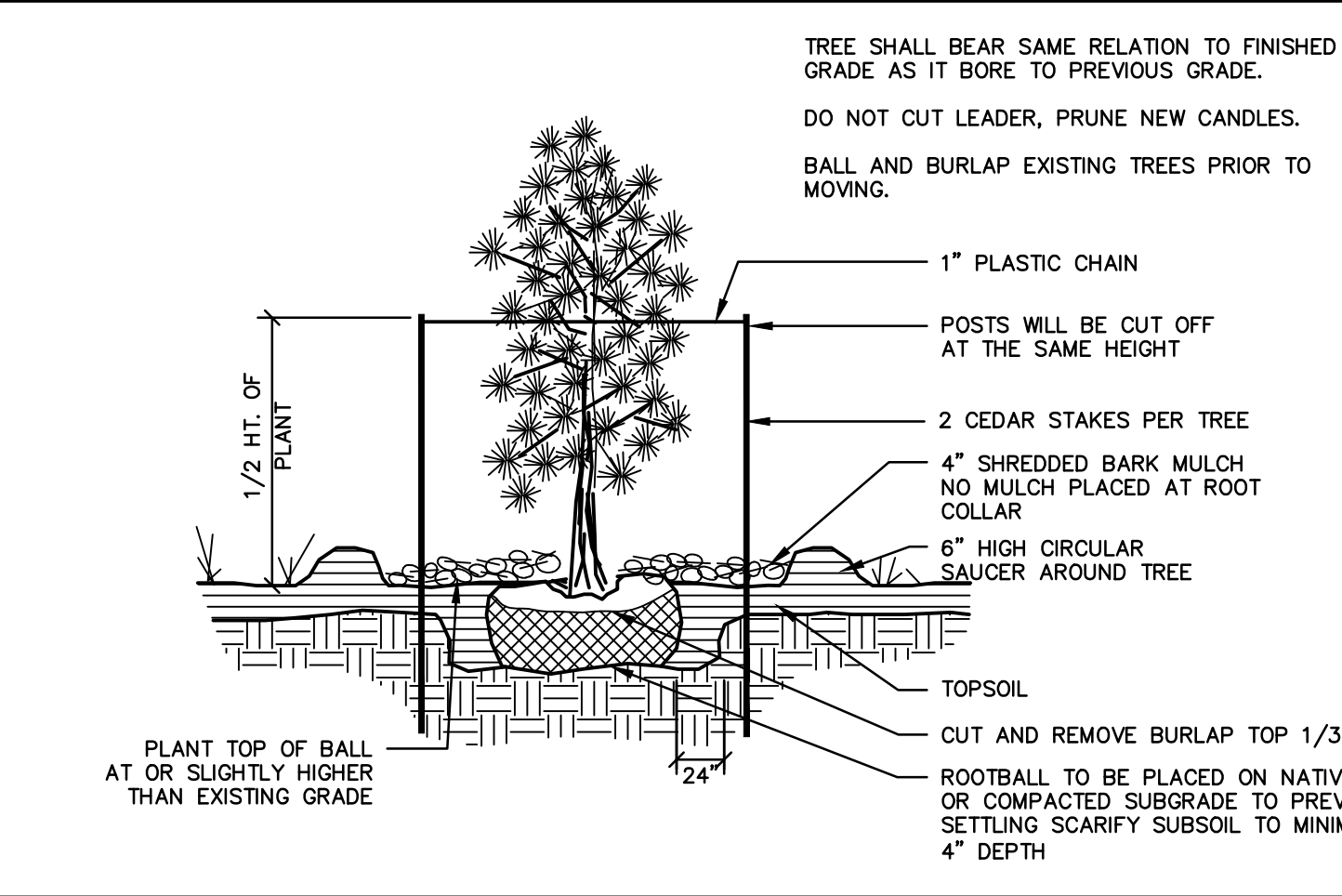
- LAWN AREAS: ALL LAWNS SHALL BE MAINTAINED AT A MOWN HEIGHT OF 2.5-3 INCHES. THE CUT SHALL NOT REMOVE MORE THAN 1/3 OF THE BLADE HEIGHT THEREFORE LAWN SHALL BE MOWED WHEN IT ACHIEVES A HEIGHT OF 3.5-4 INCHES.
 - MOWING: USING CLEAN WELL SERVICED EQUIPMENT, MOW, TRIM, AND EDGE ALL FINE LAWN AREAS AS NEEDED; REMOVE ALL EXCESS CLIPPINGS.
 - EDGING: TURF ALONG ALL PLAYING SURFACES (OTHER THAN TURF), FENCE LINES, AND ANY OTHER PERMANENT OBJECTS IS TO BE CUT WITH A MECHANICAL EDGER TO PRODUCE A WELL DEFINED EDGE. ALL DEBRIS FROM THIS OPERATION IS TO BE REMOVED.
 - AERATION/AERATE LAWNS ON A YEARLY BASIS OR AS NEEDED TO PREVENT COMPACTION. ACCEPTABLE METHODS INCLUDE SPOON OR CORE PROCESSES. KNIFE TYPE METHODS ARE NOT RECOMMENDED.
 - LEAVES AND OTHER DEBRIS SHALL BE REMOVED FROM ALL LAWNS AS NECESSARY IN THE AUTUMN AND SPRING.
 - IRRIGATION: ALL TURF SHOULD MAINTAIN A MOIST SOIL DEPTH TO AT LEAST FOUR INCHES THROUGH AUTOMATIC SYSTEMS IF POSSIBLE. PRECAUTIONS SHOULD BE TAKEN TO AVOID WILTING AND DRYING OF THE TURF.
- FERTILIZATION: ALL FERTILIZER SHOULD BE INSPECTED BEFORE APPLICATION FOR REVIEW ON CONTENT AND APPLICATION.
 - ALL LAWNS SHOULD BE FERTILIZED WITH THREE APPLICATIONS A YEAR, EARLY SPRING, LATE SPRING, AND EARLY FALL. GREAT CARE SHOULD BE TAKEN IN REGARDS TO HEAT AND MOISTURE TO AVOID BURNING OR DAMAGING TURF. ALL APPLICATIONS SHOULD BE MADE WITH TWO PASSES IN DIFFERING DIRECTIONS TO AVOID STREAKING. FERTILIZER SHOULD BE A 13-13-13 WITH A 50% SLOW RELEASE. APPLICATION RATE OF ONE POUND NITROGEN PER THOUSAND SQUARE FEET.
 - BROADLEAF WEED CONTROL: APPLICATION OF BROADLEAF WEED CONTROL SUCH AS TRIMEC OR SIMILAR PRODUCT TO ALL MAINTAINED TURF APPLICATIONS TO BE MADE IN MID SPRING AND EARLY FALL. GREAT CARE SHOULD BE TAKEN IN REGARDS TO HEAT AND MOISTURE AT TIME OF APPLICATION TO AVOID TURF.
 - CRABGRASS CONTROL: APPLY PRE-EMERGENT CRABGRASS CONTROL SUCH AS TEAM, BALAN, OR OTHER LIKE MATERIAL WITH TWO APPLICATIONS IN THE SPRING.
 - LIMING: MAINTAIN A PH OF 6.5 ON ALL PLAYING TURF WITH APPLICATIONS OF PULVERIZED LIME AT RATES AND FREQUENCIES AS NEEDED.
 - INSECT CONTROL: APPLY DURSBAN, OR EQUAL, IN MID-JUNE FOR CHINCH BUG AND SOD WEBWORM CONTROL. APPLY OBTANOL, OR EQUAL, IN LATE AUGUST OR EARLY SEPTEMBER FOR GRUB CONTROL. APPLY FUNGICIDES AND INSECTICIDES AS NECESSARY TO MAINTAIN TURF CONDITIONING.
- TREE, SHRUB AND GROUNDCOVER BED AREAS: BED AREAS ARE COVERED AREAS SPECIFICALLY PREPARED FOR TREE, SHRUB AND NON-TURF GROUNDCOVER. BED AREAS ARE EITHER COVERED BY MULCH OR OTHER LIKE DECORATIVE MATERIAL. THESE AREAS TO BE MAINTAINED IN A WEED FREE AND WELL KEPT CONDITION.
 - BED WEED CONTROL: APPLY PRE-EMERGENT WEED CONTROL SUCH AS RONSTAR G, SURFLAN, OR SIMILAR PRODUCT. TWO (2) APPLICATIONS PER YEAR.
 - EDGE ALL BEDS, TREE RINGS, REMOVE ALL WEEDS, CLEAR EXISTING PLANTS OF DEBRIS AND DEAD MATERIAL.
 - PLANTING BED MULCH SHALL BE REPLENISHED AS NECESSARY TO MAINTAIN A 1 TO 3 INCH DEPTH OF MULCH UNLESS THE GROUNDCOVER OR PLANTING HAS COMPLETELY COVERED THE BED, PRECLUDING THE NEED FOR MULCH.
 - ALL PLANTS AND LAWN AREAS SHALL BE IRRIGATED OR WATERED AS NECESSARY TO MAINTAIN VIGOROUS AND HEALTHY GROWTH.
 - HERBICIDES AND PESTICIDES SHALL BE APPLIED ONLY AS NECESSARY TO TREAT SPECIFIC PROBLEMS AS THEY ARE OBSERVED. ALL TREATMENTS SHALL BE PERFORMED BY TRAINED AND LICENSED PERSONNEL IN ACCORDANCE WITH ALL REGULATIONS.
 - PERENNIAL VEGETATION SHALL BE REMOVED AS APPROPRIATE IN THE FALL AND ORNAMENTAL GRASSES SHALL BE CUT IN THE SPRING TO PROMOTE PROPER GROWTH AND A NEAT AND CLEAN APPEARANCE, BUT NOT TO DIMINISH THEIR WINTER INTEREST.
 - PLANTINGS WHICH ARE NOT GROWING IN A VIGOROUS MANNER AND ANY DEAD PLANTS SHALL BE REPLACED AS NECESSARY TO ACHIEVE THE INTENDED DESIGN DURING THE NEXT SPRING OR FALL PLANTING SEASON.
- GENERAL SITE CLEAN UP: TO BE PERFORMED ON A TWICE YEARLY BASIS, EARLY SPRING AND LATE FALL. WORK LIMITED TO NATURAL PRODUCTION OF DEBRIS AND DOES NOT COVER DUMPING OR MUNICIPAL WASTE.
 - SPRING CLEAN UP: GENERAL CLEAN UP OF ENTIRE GROUNDS. EDGE ALL BEDS, REMOVE ALL WEEDS AND REMOVE WINTER KILL.
 - FALL CLEAN UP: WHEN VIRTUALLY ALL LEAVES HAVE FALLEN ALL LAWNS, BEDS, STREETS AND PARKING AREAS WILL BE CLEARED OF LEAVES, BROKEN BRANCHES, LITTER AND OTHER ASSORTED DEBRIS.
- TRIMMING AND PRUNING: TRIMMING WILL REFER TO ALL ORNAMENTAL TREES, SHRUBS AND GROUNDCOVER. TRIMMING SHALL CONSIST OF REMOVAL OF EXCESSIVE SEASONAL GROWTH TO ALL HEDGE ROWS OR SHEARED MATERIAL PLANTED ON-SITE. PRUNING SHALL CONSIST OF REMOVAL OF WINTER KILL, REMOVAL OF DEAD BRANCHES, REMOVAL OF EXCESSIVE SUCKERING GROWTH FROM BASE OF TREES, AND DISEASED OR DAMAGED WOOD.
 - IT IS RECOMMENDED THAT EXISTING TREES REMAINING ON SITE AFTER CONSTRUCTION BE PRUNED, ESPECIALLY IN CASES WHERE ROOT SYSTEMS HAVE BEEN DISTURBED (I.E. CUT OR COMPACTED BY HEAVY EQUIPMENT).
 - ALL PLANTS SHALL BE PERIODICALLY PRUNED FREE OF DEAD, DAMAGED OR DISEASED BRANCHES TO MAINTAIN VIGOR OF THE PLANT AND MAINTAIN A SAFE CONDITION. PRUNING SHALL MAINTAIN THE NATURAL FORM OR HABIT OF THE PLANT. FLOWERING SHRUBS AND TREES SHOULD BE PRUNED AFTER FLOWERING TO LIMIT IMPACT UPON FOLLOWING SEASON FLOWER BUDS UNLESS SAFETY CONCERNS WARRANT IMMEDIATE PRUNING. HEDGES SHALL BE SHEARED TO A TRAPEZOIDAL FORM TO PREVENT SHADING OF LOWER BRANCHES.
 - IT IS RECOMMENDED THAT AN ANNUAL PRUNING PROGRAM BE BUDGETED AND SCHEDULED ON A CONTINUOUS BASIS.
 - ALL TREES AND SHRUBS PLANTED NEAR SIGHT TRIANGLES, DRIVEWAYS, PARKING AREAS AND SIDEWALKS SHALL BE MAINTAINED AS FOLLOWS: ALL BRANCHES EXTENDING INTO LINE OF SIGHT OR INTERFERING WITH VEHICULAR OR PEDESTRIAN ACCESS SHALL BE REMOVED TO AN ACCEPTABLE HEIGHT.
 - REMOVAL OF DEAD LIMBS AND BRANCHES ALONG WITH EXCESSIVE SUCKERING GROWTH FROM BASE OF PLANTS AND PRUNING FOR THE GENERAL HEALTH AND APPEARANCE OF ALL PLANT MATERIAL IS RECOMMENDED.
 - SOUND PRUNING PRACTICES SHALL BE OBSERVED IN MAINTENANCE OF ALL PLANT MATERIALS.
- DEAD PLANT MATERIAL: FAILED PLANT MATERIAL UP TO TWELVE (12) FEET IN HEIGHT WILL BE REMOVED AT THE BASE AND PLACED AT ON-SITE STORAGE OR AS DIRECTED.
- TREE AND SHRUB SPRAYING: SPRAYING OF ALL TREES AND SHRUBS, AS REQUIRED, TO CONTROL INSECT INFESTATION AND DISEASE.
- TREE AND SHRUB FERTILIZATION: TREES AND SHRUBS WILL BE FERTILIZED IN SPRING AND FALL.
- GENERAL:
 - AT ALL TIMES USE GOVERNMENTAL APPROVED CHEMICALS AND WILL PROVIDE THE OWNER WITH MSDS SHEETS FOR ALL MATERIAL USED ON-SITE.
 - AT ALL TIMES USE LICENSED APPLICATORS AND HAVE ALL PERMITS AND INSURANCE IN ACCORDANCE WITH DEP GUIDELINES AND REQUIREMENTS.



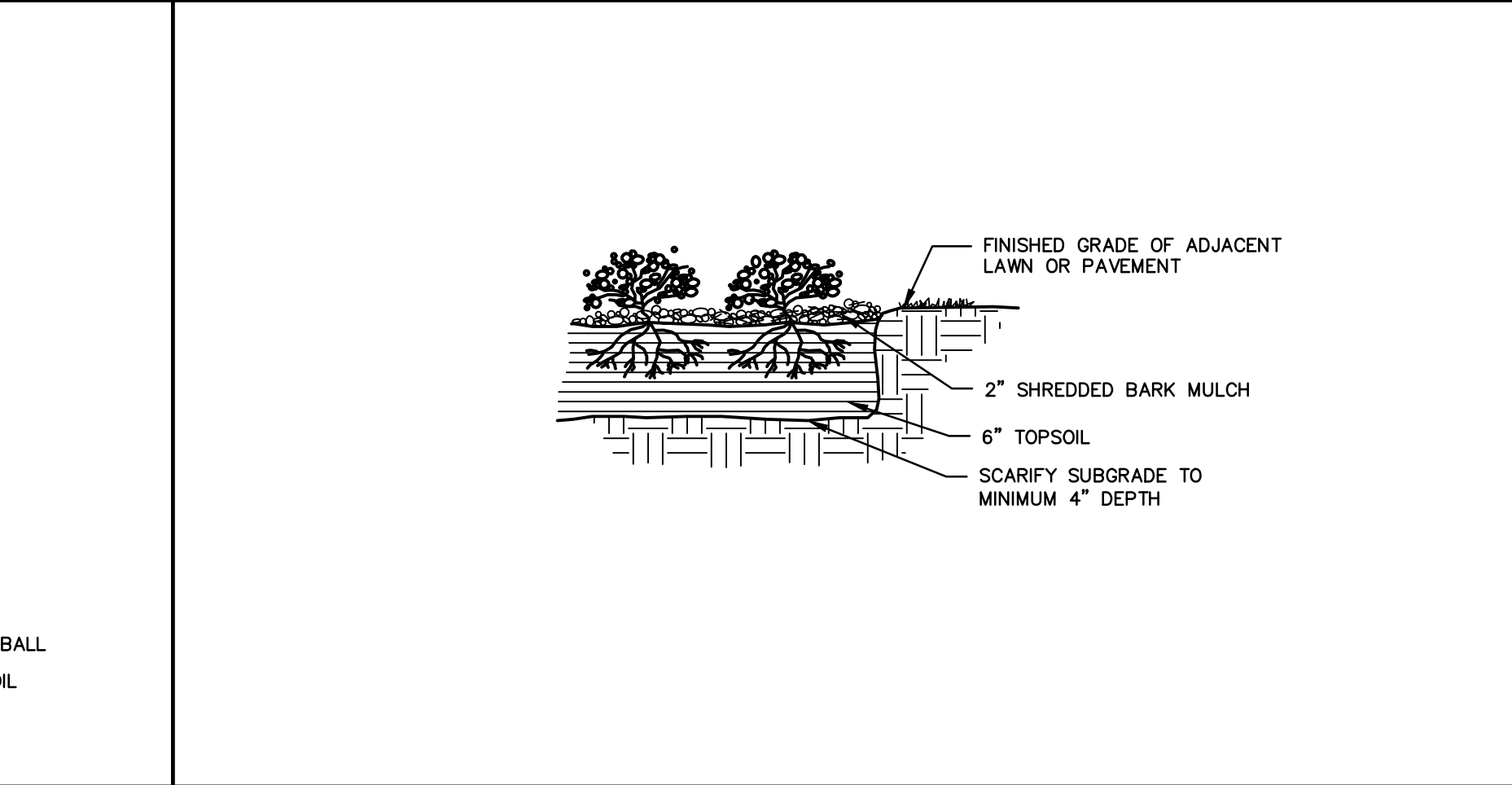
TREE PLANTING



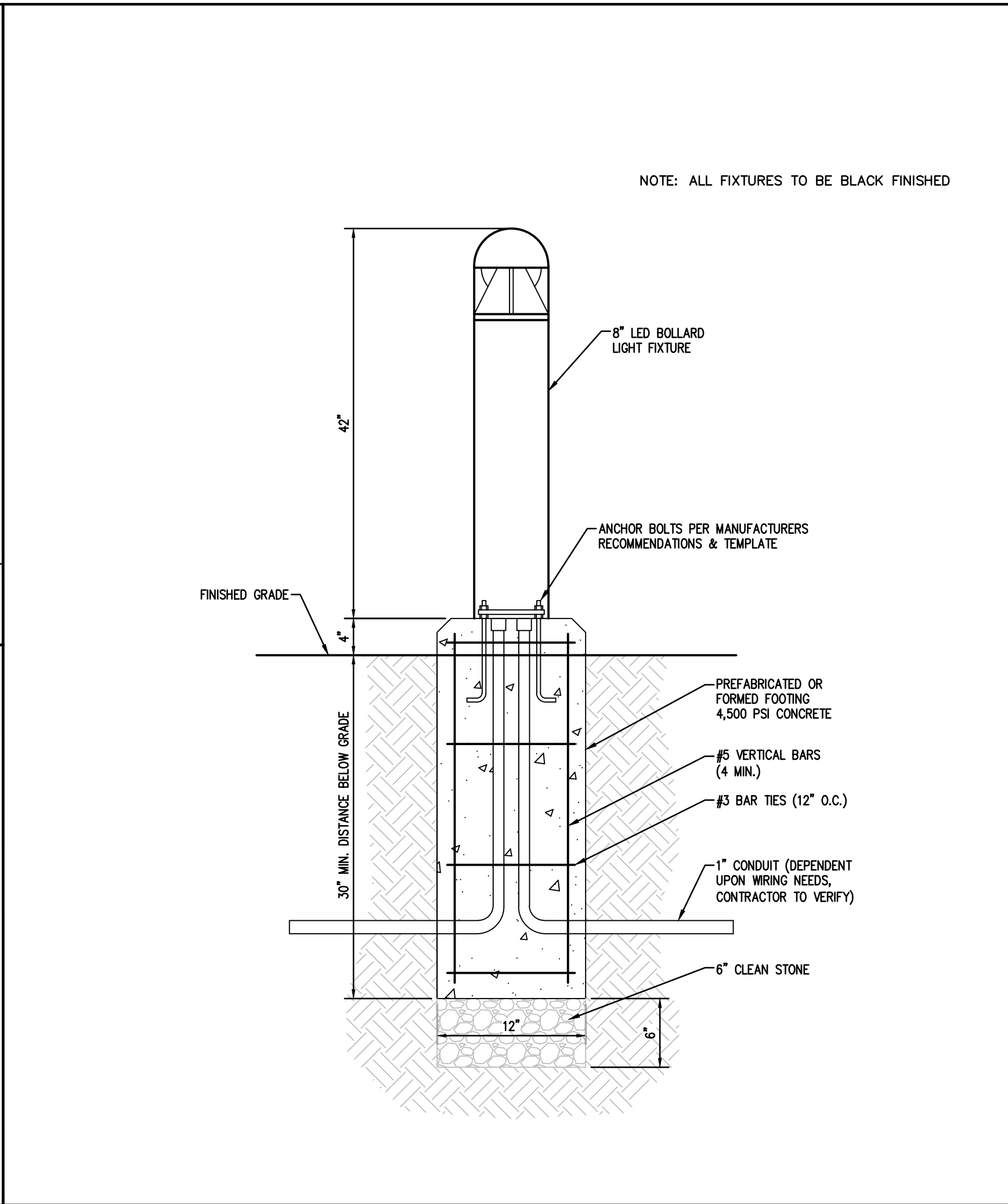
SHRUB PLANTING
N.T.S.



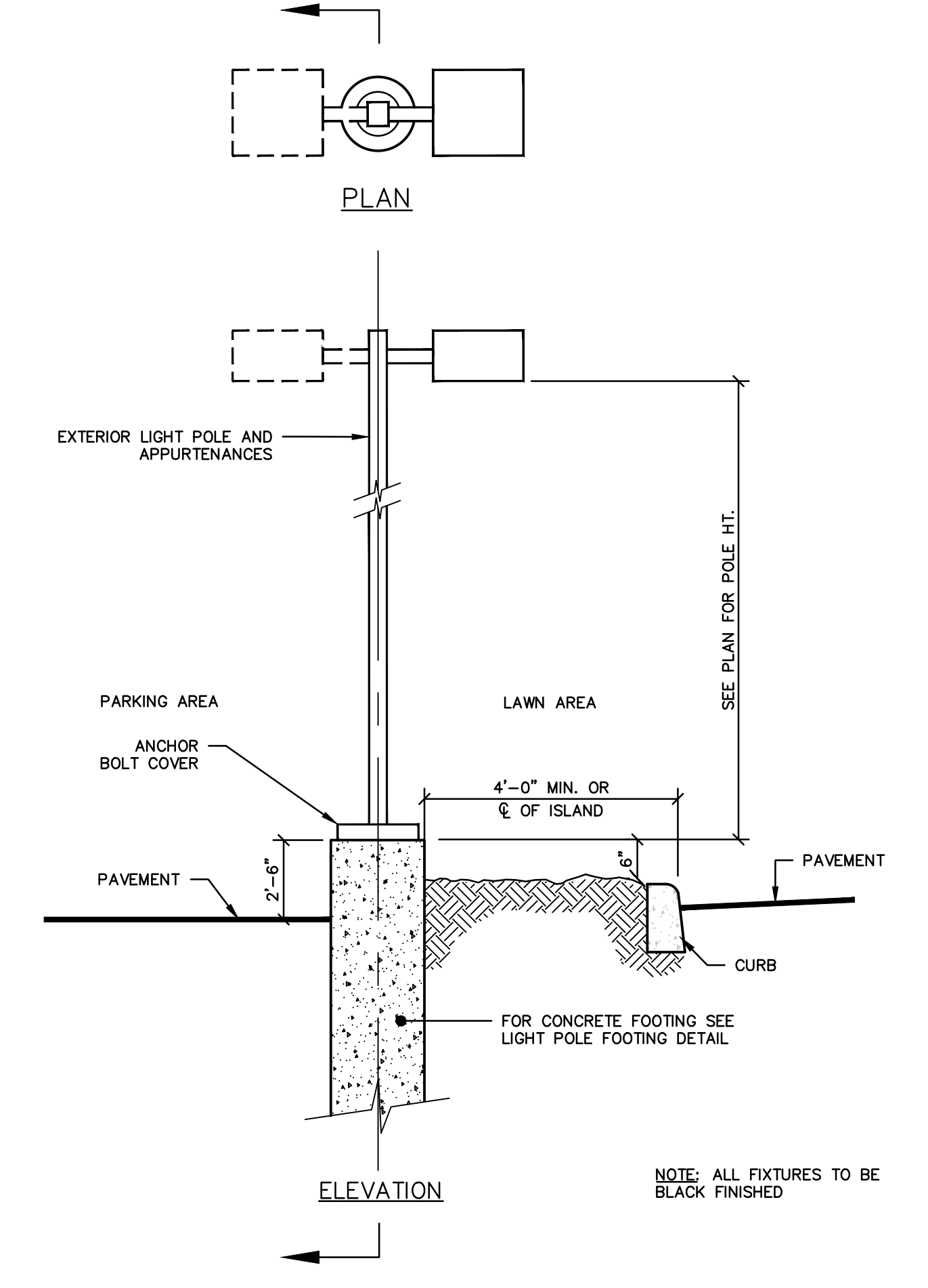
EVERGREEN TREE PLANTING



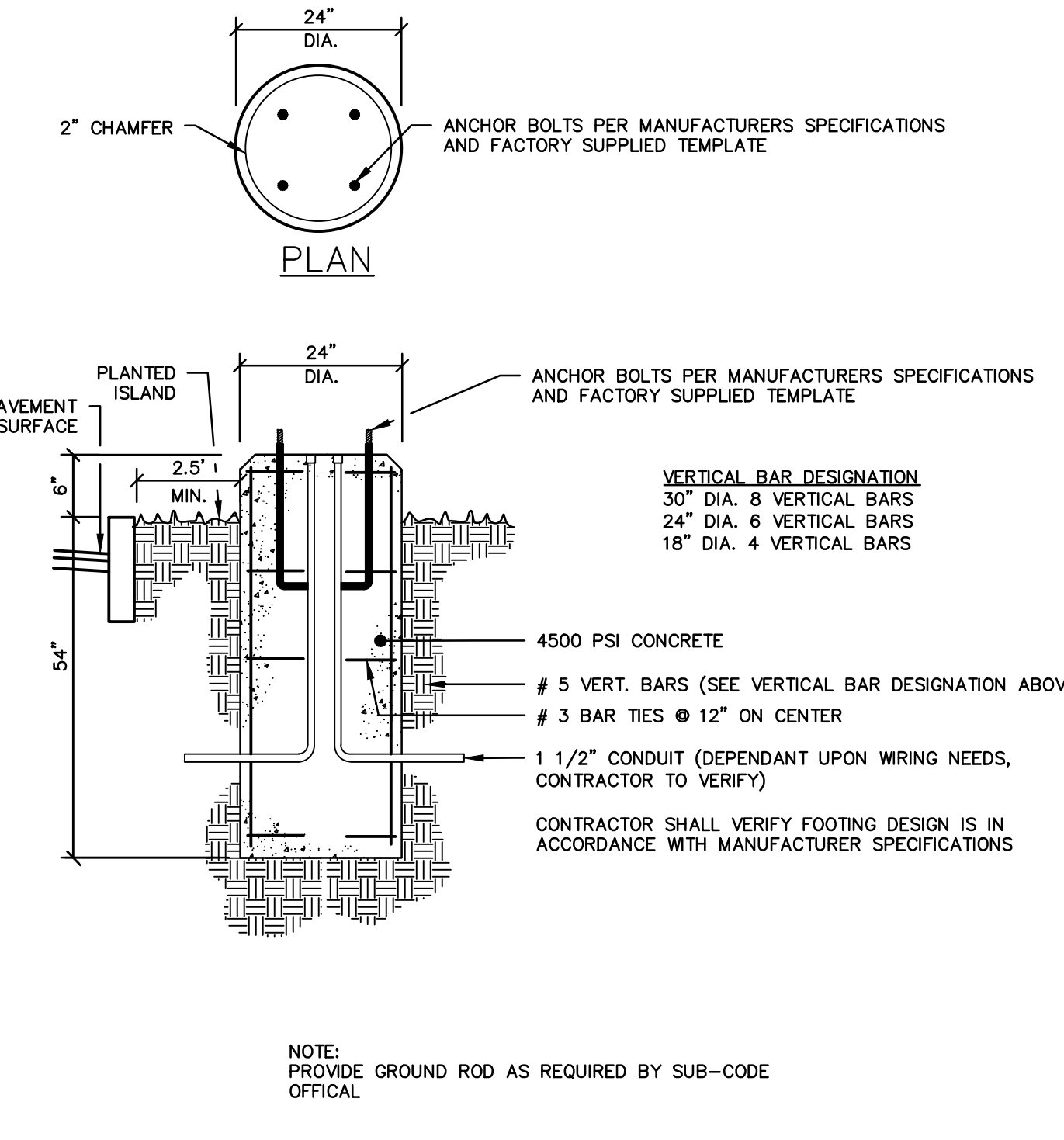
GROUNDCOVER PLANTING
N.T.S.



LIGHT BOLLARD FOOTING DETAIL



LIGHT POLE MOUNTING



LIGHT POLE FOOTING
N.T.S.

revisions		
no.	date	description

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N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

FINAL SITE PLAN

LANDSCAPE AND LIGHTING DETAILS

job number: 21-042-4
scale: 1"=10'
checked by: FMA/AC
drawn by: AR
date: 01/30/24
drawing number:
sheet 13 of 16

ARKAY THREE BOLLARD

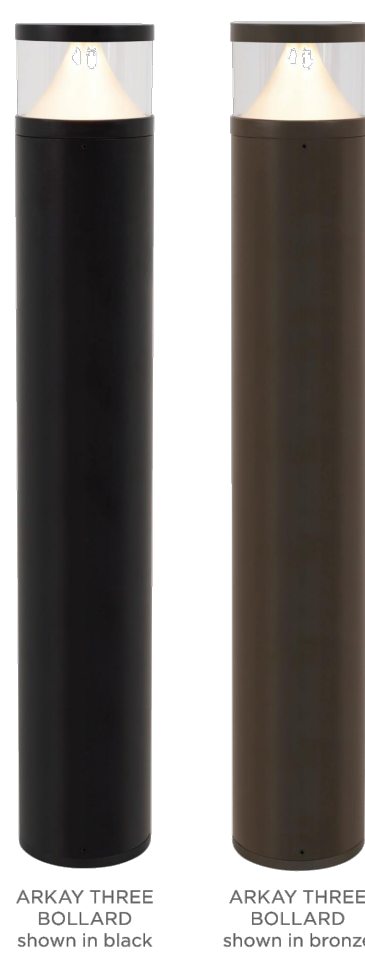


The Arkay Three LED bollard by Tech Lighting features an understated, contemporary design for outdoor lighting that blends beautifully with surrounding architecture and landscape details.

- Marine-grade powder coat finish and stainless steel hardware
Options: GFCI outlet, Photo Control, In-Line Fuse, Emergency Backup
Wet listed, IP65

SPECIFICATIONS

Table with 2 columns: Feature and Value. Includes DELIVERED LUMENS (1860), WATTS (8.25), VOLTAGE (120V), DIMMING (0-10, ELV, Triac), LIGHT DISTRIBUTION (Symmetrical), PERFORMANCE OPTIONS (GFCI / Photo Control / In-Line Fuse / Emergency Backup), CCT (3000K or 4000K), CRI (80+), COLOR BINNING (3 Step), BUS BATTING (80-100), DARK SKY (Non-Compliant), WET LISTED (Yes), GENERAL LISTING (ETL), CALIFORNIA TITLE 24 (Can be used in comply with CGC 2019 Title 24 Part 6 for outdoor use), START TEMP (50°F), FIELD SERVICEABLE LED (Yes), CONSTRUCTION (Aluminum), HARDWARE (Stainless Steel), FINISH (Marine-Grade Powder Coat), LED LIFETIME (L70: 100,000 Hours), WARRANTY (5 Years), WEIGHT (7 lbs).



Show with optional GFCI outlets

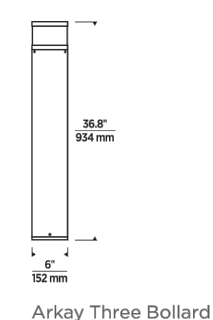
ORDERING INFORMATION

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techlighting.com

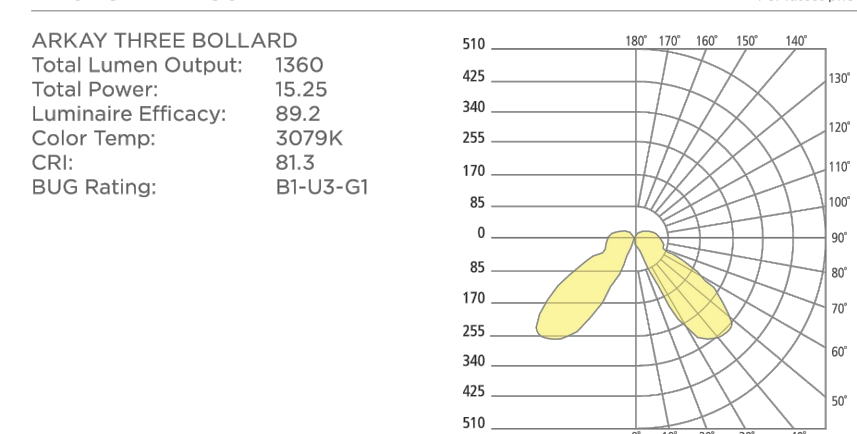
UPDATED 04/15

ARKAY THREE BOLLARD



Arkay Three Bollard

PHOTOMETRICS*



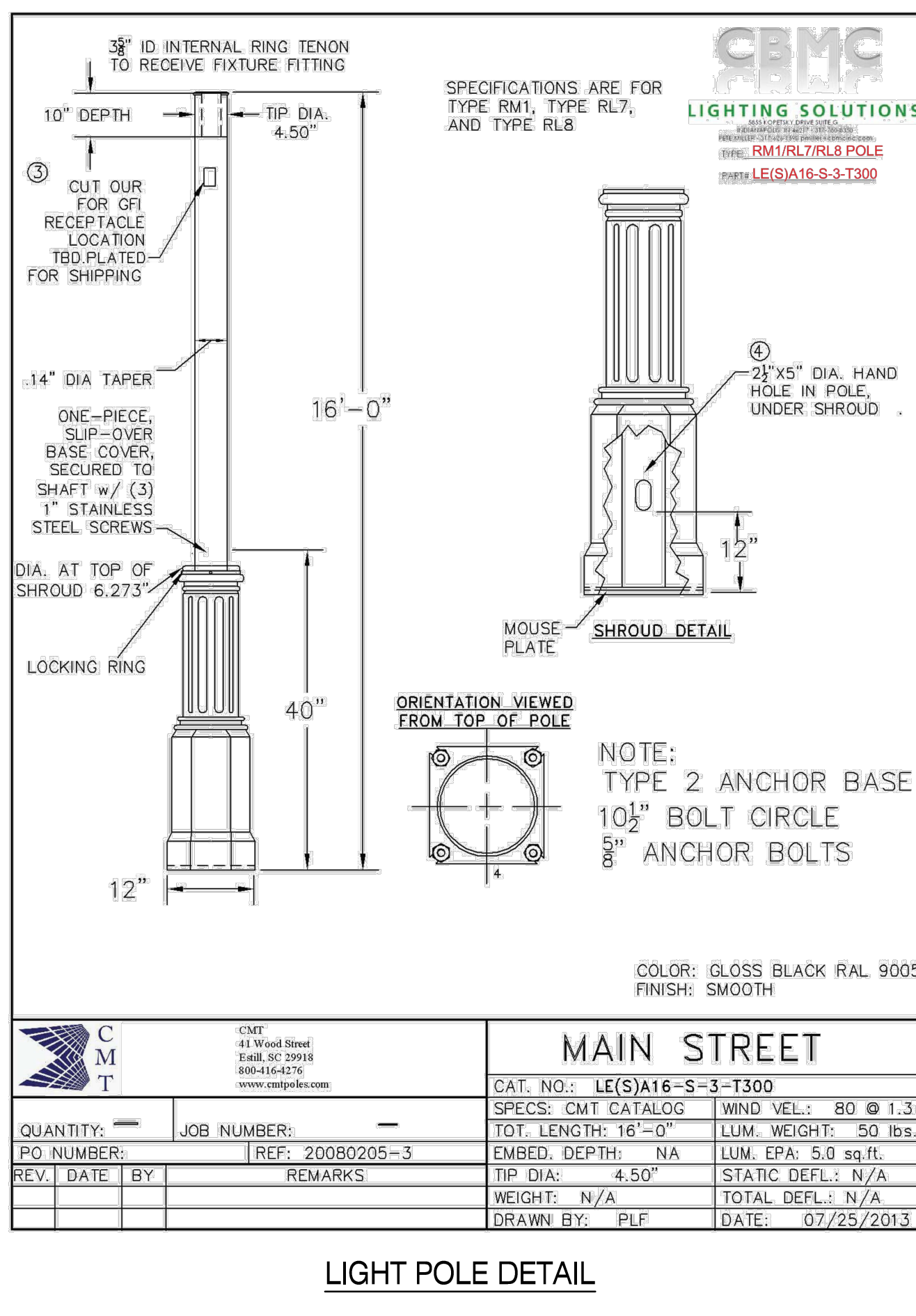
PROJECT INFO

Table with 3 columns: FIELD NO. & QUANTITY, JOB NAME & INFO, NOTES.

Table with 2 columns: PRODUCT CODE, LENGTH, FINISH, VOLTAGE, OPTIONS. Includes PRODUCT CODE (3000K), LENGTH (30"), FINISH (BLACK), VOLTAGE (120V/277V), and OPTIONS (None).

techlighting.com

BOLLARD LIGHT 'B' DETAIL



LIGHT POLE DETAIL

NERI

Product Heritage Connection to head post Source LED

Light 500 Range Performance Cod. PNB00LXXYYZZ

Technical sheet Rev. A - 03/2014 Measures in mm

DESCRIPTION

Compliance: In compliance with EN 60598-1: EN 60598-2-2: EN 60321; EN 60518 EMC; EN 61347 EMC; EN 62471. Dimensions - Area - Weight: Height 16'-0", Width 12", Depth 4.50", Area exposed to wind 30, Weight 50 lbs.

Electrical characteristics: Voltage 120V/277V, Frequency 60/50 Hz, Power 8.25W, Ambient temperature range -20°C to 50°C.

Connection: Suitable for suspended mounting. 3-wire cable with ground.

Materials: One-coat and sheet aluminum (AA1100), Acrylic frosted transparent screen, Stainless steel hardware.

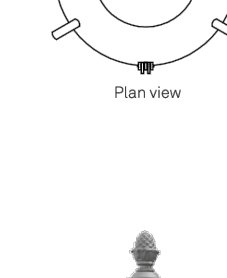
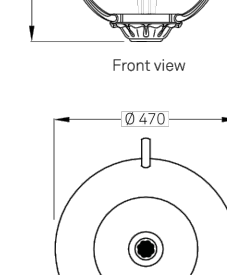
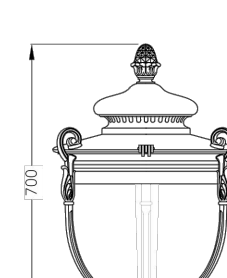
Structure - Main components: Upper lighting frame with circular shaped glass, hinged to the lower frame. Bottom frame composed by a ring, three curved uprights decorated, fixed to an aluminum plate with a steel ring for being supported.

Operations and maintenance: Programmable electronic power supply for LED module. Automatic dimmer switch when opening. Terminate for wires with a max. section of 2.5 mm².

Painting: Standard color is dark gray (see Ref.). Information about paint usage used on this product in specific technical sheet.

Code construction: To create the configuration code, insert sequential parts of the code on the configuration of the optic (O), LED module (YY) and functions of the power supply (ZZ).

DRAWINGS AND TECHNICAL INFORMATION



NERI

Source LED Optic 02 - 06 Light 500 Road lighting - mixed areas

Cod. N... XX YY ZZ

Technical sheet Rev. B - 09/2016

DESCRIPTION

Compliance: In compliance with EN 60598-1: EN 60598-2-2: EN 60321; EN 60518 EMC; EN 61347 EMC; EN 62471. Dimensions - Area - Weight: Height 16'-0", Width 12", Depth 4.50", Area exposed to wind 30, Weight 50 lbs.

Electrical characteristics: Voltage 120V/277V, Frequency 60/50 Hz, Power 8.25W, Ambient temperature range -20°C to 50°C.

Connection: Suitable for suspended mounting. 3-wire cable with ground.

Materials: One-coat and sheet aluminum (AA1100), Acrylic frosted transparent screen, Stainless steel hardware.

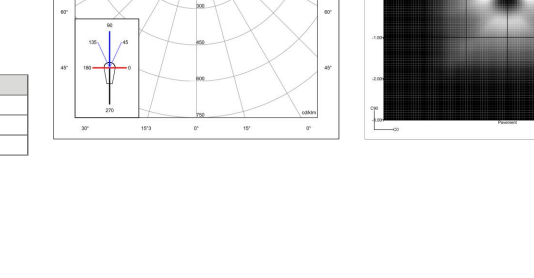
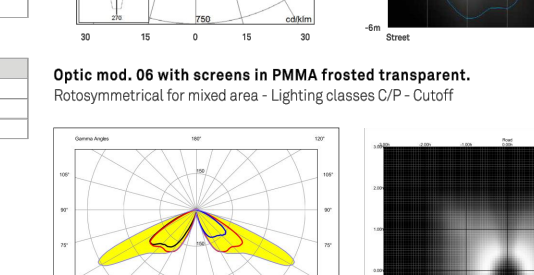
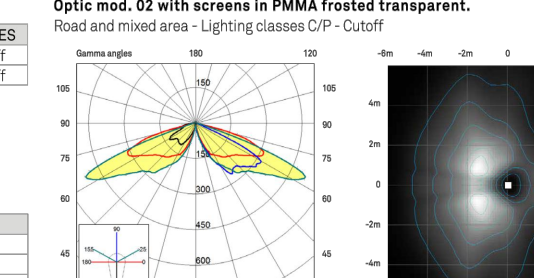
Structure - Main components: Upper lighting frame with circular shaped glass, hinged to the lower frame. Bottom frame composed by a ring, three curved uprights decorated, fixed to an aluminum plate with a steel ring for being supported.

Operations and maintenance: Programmable electronic power supply for LED module. Automatic dimmer switch when opening. Terminate for wires with a max. section of 2.5 mm².

Painting: Standard color is dark gray (see Ref.). Information about paint usage used on this product in specific technical sheet.

Code construction: To create the configuration code, insert sequential parts of the code on the configuration of the optic (O), LED module (YY) and functions of the power supply (ZZ).

PHOTOMETRIC CURVES



SITE LIGHT 'D3' AND 'Q3' DETAIL

NERI

Product Heritage Connection suspended Source LED

Light 500 Range Performance Cod. SNB00LXXYYZZ

Technical sheet Rev. A - 03/2014 Measures in mm

DESCRIPTION

Compliance: In compliance with EN 60598-1: EN 60598-2-2: EN 60321; EN 60518 EMC; EN 61347 EMC; EN 62471. Dimensions - Area - Weight: Height 16'-0", Width 12", Depth 4.50", Area exposed to wind 30, Weight 50 lbs.

Electrical characteristics: Voltage 120V/277V, Frequency 60/50 Hz, Power 8.25W, Ambient temperature range -20°C to 50°C.

Connection: Suitable for suspended mounting. 3-wire cable with ground.

Materials: One-coat and sheet aluminum (AA1100), Acrylic frosted transparent screen, Stainless steel hardware.

Structure - Main components: Upper lighting frame with circular shaped glass, hinged to the lower frame, equipped with a stainless steel ring for suspended mounting.

Operations and maintenance: Programmable electronic power supply for LED module. Automatic dimmer switch when opening. Terminate for wires with a max. section of 2.5 mm².

Painting: Standard color is dark gray (see Ref.). Information about paint usage used on this product in specific technical sheet.

Code construction: To create the configuration code, insert sequential parts of the code on the configuration of the optic (O), LED module (YY) and functions of the power supply (ZZ).

SITE LIGHT 'S3' AND 'S5' DETAIL

NERI

Source LED Optic 02 - 06 Light 500 Road lighting - mixed areas

Cod. N... XX YY ZZ

Technical sheet Rev. B - 09/2016

DESCRIPTION

Compliance: In compliance with EN 60598-1: EN 60598-2-2: EN 60321; EN 60518 EMC; EN 61347 EMC; EN 62471. Dimensions - Area - Weight: Height 16'-0", Width 12", Depth 4.50", Area exposed to wind 30, Weight 50 lbs.

Electrical characteristics: Voltage 120V/277V, Frequency 60/50 Hz, Power 8.25W, Ambient temperature range -20°C to 50°C.

Connection: Suitable for suspended mounting. 3-wire cable with ground.

Materials: One-coat and sheet aluminum (AA1100), Acrylic frosted transparent screen, Stainless steel hardware.

Structure - Main components: Upper lighting frame with circular shaped glass, hinged to the lower frame, equipped with a stainless steel ring for suspended mounting.

Operations and maintenance: Programmable electronic power supply for LED module. Automatic dimmer switch when opening. Terminate for wires with a max. section of 2.5 mm².

Painting: Standard color is dark gray (see Ref.). Information about paint usage used on this product in specific technical sheet.

Code construction: To create the configuration code, insert sequential parts of the code on the configuration of the optic (O), LED module (YY) and functions of the power supply (ZZ).

PHOTOMETRIC CURVES

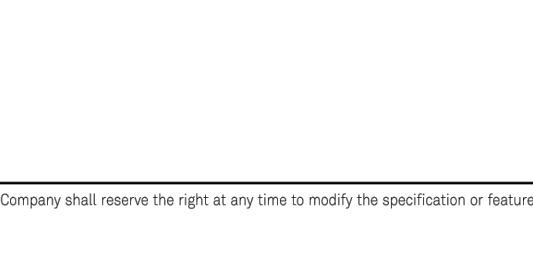
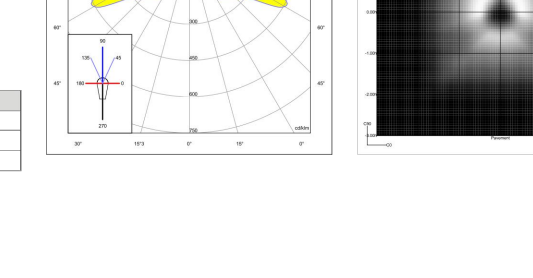
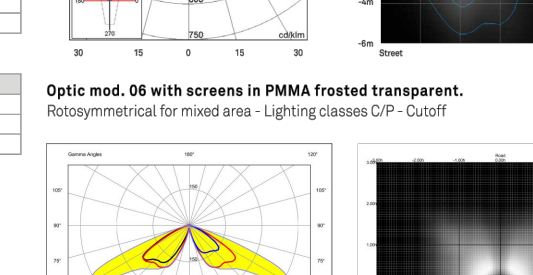
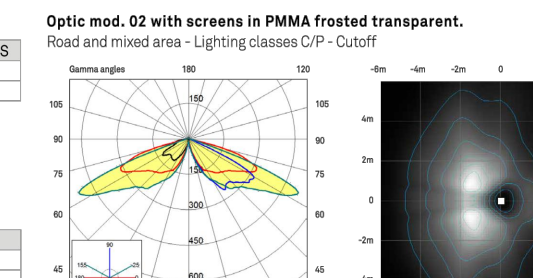
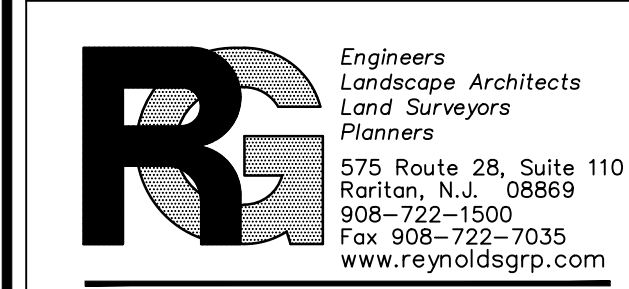


Table with 3 columns: no., date, description. Includes revisions and project details.

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The Reynolds Group Inc. State of New Jersey Certificate of Authorization Number: 240A27989200 21MHC0004300

F. Mitchell Ardmán F. MITCHEL ARDMAN N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

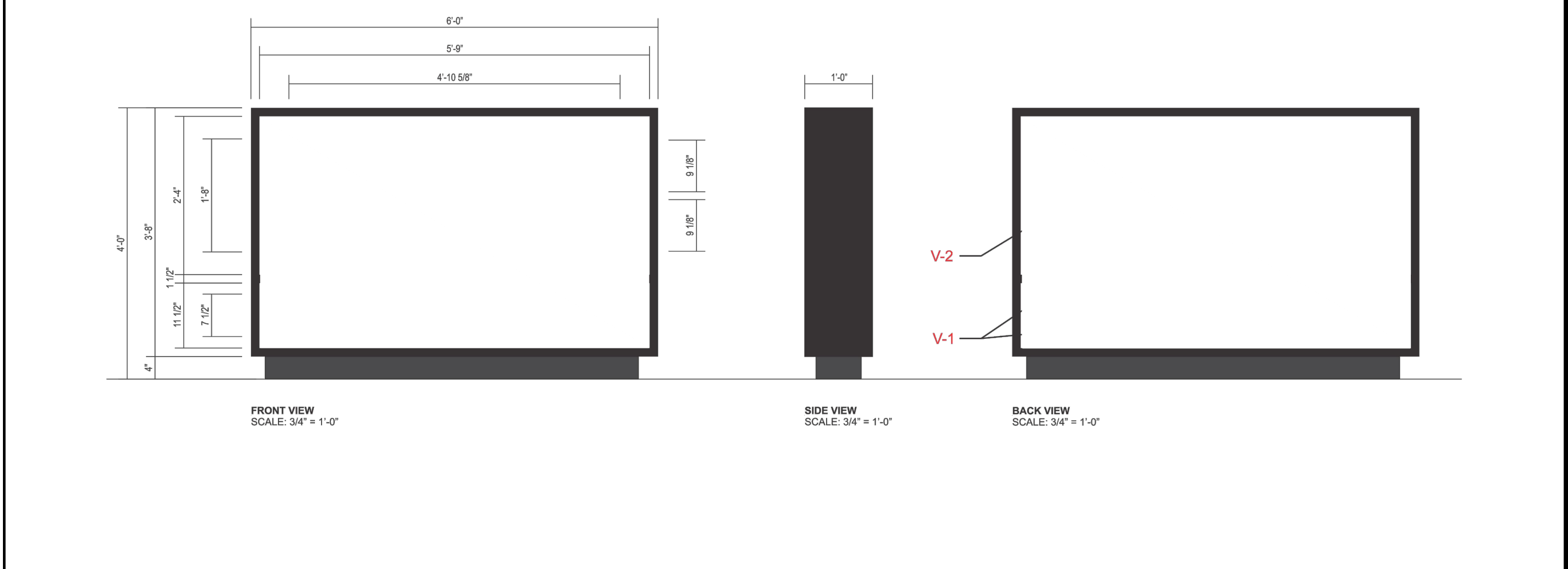
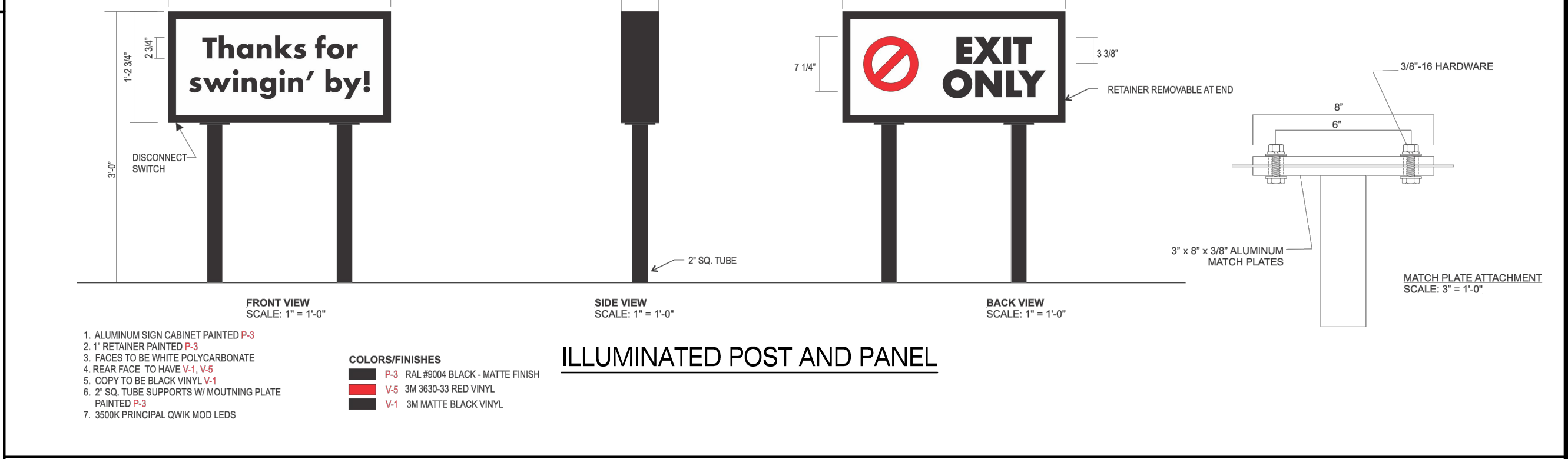
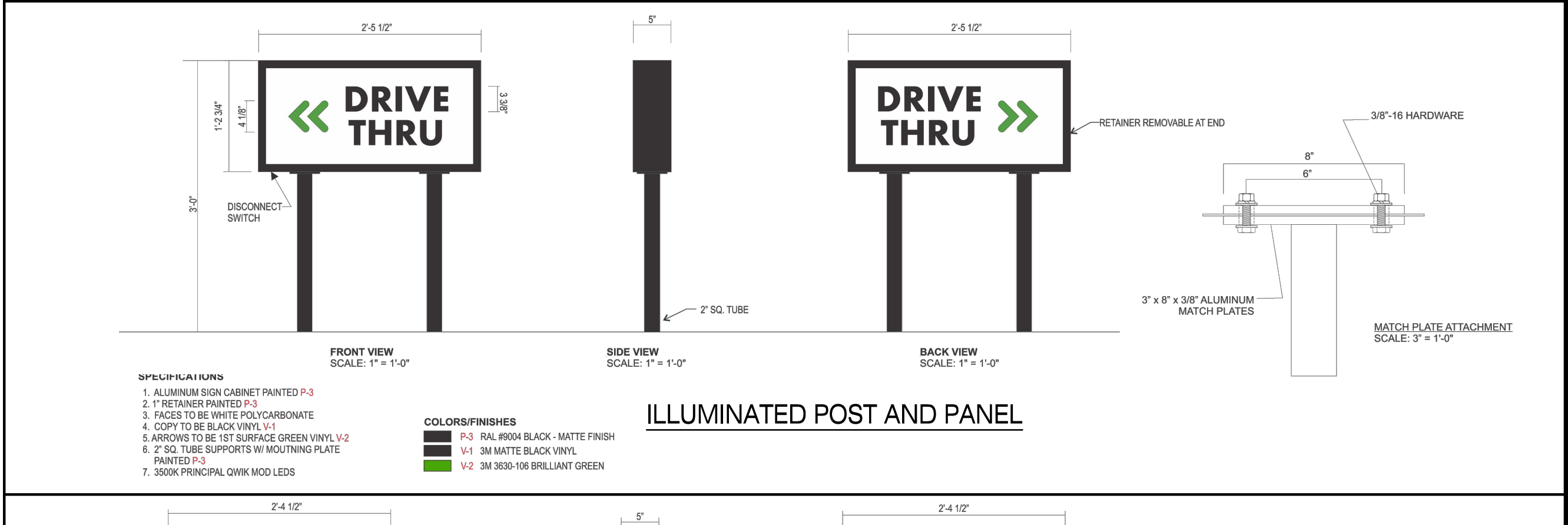
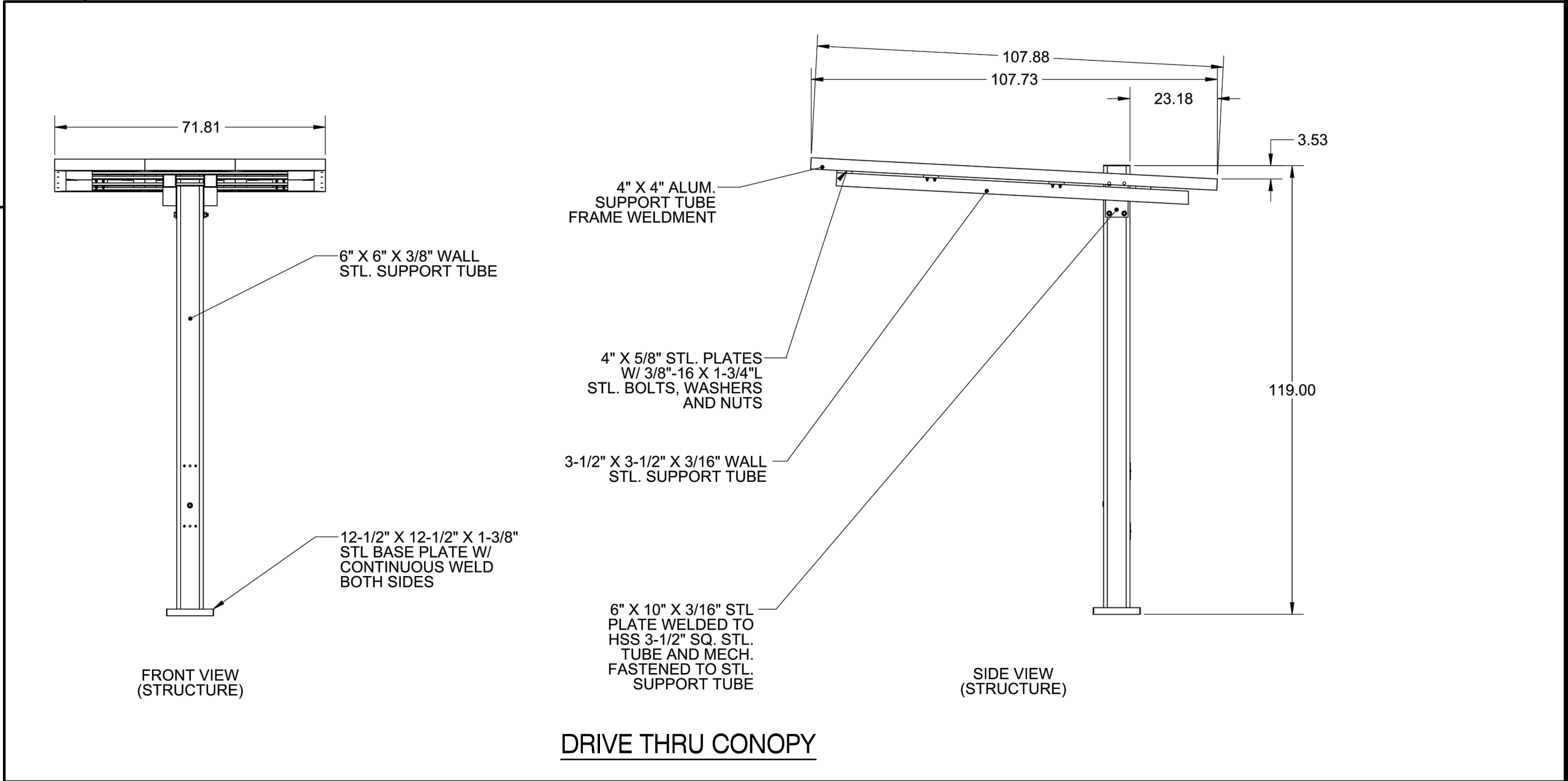
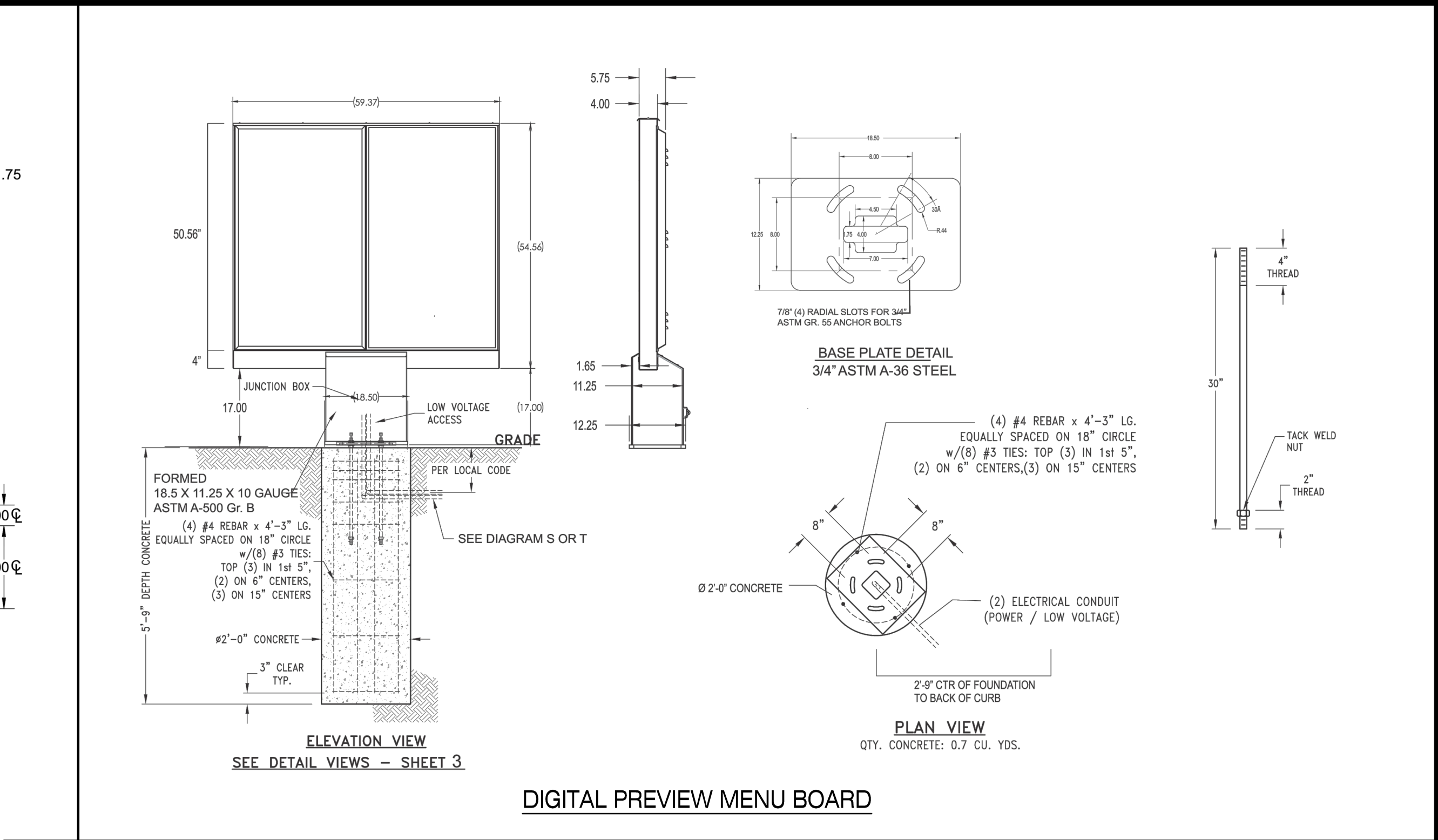
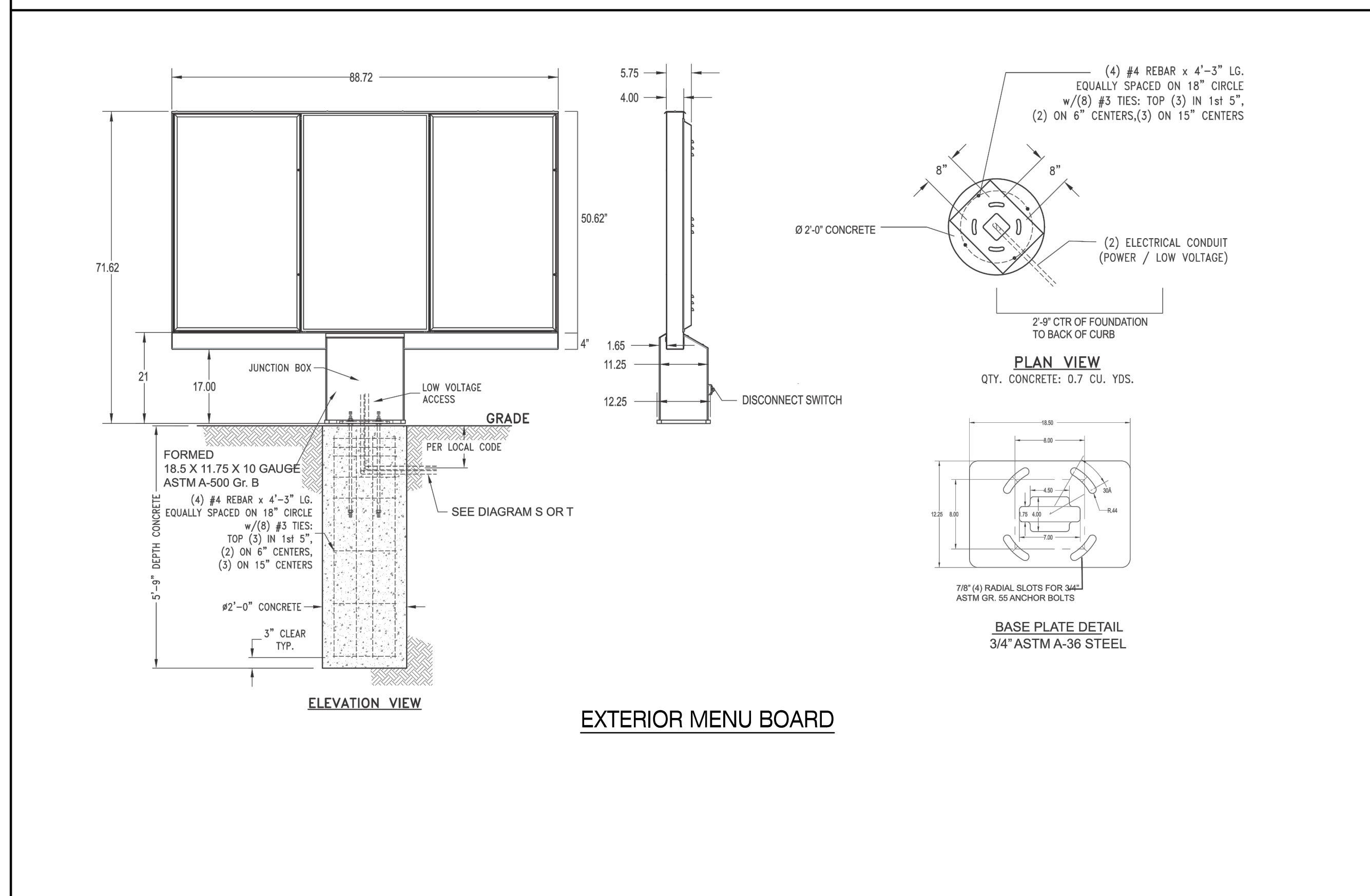
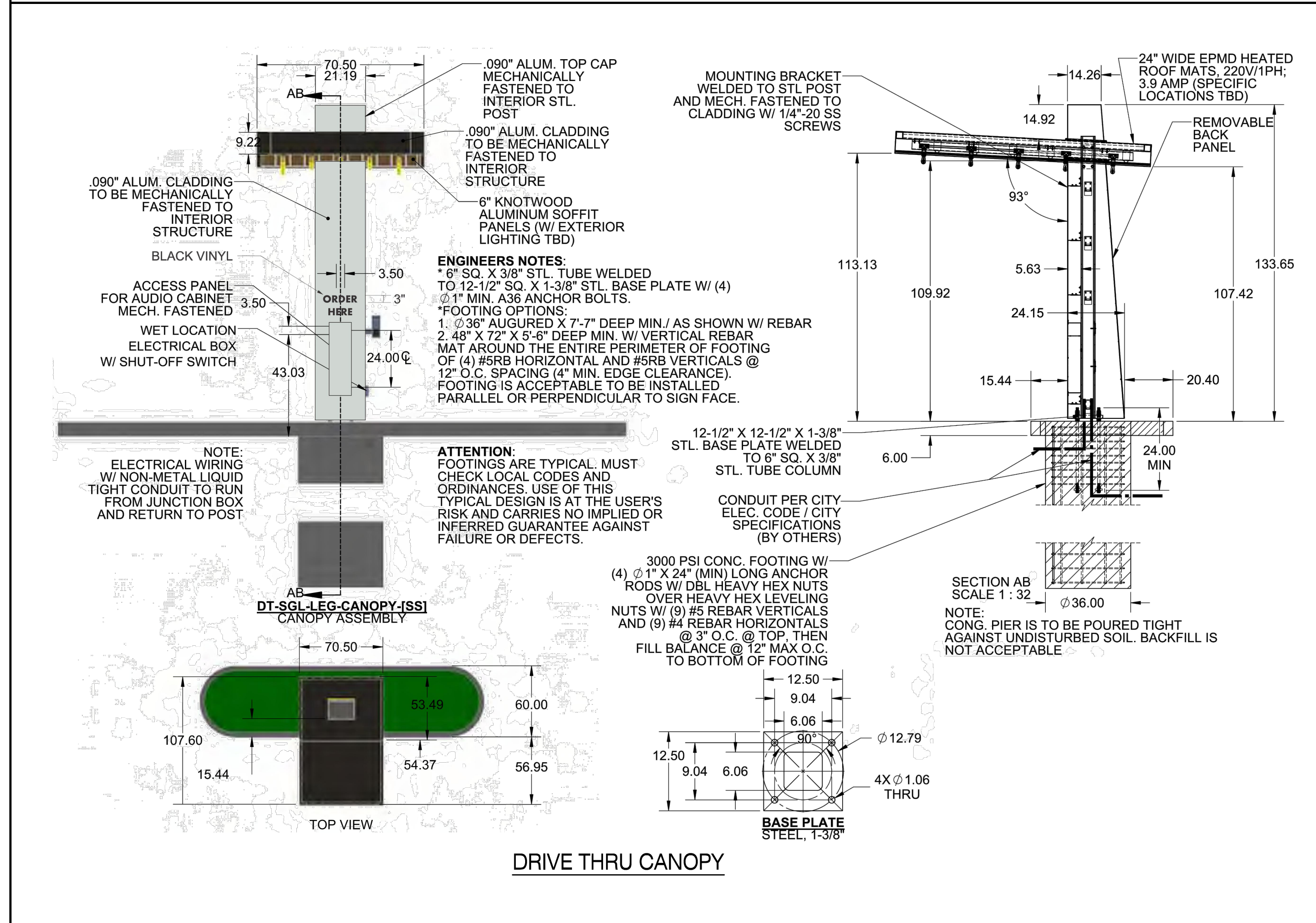
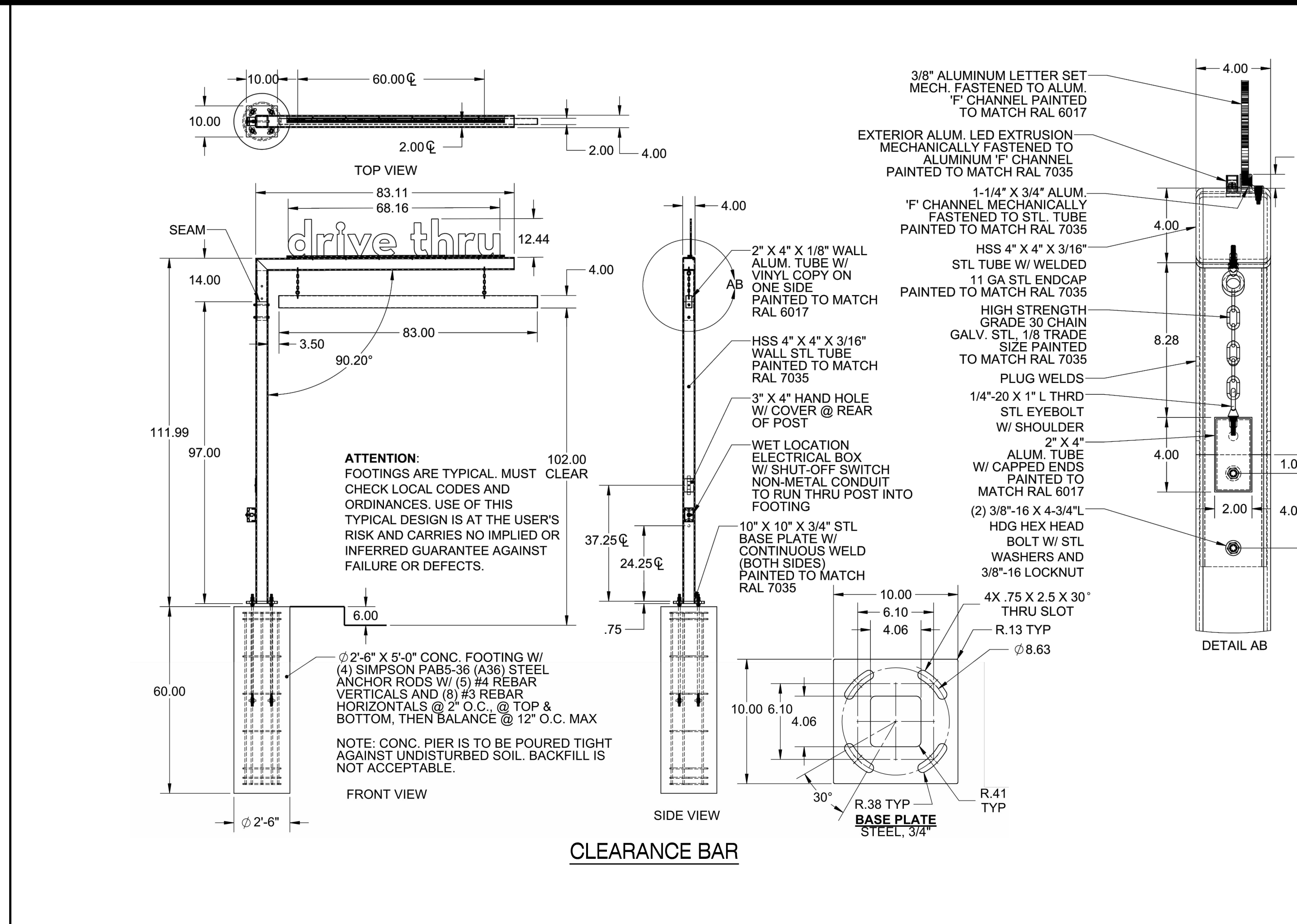
FINAL SITE PLAN

BLOCK 141 LOT 36.01 NORTH BRUNSWICK TOWNSHIP MIDDLESEX COUNTY - NEW JERSEY

LIGHTING DETAILS

Table with 2 columns: job number (21-042-4), drawing number (14). Includes scale (1"=10'), checked by (FMA/AC), drawn by (AR), and date (01/30/24).

Vertical text on the left margin: 01-11-2024 10:58:03 AM C:\Users\arman\OneDrive\Documents\21-042-4-14.dwg



revisions		
no.	date	description

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State of New Jersey
Certificate of Authorization
Number: 240437989200
21MHC0004300

F. Mitchell Ardman, P.E., P.P.
Jeffrey D. Reynolds, P.L.A.

F. MITCHEL ARDMAN
N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

project

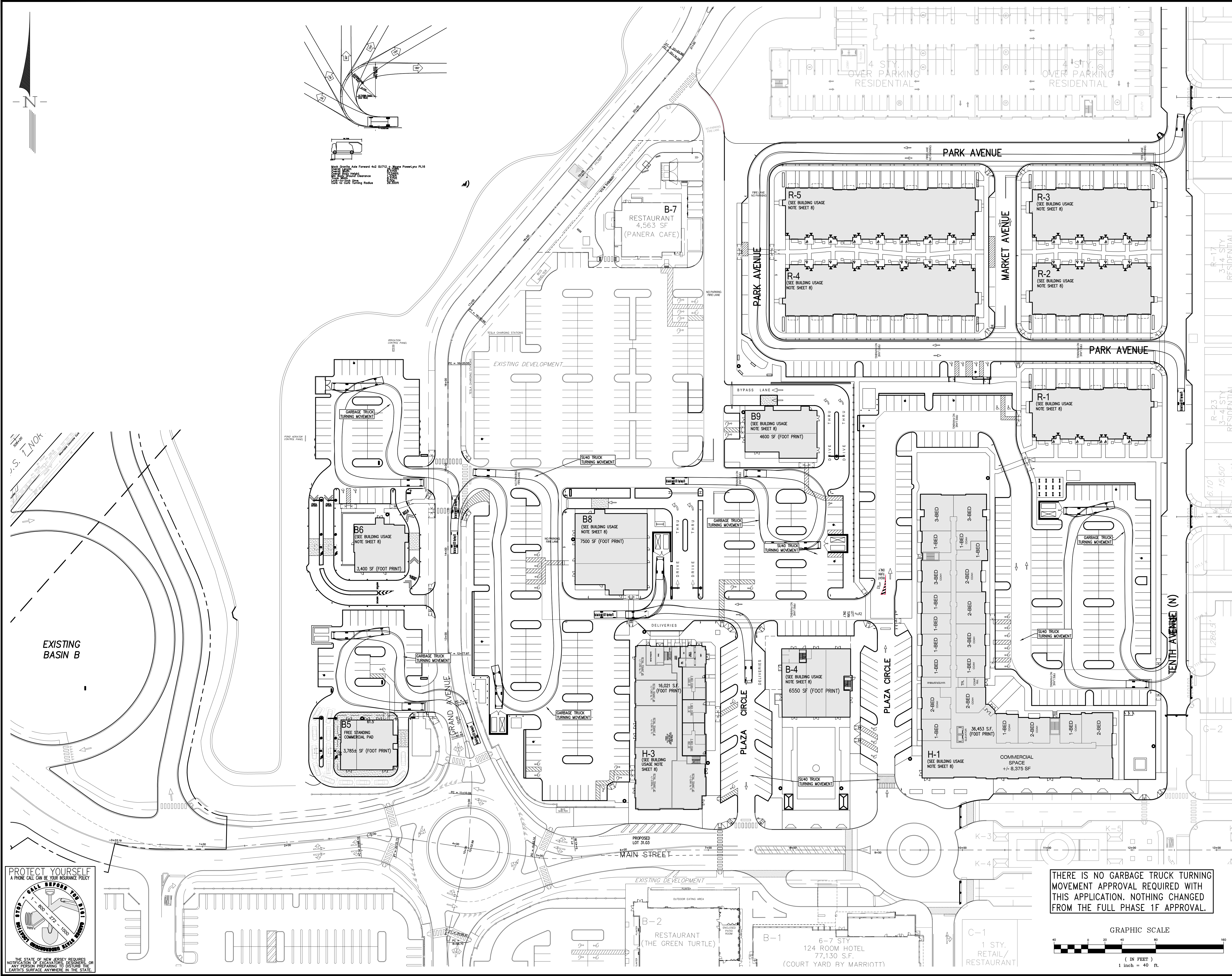
FINAL SITE PLAN

BLOCK 141 LOT 36.01
NORTH BRUNSWICK TOWNSHIP
MIDDLESEX COUNTY - NEW JERSEY

drawing title

SIGN DETAILS

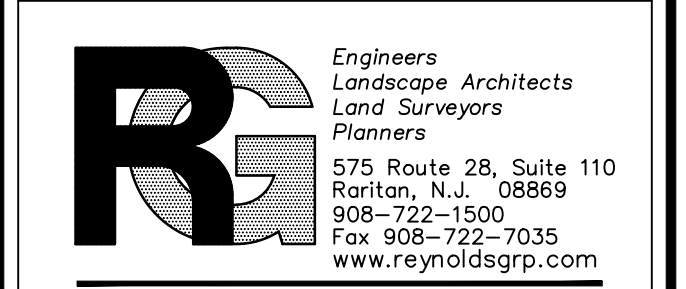
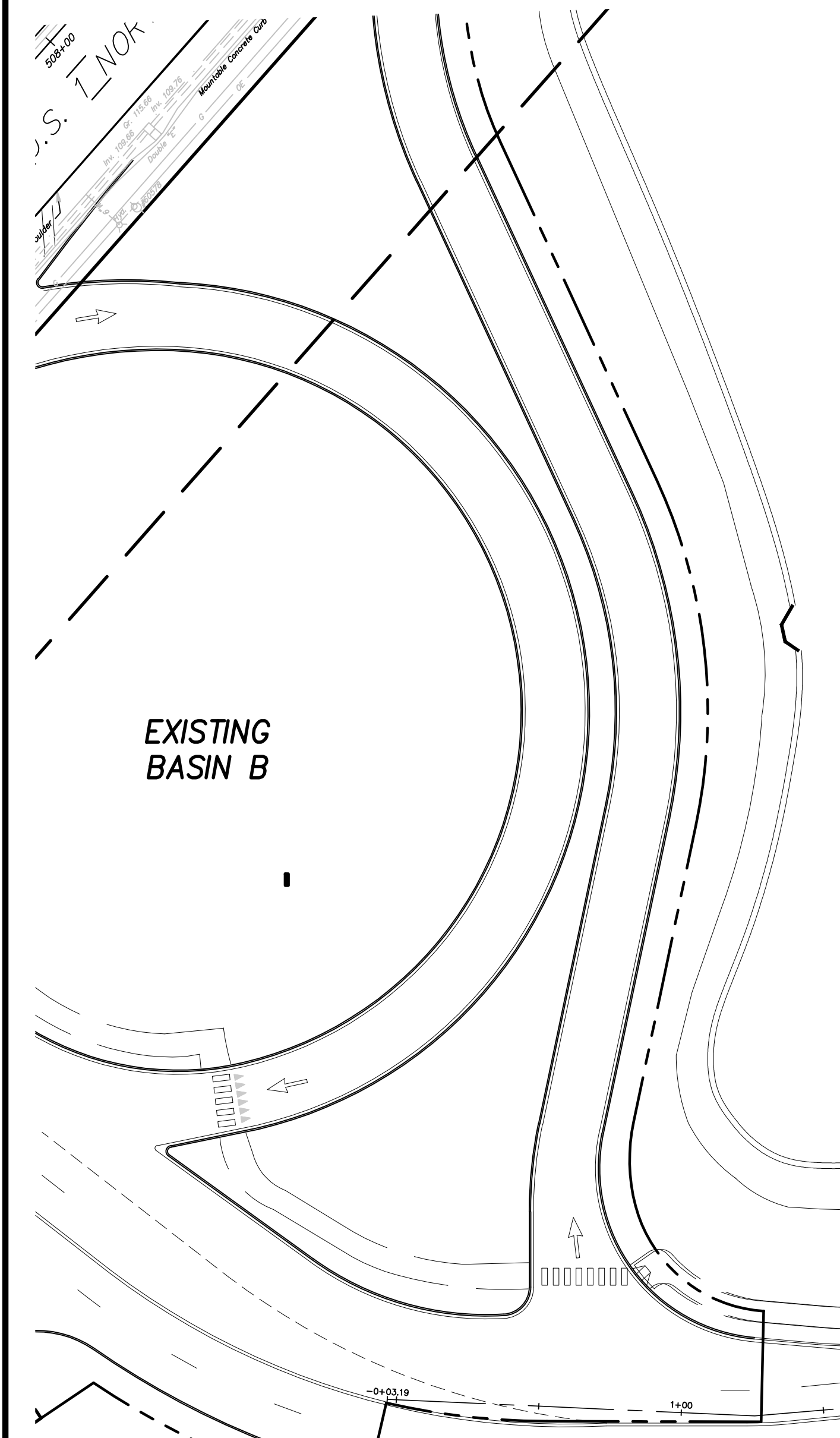
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checked by FMA/AC	
drawn by AR	
date 01/30/24	sheet 15 of 16



revisions		
no.	date	description

LEGEND

- ⊕ GAS VALVE
- ⊕ GAS METER
- ⊕ WATER VALVE
- ⊕ HYDRANT
- ⊕ WATER METER
- ⊕ CURB STOP
- ⊕ FIRE DEPT. CONNECTION
- ⊕ DRAINAGE MH
- ⊕ CURB INLET
- ⊕ LAWN INLET
- ⊕ SANITARY MH
- ⊕ CLEANOUT
- ⊕ BOLLARD
- ⊕ SIGN
- ⊕ LIGHT
- ⊕ MAIL BOX
- ⊕ GUY WIRE
- ⊕ UTILITY POLE
- ⊕ ELECTRIC MH
- ⊕ CONFEROUS TREE
- ⊕ DECIDUOUS TREE
- X — FENCE
- RAILING
- WALL
- ⊕ GATE POST
- W — WATER LINE
- G — GAS LINE
- E — ELECTRIC LINE
- S — SANITARY LINE
- OH — OVERHEAD WIRES



The Reynolds Group Inc.

State of New Jersey
 Certificate of Authorization
 Number: 240A27989200
 21MH00004300
 F. Mitchell Ardman, P.E., P.P.
 Jeffrey D. Reynolds, P.L.A.

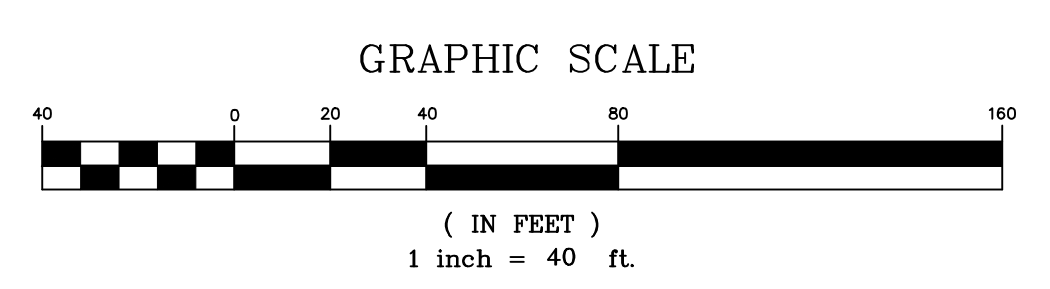
F. MITCHEL ARDMAN
 N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

project
FINAL SITE PLAN

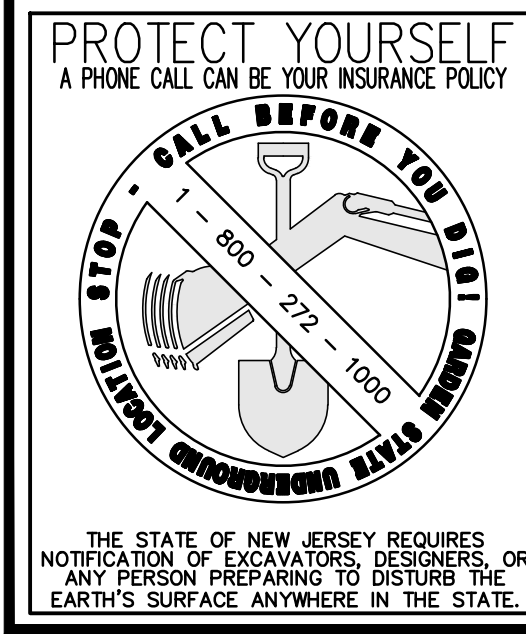
BLOCK 141 LOT 36.01
 NORTH BRUNSWICK TOWNSHIP
 MIDDLESEX COUNTY, NEW JERSEY

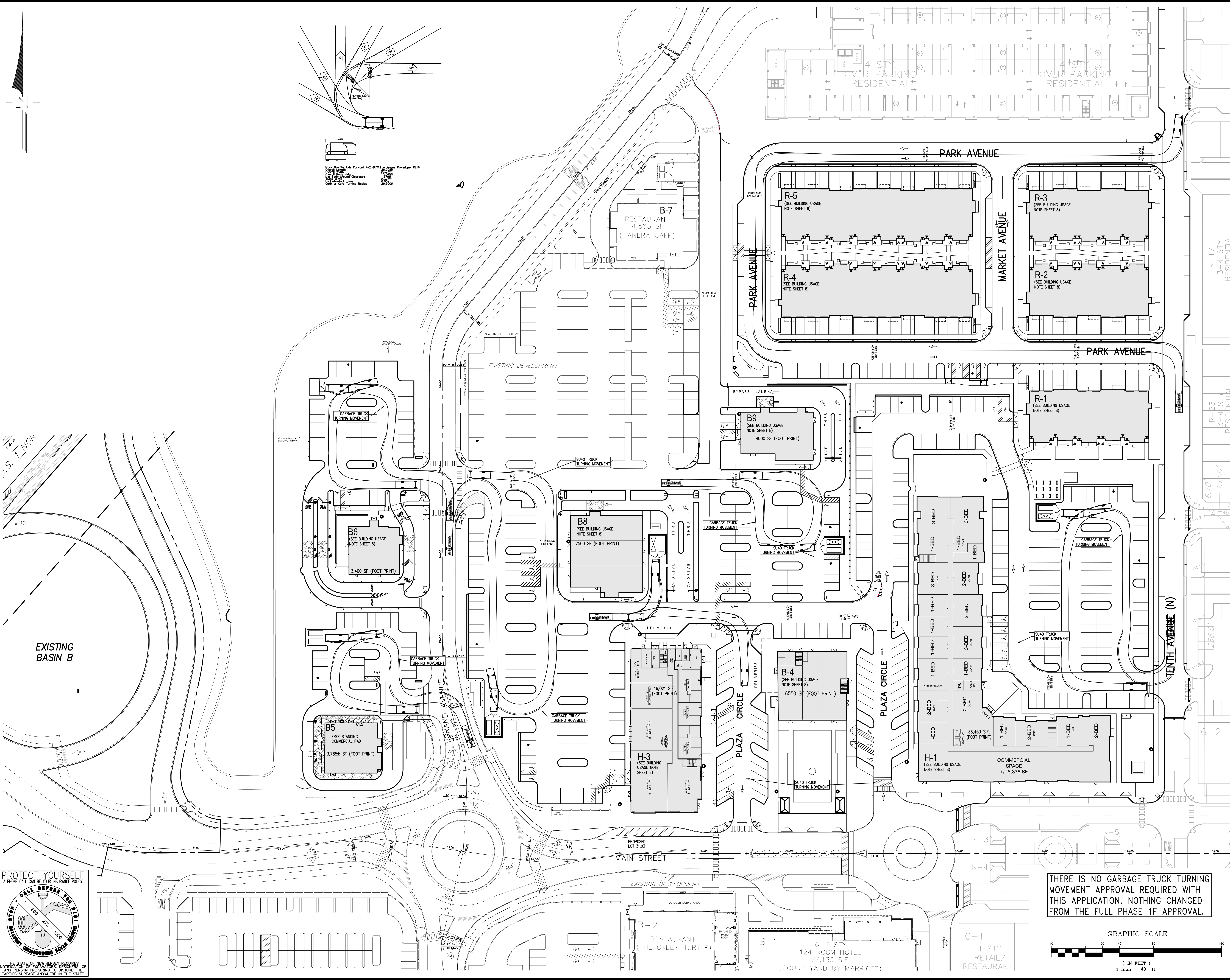
drawing title
GARBAGE TRUCK TURNING PLAN

THERE IS NO GARBAGE TRUCK TURNING MOVEMENT APPROVAL REQUIRED WITH THIS APPLICATION. NOTHING CHANGED FROM THE FULL PHASE 1F APPROVAL.



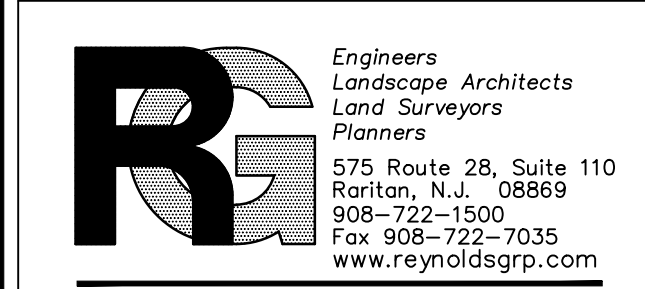
job number 21-042	drawing number 16
scale 1"=40'	
checked by FMA	
drawn by A.A.	
date 01/30/24	sheet 16 of 16





revisions		
no.	date	description

- LEGEND**
- ⊕ GAS VALVE
 - ⊕ GAS METER
 - ⊕ WATER VALVE
 - ⊕ HYDRANT
 - ⊕ WATER METER
 - ⊕ CURB STOP
 - ⊕ FIRE DEPT. CONNECTION
 - ⊕ DRAINAGE MH
 - ⊕ CURB INLET
 - ⊕ LAWN INLET
 - ⊕ SANITARY MH
 - ⊕ CLEANOUT
 - ⊕ BOLLARD
 - ⊕ SIGN
 - ⊕ LIGHT
 - ⊕ MAIL BOX
 - ⊕ GUY WIRE
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 - ⊕ CONFEROUS TREE
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 - X — FENCE
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 21MHC0004300
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F. MITCHEL ARDMAN
 N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

FINAL SITE PLAN

BLOCK 141 LOT 36.01
 NORTH BRUNSWICK TOWNSHIP
 MIDDLESEX COUNTY, NEW JERSEY

GARBAGE TRUCK
 TURNING PLAN
 (ALTERNATE)

job number	21-042	drawing number	16A
scale	1"=40'		
checked by	FMA		
drawn by	A.A.		
date	01/30/24	sheet	16 of 16

THERE IS NO GARBAGE TRUCK TURNING MOVEMENT APPROVAL REQUIRED WITH THIS APPLICATION. NOTHING CHANGED FROM THE FULL PHASE 1F APPROVAL.

